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12	Summit Lake Vineyard, and Cook's Flat Associa California Limited Partnership	tes a
13	UNITED STATES	DISTRICT COURT
14	NORTHERN DISTRI	CT OF CALIFORNIA
15		
16	HOOPES VINEYARD LLC, a California	Case No. 3:24-cv-6256
17	limited liability company; SUMMIT LAKE VINEYARDS & WINERY	COMPLAINT
18 19	LLC, a California limited liability company; and COOK'S FLAT ASSOCIATES A CALIFORNIA LIMITED PARTNERSHIP, a California limited partnership,	
20	Plaintiffs,	
21	V.	
22	COUNTY OF NAPA,	
23	Defendant.	
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Fennemore Wendel. ATTORNEYS AT LAW		
OAKLAND	COMPLAINT	CASE NO. 3:24-CV-6256

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COMES NOW the Plaintiffs, HOOPES VINEYARD LLC, SUMMIT LAKE VINEYARDS & WINERY LLC, and COOK'S FLAT ASSOCIATES A CALIFORNIA LIMITED PARTNERSHIP (collectively "Plaintiffs" or "Plaintiff Wineries"), by and through their attorneys, MILLER, CANFIELD, PADDOCK and STONE, P.L.C., and for their Complaint against Defendant, COUNTY OF NAPA, state as follows:

#### INTRODUCTION

- 1. Defendant County of Napa ("Napa County" or the "County") regulates wineries within the County not based on clear, understandable ordinances, but rather upon an everchanging patchwork of undocumented "policies" and procedures. The few written ordinances Napa County does have are so vague that County wineries are unable to decipher what is and is not allowed and so vague as to allow Napa County officials to use their unfettered discretion to restrict winery operations as they see fit.
- 2. If a winery within the County dares challenge the discretion of Napa County and the restrictions placed on these wineries, it is met with retribution and millions of dollars in costs just to "maintain" the limited operating permissions Napa County was "gracious" enough to allow in the first place. In many cases, the winery is forced to bargain "down" their existing entitlements (at substantial expense) to avoid closure and/or enforcement action.
- 3. Napa County's actions have violated numerous Constitutional rights of County wineries, including Plaintiffs, and it is time they end.
- 4. Specifically, the relevant Napa County ordinances and policies violate Plaintiffs' First Amendment rights to free speech, are an impermissible prior restraint on speech, are a content-based restriction on speech, violate the Dormant Commerce Clause, are void for vagueness, arbitrarily interfere with a constitutionally protected business interest, violate the nondelegation doctrine, take property without just compensation, deny Plaintiffs equal protection of the law, and are preempted by California law.

#### THE PARTIES

5. HOOPES VINEYARD LLC ("Hoopes") is a California limited liability company which leases property located at 6204 Washington Street, Napa, California 94558 (the "Hoopes

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- 43. Summit Lake only became aware of the new restrictions when Summit Lake sought other property improvements.
- 44. In 2018, Summit Lake considered increasing wine production at the property and knew that a production increase at the property would potentially require a use permit application of some kind.
- 45. In February 2019, Summit Lake received a form letter from the County advising that winery owners could voluntarily submit to an audit from the County to memorialize and/or clarify allowed uses.
- 46. Summit Lake voluntarily submitted to the audit and sought a use permit modification for its planned wine production increase.
- 47. In response, Napa County determined that Summit Lake Winery was not entitled to any "visitation" under the small winery exemption, despite nearly forty years of hosting same.
- 48. In October 2019, Summit Lake was advised that if it wished to obtain its permit modification, it would need to agree to repave a substantial portion of the road leading to its winery at a cost of over \$1 million.
- 49. This road serves numerous other properties and businesses, some of which have completed more substantial winery upgrades but did not trigger similar improvement requirements, and the proportional impact of Summit Lakes' increase use of the road was negligible; indeed, it was not an actual "increase" in use.
- 50. Summit Lake was unable to afford this upgrade or justify the expense relative to the requested wine production upgrade.
- 51. On June 3, 2021, Summit Lake requested a reconsideration because it did not believe hosting visitors was a new "use," and that even if it were, there was no nexus between the cost and intensity of the upgrade. There was similarly no "intensification" as visitors had been coming to the property for four decades. Summit Lake advised the County the cost was prohibitive and reduced or eliminated "visitation" threatened viability of the business that had been in operation and reliant thereon for nearly forty years.
  - 52. On June 4, 2021, the County responded that its position would not change.

- 53. On January 11, 2022, Napa County threatened Summit Lake that if it did not agree to the road improvement then its permit modification application would be closed and going forward Summit Lake would not be allowed any visitors to its winery.
- 54. Summit Lake is unable to afford the substantial road improvement cost without risking the viability of its winery.
  - 55. Summit Lake cannot viably operate without visitation at the winery.
- 56. To date, Napa County continues to assert that any visitors consuming wine at Summit Lake is a violation of the small winery use permit exemption and that Summit Lake must cease sales/tasting operations or improve the roadway.
- 57. The winery located at the Summit Lake Property is older than other wineries (and residences) on the same road. After it began operating in 1984, other wineries opened, including much larger operations nearby: Outpost Wines; Robert Craig Winery; Robert Foley Vineyards; and Black Sears. These are all located less than one mile from Summit Lake. Napa County allows all four neighbors more expansive winery operations than it does Summit Lake.
- 58. Summit Lake routinely receives requests from customers, both formally and informally, for tastings, wine by the glass, retail sales, tours, marketing events and other common services provided by wineries.
- 59. While Summit Lake has engaged in some limited on-premises sales, it has limited the amount of on-premises sales due to fear of County enforcement which has cost Summit Lake millions of dollars in damages in lost profits.
- 60. The Napa County ordinance and policies have also prevented Summit Lake from advertising and marketing its winery which has additionally caused Summit Lake to suffer millions of dollars in damages from lost sales.

#### Smith-Madrone:

COMPLAINT

- 61. On May 14, 1971, Smith-Madrone purchased the 200-acre Smith-Madrone Property located in the Napa County Agricultural Watershed District.
- 62. On August 15, 1973, Smith-Madrone applied for a land use permit to open a winery and the only question on the application was the reason for the use permit.

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- 76. However, thereafter, without explanation, notice, or a hearing, later versions of the Winery Database state that Smith-Madrone is limited to 10 visitors per week and 520 visitors per year. (Exhibits 4, 6.) Oddly, the same databases do not indicate that Smith-Madrone is allowed a specific number of visitors per day, which, upon information and belief, Plaintiffs believe Napa County interprets as meaning the winery is not allowed any daily visitors.
- 77. Given the 520 visitors per year limitation, it would take Smith-Madrone 854.4 years to see the same number of visitors another Napa County winery is allowed to see in a single year.
- 78. The 2012 database, consistent with Smith-Madrone's use permit, did not contain a limit on marketing events or marketing event visitors while later versions state that Smith-Madrone is not allowed any marketing events or marketing event visitors.
- 79. These numbers and limits are not displayed anywhere in the use permit, conditions of approval, or findings for the use permit issued to Smith-Madrone. (Exhibit 7.)
- 80. Unlike other wineries in Napa County, Smith-Madrone did not receive correspondence regarding Napa County's "Use Permit Compliance Program" but was advised of the letter by other wineries.
- 81. Smith-Madrone has not sought a status determination for fear, based upon information and belief, that Napa County engages in a policy and practice to deem longstanding winery entitlements "beyond the scope" of an issued use permit and mandate "compliance" by application for a conditional use permit that is materially more limited than the existing entitlements, and to trade down property uses at great expense.
- 82. Smith-Madrone is informed and believes that many participants in the "use permit compliance program" and/or "status determination program" are still navigating the process more than six years after they filed, with consistently changing "goalposts" for "compliance" and at debilitating expense.
- 83. Smith-Madrone is informed and believes that wineries that have sought determination and/or contested Napa County's determination of winery entitlements have resulted in reductions in their uses without explanation or legal authority.

- 84. Smith-Madrone routinely receives requests from customers, both formally and informally, for tastings, wine by the glass, retail sales, tours, marketing events, and other common services provided by wineries.
- 85. Because of the restrictions placed upon it by Napa County, Smith-Madrone is not able to freely grant these requests which has caused it to lose profits.
- 86. The Napa County ordinance and policies have also prevented Smith-Madrone from advertising and marketing its winery which has additionally caused Smith-Madrone to suffer damages from lost sales.

## California State Laws and Regulations Allow More Winery Uses Than Napa County:

- 87. California Business and Professions Code ("BPC") Section 23358(a)(2) allows wineries with a Type 02 Winegrower license to sell wine and brandy to consumers for consumption off the winegrowers' premises.
- 88. BPC Section 23358(a)(3) allows wineries with a Type 02 Winegrower license to sell bottles of wine to consumers for consumption on the winegrowers' premises.
- 89. BPC Section 23358(a)(3) does not restrict how such wine is served, *e.g.*, by the sample, by a flight, by the glass or by the bottle. Indeed, the legislative history of the bill expressly confirms sale by the bottle, glass, or sample is expressly allowed.
- 90. BPC Section 23358(a)(4) allows a winery to operate a bona fide eating place on the licensed premises and "[s]ell all beers, wines, and brandies, regardless of source, to consumers for consumption on the premises."
- 91. BPC Section 23358(b) states that a "winegrower may also have upon the premises all beers, wines, and brandies, regardless of source, for sale or service only to guests during private events or private functions not open to the general public."
- 92. BPC Section 23358(c) states that at least fifty percent of the wine a winegrower sells on its licensed premises must be produced by the winegrowers from the conversion of grapes, berries, or other fruit into wine.
- 93. BPC Section 23358(c) does not dictate the source of the grapes, berries, or fruit a winegrower converts into wine.

consumption of wine on the premises from holding a winetasting of wines legally acquired, provided the on-sale licensee shall charge for the wines presented in accordance with law."

- 101. BPC Section 23386(a) states that a winegrower's license "authorizes the giving away of samples of the alcoholic beverages that are authorized to be sold by the license under the rules that may be prescribed by the department."
- 102. BPC Section 23386(a) does not provide Napa County with authority to establish rules related to a winegrower giving away samples.
- 103. California courts have long recognized that, "[o]bviously, the use of samples is for the purpose of encouraging the sale of the product." *Tonkin Distributing Co. v. Collins*, 50 Cal. App. 2d 790, 795, 123 P.2d 938 (1942).
- 104. California rules allow winegrowers to "sponsor contests, races, tournaments, and other similar activities on or off licensed premises." Cal. Code Regs., Title 4, § 106(i)(2).
- 105. No California statute or rule allows Napa County to further restrict the provisions of Cal. Code Regs., Title 4, § 106(i)(2).
- 106. California Government Code section 65852 states that all zoning regulations "shall be uniform for each class or kind of...use of land throughout each zone...."

#### **The Napa County Code Related to Wineries:**

- 107. In 1955, Napa County adopted a comprehensive set of zoning ordinances recognizing that "agriculture is a major industry for the County" and for "protection of agriculture." (Exhibit 8: 1955 Ordinance at Sec. 1.02 (the "Napa County Code" or "NCC").)
- 108. In 1968, the Napa County Code was amended to add an Agricultural Preserve District which allowed, without the need for a use permit, "wineries", the "[s]ale of agricultural products grown, raised or produced on the premises" and "[a]ccessory and incidental uses compatible with and necessary to the operation of the above uses." (**Exhibit 9**: Ordinance 274, Sec. P.02.)
- 109. In 1976, the County established that all post-1976 winery developments may continue to operate in the Agricultural Preserve and Agricultural Watershed Districts as lawful uses but must first obtain a use permit.

- 120. Ordinance 947 defined a "Winery" to "mean an agricultural processing facility used for: (1) The fermenting and processing of grape juice into wine; or (2) The refermenting of still wine into sparkling wine." (*Id.* at Section 8.)
- 121. Ordinance 947 also added definitions which were not found in previous versions of the ordinances. (*Id.* at Section 9.)
- 122. Ordinance 947 did not include a definition of the terms "retail," "public tours," "wine tastings," "wine-related items," or "social events of a public nature."
- 123. Like the Small Winery Use Permit Exemption, Ordinance 947 defined certain terms but it did not contain operative ordinance sections which affirmatively precluded certain activities.
- 124. The Napa County Code was re-codified in 1994 and carried forward the revisions made by Ordinance 947 along with other revisions which have been made since 1994.
- 125. The current Napa County Code defines the term "Agriculture" to include "[m]arketing, sales, and other accessory uses that are related, incidental and subordinate to the main agricultural processing use." NCC Section 18.08.040.
- "any activity of a winery which is conducted at the winery on a prearranged basis for the education and development of customers and potential customers with respect to wine which can be sold at the winery on a retail basis pursuant to Chapters 18.16 and 18.20. Marketing of wine may include cultural and social events directly related to the education and development of customers and potential customers provided such events are clearly incidental, related and subordinate to the primary use of the winery. Marketing of wine may include food service, including food and wine pairings, where all such food service is provided without charge except to the extent of cost recovery. Business events are similar to cultural and social events, in that they will only be considered as 'marketing of wine' if they are directly related to the education and development of customers and potential customers of the winery and are part of a marketing plan approved as part of the winery's use permit. Marketing plans in their totality must remain 'clearly incidental, related and subordinate to the primary operation of the winery as a production

1	facility' (subsection (G)(5) of Sections 18.16.030 and subsection (I)(5) of 18.20.030). To be
2	considered directly related to the education and development of customers or potential customers
3	of the winery, business events must be conducted at no charge except to the extent of recovery of
4	variable costs, and any business content unrelated to wine must be limited. Careful consideration
5	shall be given to the intent of the event, the proportion of the business event's non-wine-related
6	content, and the intensity of the overall marketing plan." NCC Section 18.08.370.
7	127. The Napa County Code defines the terms "Tours and tastings" to mean "tours of
8	the winery and/or tastings of wine, where such tours and tastings are limited to persons who have
9	made unsolicited prior appointments for tours or tastings. Tours and tastings may include food
10	and wine pairings, where all such food service is provided without charge except to the extent of
11	cost recovery and is incidental to the tasting of wine. Food service may not involve menu options
12	and meal service such that the winery functions as a café or restaurant." NCC Section 18.08.620.
13	128. The Napa County Code defines the term "Winery" to mean "an agricultural
14	processing facility used for: A. The fermenting and processing of grape juice into wine; or B. The
15	refermenting of still wine into sparkling wine." NCC Section 18.08.640.
16	129. The Napa County Code does not define the terms:
17	(a) "Retail"
18	(b) "Public tours"
19	(c) "Private tours"
20	(d) "Private tasting"
21	(e) "Winetastings"
22	(f) "Wine-related items"
23	(g) "Social events of a public nature"
24	(h) "Consumption"
25	(i) "Marketing events"
26	(j) "Unsolicited"
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- 130. The Napa County Code makes clear that any "[u]ses allowed without a use permit or uses permitted upon grant of a use permit shall include any accessory use." NCC Section 18.104.040.
- 131. Significantly, all wineries entitled prior to Ordinance 947 (1990) were "grandfathered" as legal conforming uses, not legal nonconforming uses, by express decree.
- 132. Thus, every winery with either a use permit or exemption may also engage in accessory uses by right.
- 133. In defining the term "Agriculture," the Napa County Code recognizes that, for wineries who have obtained either a use permit or an exemption, "[a]griculture shall include...[p]roduction and processing of agricultural products, including agricultural processing facilities [and m]arketing, sales, and other accessory uses that are related, incidental and subordinate to the main agricultural processing use." NCC Section 18.08.040.
- 134. Thus, every winery which has either a use permit or an exemption has the ability to engage in "Marketing, sales, and other accessory uses that are related, incidental and subordinate to the main agricultural processing use."
- 135. Thus, each Plaintiff winery may engage in "Marketing of Wine" as defined by NCC Section 18.08.370.
- 136. As discussed above, Napa County prohibits Plaintiff Wineries, as well as other wineries, from freely engaging in marketing of wine.
- 137. As discussed above, Plaintiff Wineries are unable to decipher what the County deems a "marketing event," which subjects Plaintiffs to uncertainty in their business operations due to the threat of costly enforcement should Plaintiffs err in their interpretation of a marketing event as opposed to Napa County's subjective interpretation of the same term.
- 138. The Napa County Code also recognizes that some accessory uses at a winery include tours and tastings, as defined in NCC Section 18.08.620, and sale of wine related products. *See* NCC Section 18.16.030 and NCC Section 18.20.030.
- 139. Despite the Napa County Code allowing Plaintiff Wineries to engage in the abovedescribed uses, Napa County prohibits Plaintiff Wineries from engaging in these uses and has

issued code violations to many wineries in Napa County on this issue.

- 140. Plaintiff Wineries are aware of code enforcement actions against other wineries over the years by Napa County and have responded by curtailing their activities to avoid subjective enforcement by Napa County and putting their businesses at risk.
- 141. Despite the Napa County Code allowing Plaintiff Wineries to engage in the above-described uses, Napa County currently declares that small winery use permit exemptions, legally conforming wineries by express decree, are prohibited from uses authorized other "small wineries" or pre-WDO and post-WDO wineries entitled by "use permit" (as opposed to "use permit exemption") such as "tastings by appointment" and "marketing of wine" without obtaining a new winery entitlement.
- 142. Despite the Napa County Code allowing Plaintiff Wineries to engage in the above-described uses, Napa County prohibits small winery use permit exemptions from sale of wine, items, or agricultural products not "produced" on the premises, but does not place a similar prohibition to other wineries.
- 143. The Napa County Code also requires that for all wineries established after the date the ordinance was codified, "at least seventy-five percent of the grapes used to make the winery's still wine, or the still wine used by the winery to make sparkling wine, shall be grown within the county of Napa." NCC Section 18.104.250(B).
- 144. For wineries established prior to the codification of the ordinance, if they wish to expand, seventy-five percent of the grapes used to make still or sparkling wine as a result of the expansion must be grown in Napa County. NCC Section 18.104.250(C).
- 145. In 2022 Napa County created a new type of winery, a micro-winery, which provided more uses, rights, and entitlements to micro-wineries than allowed to Plaintiff wineries despite micro-wineries being much smaller in both production and infrastructure. NCC Section 18.08.377. For example, a micro-winery has the following restrictions and uses:
  - (a) Product capacity of no more than 5,000 gallons of wine.
  - (b) Maximum indoor space of 5,000 sq. ft.
  - (c) Up to 20 daily trips for visitors, employees and deliveries.

(d) Tours and tastings between the hours of 9:00am and 6:00 pm.
Napa County Has Admitted That Many Ordinance Terms Are Vague and Ambiguous:
146. Napa County maintains multiple active definitions of the term "small winery," that
are all distinct:
(a) A "small winery" "does not conduct public tours, provide winetastings, sell
wine related items, or hold social events of a public nature." NCC Section 18.08.600(c).
(b) "[S]mall wineries" are those "that produce a small quantity of wine using
grapes mostly grown on site and host a limited number of small marketing events each year."
(Exhibit 12: Napa County General Plan, Policy AG/LU 16.)
(c) "Small wineries," for the purposes of determining whether a development
or use permit modification, has no environmental impact, and is thus exempt is defined to include
the following:
(i) Less than 5,000 square feet excluding caves;
(ii) Will involve either no cave excavations or excavation sufficient to
create no more than 5,000 additional square feet;
(iii) Will produce 30,000 gallons or less per year;
(iv) Will generate less than 40 vehicle trips per day and 5 peak hour
trips except on those days when marketing events are taking place;
(v) Will hold no more than 10 marketing events per year, each with no
more than 30 attendees, except for one wine auction event with up to 100 persons in attendance.
(vi) And will hold no temporary events. (Exhibit 13: Class 3 CEQA
Exemption, Napa Local Exemption Classification, (2020).)
147. In its General Plan, the County acknowledged that the following terms are vague
and required further definition: "small wineries," a "small quantity of wine," "small marketing
events," and "mostly grown on site." (Exhibit 12: General Plan, Action Item, AG/LU – 16.1.)
148. Napa County concedes that the term "tasting" in the NCC is vague and ambiguous
149. In responding to Requests for Admissions in a California state court case related to
Plaintiff Hoopes, Napa County objected to requests using the term "tasting" because the term was

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1	"vague and ambiguous." (Exhibit 14: March 9, 2023 Resp. to RFA at Requests 29, 32, 44, 45.)
2	150. Specifically, Napa County objected to a request asking it to "[a]dmit that the Napa
3	County Code only prohibits 'tastings' without prior appointment' because the "Request is vague
4	and ambiguous, particularly based upon the quoted use of the word 'tastings.'" (Id. at Request
5	32.)
6	151. Napa County officials have also admitted that the "Napa County Code includes no
7	definition of the term 'tasting.'" (Exhibit 15: August 8, 2023 RFA Responses at 16.)
8	152. Napa County concedes that the term "retail" in the NCC is vague and ambiguous.
9	153. In the same Hoopes lawsuit, Napa County objected to a request to "[a]dmit that the
10	Napa County Code does not define what 'retail' permissions at pre-WDO wineries means"
11	because the request was "incomprehensible, vague and ambiguous, particularly based upon the
12	quoted use of the word 'retail.'" (Exhibit 14: Request to Admit 31.)
13	154. Napa County has admitted that the "small winery use permit exemption
14	application does not define 'retail sales.'" (Exhibit 15: Request to Admit 19.)
15	155. Napa County has conceded that the term "consumption" is vague and ambiguous.
16	"Consumption" does not appear in the NCC, but the County takes the official position that any
17	form of "consumption" at a small winery use permit exemption is a "tour and tasting."
18	156. In the same Hoopes lawsuit, Napa County objected to a request to "[a]dmit that the
19	picnic bill allows consumption on winery premises" because the request was "vague and
20	ambiguous, particularly based upon the quoted use of the word 'consumption.'" (Exhibit 14:
21	Request to Admit 31.)
22	157. Napa County denied a request to "[a]dmit that onsite consumption is not a tour or
23	tasting." (Id. at Request to Admit 66.)
24	158. "Consumption" is expressly allowed at all Plaintiff Wineries though the State O2
25	licenses. Consumption is not defined at State Law as equivalent to a "tasting."
26	159. Napa County concedes that the "wine related" in the NCC is vague and
27	ambiguous.
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- 160. In the same Hoopes lawsuit, Napa County objected to request to "[a]dmit there is no definition of 'wine related' items in the Napa County Code" because the request was "vague and ambiguous, particularly based upon the quoted phrase 'wine-related.'" (*Id.* at Request to Admit 85.)
- 161. Napa County concedes that the term "visitors" in the NCC is vague and ambiguous.
- 162. In the same Hoopes lawsuit, Napa County objected to a request to request to admit using the term "visitors" because Napa County believed the request was "vague and ambiguous because the word 'visitors' is not defined." (Exhibit 15: Request to Admit 2.)
- 163. In a May 26, 2016, email, Napa County officials discussed that that term "visitors," at least as it relates to small winery use permit exemptions, "does not mean tours/tastings but rather business-related visitors (deliveries, sales people, etc.)" (Exhibit 16: May 26, 2016 Email.)
- 164. Charlene Gallina, the Napa County Planning Supervisor, previously testified under oath that after "[r]eviewing the ordinance, reviewing regulation - or, you know, reviewing the ordinances, the WDO, discussions with County counsel, interpretation, also interpretation by the manager, how we presented those documents to the Planning Commission," she interpreted the term "visitors" to mean people in the trade such as restaurant/store owners who might come to a winery to "purchase cases of wine so that they could have in their restaurant or at the liquor store or at the grocery store." (Exhibit 17: Gallina Deposition Testimony at 69-71.)
- 165. Napa County does not maintain records related to an "[o]fficial County working definition of 'wine related' and 'non-wine related items." (Exhibit 18: August 28, 2023, letter.)
- 166. Napa County does not maintain records related to an "[o]fficial definition or internal working definitions and documents reflecting the same of 'visitor' and/or 'visitation' at winery operations." (*Id.*)
- 167. Napa County does not maintain records related to "definitions or working enforcement and permitting distinctions between 'small winery exemptions' and 'full blown winery.'" (*Id.*)

1	168. Napa County does not maintain a "[l]ist of wineries with permission to host
2	picnics." (Id.)
3	169. Napa County does not maintain a "[l]ist of all wineries with permission to sell
4	items other than wine." ( <i>Id</i> .)
5	170. Napa County does not maintain a "[l]ist of all wineries with permission to sell
6	wine-related items." (Id.)
7	171. Napa County has admitted that "[w]e were terrible, I have to agree, we were
8	terrible in notating exactly what entitlements were, and so we've had to go back to the application
9	and look at the requests to see what they asked for because the final approval letter didn't identify
10	what their visitation and marketing program was. They just said you get a 20,000 gallon winery
11	and that's it, and then a building that's 5,000 or 10,000 square feet." (Exhibit 17: Gallina
12	Deposition Testimony at 70-71.)
13	172. In determining that some County wineries may not provide wine tasting, Napa
14	County relies upon the definition contained within NCC 18.08.600. (Exhibit 19: March 9, 2023,
15	Interrogatory Response 4.)
16	173. In determining that Plaintiff Wineries are prohibited from "holding social events of
17	a public nature," Napa County relies upon the definition contained within NCC 18.08.600. ( <i>Id.</i> at
18	Interrogatory Response 40.)
19	174. Definitional sections of ordinances are not operative law. See, e.g., Isaacson v.
20	Brnovich, 610 F. Supp 3d 1243, 1252 (D. Ariz. 2022) (definition in a statute "is not by itself
21	operative law"); Hamilton v. Brown, 4 Vet. App. 528, 536 (U.S. Ct. Vet. App. 1993)
22	("[d]efinitions, whether statutory or regulatory, are not themselves operative provisions of law.");
23	Aguayo v. Jewell, No. 13-CV-1435-BAS KSC, 2014 WL 6473111, at *16 (S.D. Cal. Nov. 18,
24	2014), aff'd, 827 F.3d 1213 (9th Cir. 2016); see also Hawaii v. Off. of Hawaiian Affs., 556 U.S.
25	163, 175 (2009) ("whereas" clauses and preamble language are not operative).
26	175. According to Napa County, using social media for marketing purposes is a
27	violation of the Napa County Code. (Exhibit 19: Interrogatory Response 11.)
$_{28}$	

176. According to Napa County, if a Napa County winery "offers visitors access to the winery's interior and exterior," the winery has provided the visitor with a "public tour" which is in violation of the Napa County Code. (*Id.* at Interrogatory Response 37.)

## Napa County Was Aware of Constitutional Issues With the Napa County Code:

- 177. On October 16, 1989, in relation to the proposed Winery Definition Ordinance, Napa County's Chief Deputy Legal Counsel wrote a memorandum to the Board of Supervisors regarding legal issues with the Winery Definition Ordinance. (**Exhibit 20**.) That memorandum outlined a number of federal and state constitutional issues as well as statutory issues:
- (a) Equal Protection: The memo discussed that a provision which would regulate retail sales based on the source of the grapes used in the wine sold would be subject to an Equal Protection claim because there was no rational relationship between the provision and "any legitimate state purpose." (*Id.* at p. 1-2.)
- (b) Non-Uniform Zoning Ordinances: The memorandum discussed the discrepancy between the right to engage in "public tours, public promotional activities, winery guest picnic areas, and display and sale of wine-related items" at existing wineries and newly established wineries because "state law does not permit local agencies to adopt discriminatory rules for the same type of future uses (wineries) on essentially similar properties within the same zoning districts." (*Id.* at 2.)
- (c) Commerce Clause: The memorandum discussed the legality of the Winery Definition Ordinance's requirement that a winery utilize at least 75% grapes grown in Napa County. *Id.* at p. 3-4. On this issue, Napa's counsel determined the restriction would likely be legal based on the appellation regulations and a legal opinion received from the law firm of Townsend and Townsend. (*Id.* at 4.)
- 178. In an October 26, 2009, Memorandum (**Exhibit 21**), Napa County again recognized that the Napa County Code and interpretations thereof were problematic and potentially violated the Constitutional rights of wineries:
- (a) Napa County recognized that "events are protected under the First Amendment of the US Constitution." *Id.* at 3.

- (b) Napa County recognized that "it has not always been clear whether business meetings and similar events qualify as marketing events.... [For example,] business meetings have a marketing objective (e.g. a wine tasting or education event scheduled for a group of bankers as a part of a corporation retreat), have often been considered marketing events...."

  Id. at 2.
- (c) "[P]lanning staff understands that the prohibition on cultural and social events and the issues surrounding business meetings...are themselves based on interpretations of code language. In the case of cultural and social events, County staff and policy makers have routinely interpreted birthday parties, weddings, etc. to be cultural and social events that are 'unrelated to...education and development' of the persons and groups called out in the definition of 'marketing.'" *Id.* at 3.
- (d) "In the case of business meetings, County staff and policy makers have interpreted some business meetings as falling within the definition of 'marketing,' while acknowledging that the practice of hosting other business meetings can be considered a commercial activity outside the definition of 'marketing.' Careful consideration should be given to legal issues and potentially preferable alternatives before using an administrative interpretation to clarify when business meetings are acceptable. While there is no phrase in the code expressly describing these meetings as not falling within the definition of marketing (as there is for social and cultural events), there is still the disadvantage that an administrative interpretation can be reversed ... whenever the composition of the Commission or the Board changes." *Id*.

## **Disparity of Rights for Napa Wineries:**

- 179. Wineries in Napa County have varied permissions from the County with respect to the services they are allowed to offer and the number of visitors allowed at each winery.
- 180. Napa County prohibits some, but not all, wineries within the County from offering public tastings at their winery.
- 181. Napa County prohibits some, but not all, wineries within the County from offering private tastings at their winery.

COMPLAINT

ATTORNEYS AT LAW OAKLAND

COMPLAINT

- 25 -

1	196.	Napa County prohibits some, but not all, wineries from hosting weddings
2	receptions at	their winery.
3	197.	Napa County prohibits some, but not all, wineries from selling wine at their winery
4	that was prod	uced at other licensed facilities operated by the same winegrower.
5	198.	Napa County prohibits some, but not all, wineries from selling retail items at their
6	winery.	
7	199.	Napa County prohibits some, but not all, wineries from selling anything "not
8	produced on	site" at their winery.
9	200.	Napa County prohibits some, but not all, wineries from selling wine-related items
10	at their winer	y.
11	201.	Napa County prohibits some, but not all, wineries from selling non-wine related
12	items at their	winery.
13	202.	Napa County dictates the number of customers who may come to a winery each
14	day, week, ar	nd year.
15	203.	Napa County dictates the number of employees a winery may employ.
16	204.	Napa County determines whether an event is allowed at a winery based on the
17	content of the	e event.
18	205.	A 2019 Napa County Winery Database (Exhibit 6), shows the disparity in
19	permissions f	for wineries in Napa County. At the time, there were 491 wineries in Napa County
20	and the tastin	g room visitors each were allowed varied greatly:
21		(a) 99 wineries are not allowed to have any visitors.
22		(b) 46 wineries are allowed to have between 1 and 10 visitors per week.
23		(c) 85 wineries are allowed to have between 11 and 50 visitors per week.
24		(d) 68 wineries are allowed to have between 51 and 100 visitors per week.
25		(e) 134 wineries are allowed to have between 101 and 500 visitors per week.
26		(f) 24 wineries are allowed to have between 501 and 1,000 visitors per week.
27		(g) 31 wineries are allowed to have between 1,001 and 8,544 visitors per week.
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ATTORNEYS AT LAW
OAKLAND

1	206.	Acco	rding to the Winery Database, the average number of weekly visitors across
2	all wineries is	281 v	isitors per week.
3	207.	The 2	2019 Napa County Database shows that the ability to have marketing events
4	varies greatly	:	
5		(a)	151 wineries are not allowed any marketing events per year.
6		(b)	56 wineries are allowed between 1 and 5 marketing events per years.
7		(c)	72 wineries are allowed between 6 and 10 marketing events per year.
8		(d)	130 wineries are allowed between 11 and 50 marketing events per year.
9		(e)	53 wineries are allowed between 51 and 175 marketing events per week.
10		(f)	13 wineries are allowed between 176 and 400 marketing events per year.
11		(g)	9 wineries are allowed between 401 and 832 marketing events per year.
12		(h)	2 wineries are allowed between 1,130 and 1,673 marketing events per year.
13		(i)	1 winery is allowed 4,612 marketing events per year.
14		(j)	This last winery could have 12.6 marketing events per day which is more
15	events in one	day th	an 159 wineries are allowed to have in a year.
16	208.	The 2	2019 Napa County Winery Database shows that the ability to have marketing
17	event visitors	also va	aries greatly:
18		(a)	148 wineries are not allowed any marketing event visitors.
19		(b)	27 wineries are allowed between 1 and 100 marketing event visitors per
20	year.		
21		(c)	61 wineries are allowed between 101 and 250 marketing event visitors per
22	year.		
23		(d)	76 wineries are allowed between 251 and 500 marketing event visitors per
24	year.		
25		(e)	45 wineries are allowed between 501 and 1,000 marketing event visitors
26	per year.		
27		(f)	95 wineries are allowed between 1,001 and 5,000 marketing event visitors
28	per year.		
			- 27 -

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OAKLAND

COMPLAINT CASE NO: 3:24-CV-6256

1		(g)	20 wineries are allowed between 5001 and 10,000 marketing event visitors
2	per year.		
3		(h)	18 wineries area allowed between 10,001 and 50,000 marketing event
4	visitors per y	ear.	
5		(i)	1 winery is allowed up to 95,400 marketing event visitors per year.
6		(j)	This last winery is allowed more marketing event visitors per year than 378
7	Napa winerie	s combi	ined.
8	209.	For to	tal visitors allowed at wineries, the disparity is massive:
9		(a)	81 wineries are not allowed to have any visitors at their tasting room or
10	marketing ev	ents.	
11		(b)	4 wineries are allowed to have up to 100 visitors per year at their tasting
12	room or mark	eting ev	vents.
13		(c)	64 wineries are allowed to have between 101 and 1,000 visitors per year at
14	their tasting r	oom or	marketing events.
15		(d)	122 wineries are allowed to have between 1,001 and 5,000 visitors per year
16	at their tasting	g room	or marketing events.
17		(e)	83 wineries are allowed to have 5,001 and 10,000 visitors per year at their
18	tasting room	or mark	eting events.
19		(f)	61 wineries are allowed to have between 10,001 and 25,000 visitors per
20	year at their t	asting r	oom or marketing events.
21		(g)	36 wineries are allowed to have between 25,001 and 50,000 visitors per
22	year at their t	asting r	oom or marketing events.
23		(h)	17 wineries are allowed to have between 50,001 and 100,000 visitors per
24	year at their t	asting r	oom or marketing events.
25		(i)	22 wineries are allowed to have between 100,001 and 539,688 visitors per
26	year at their t	asting r	oom or marketing events.
27		(j)	One winery is allowed more visitors in one year than 170 wineries
28	combined.		
	l		_ 28 _

ATTORNEYS AT LAW OAKLAND

- 210. The distinction between the number of tasting room visitors, marketing event visitors, and marketing events allowed is not based upon objective criteria such as acreage, building size, or parking spaces as the 2019 Napa County Winery Database shows that wineries with similar building sizes, and parking spaces have drastically different allowances for visitors.
- 211. For example, one winery with 75 parking spaces and a 96,200 sq. ft. building is allowed 6,280 visitors per year while another winery with 75 parking spaces and a 56,215 sq. ft building is allowed 118,700 visitors per year. These two wineries were approved approximately one year apart. Another winery has 22 parking spaces and is allowed 146,000 visitors per year.
- 212. As discussed above, sometime between 2012 and 2016, Napa County revised its Winery Database to change the permissions for county wineries without notice to those wineries and in many instances removing permissions for wineries.
- 213. On August 11, 2015, David Morrison, Director of PBES, communicated to the Board of Supervisors that PBES conducted a "multi-month" audit of the winery database, but has refused to disclose the details, audit trial, directive for the "audit," who had access to the database, who completed the audit, what standards were used, or what changes were made to the public or to property owners. In response to Public Records Requests, the Department declared in general terms that these documents were not maintained or did not exist.
- 214. For example, between 2012 and 2016, the Napa County changed the permissions for the following wineries from "tastings by appointment" to no tastings allowed: Alta Vineyard Cellar, Amizetta Vineyards, Baldacci Family Vineyards, Cain Cellars, Combs Brothers Cellars, David Busby Winery, Domaine Montreaux, El Molino, Winery, Frisinger Vineyards, Hakanson Winery, Hopper Creek Winery, Kates Vineyard, Kongsgaard Winery, La Vallette Winery, Mt. Veeder Winery, Obrien Family Vineyard, Sears Winery, Simone Winery, Stags Leap Winery (Doumani 1), Stags Leap Winery (Doumani 5), Summit Lake Vineyards, Villa Helena, Villa Ragazzi and Volker Eisele Family Estate. (Exhibits 2-4, 6.)

#### Napa County Enforces Its Unconstitutional Ordinances and Policies:

215. On August 22, 2017, Napa County adopted a policy wherein it vested authority, in its "sole discretion," with the County Director of Planning to oversee a program to determine the

- 29 -

ATTORNEYS AT LAW OAKLAND

actions, to avoid the ire of Napa County.

- Plaintiff Wineries have actively engaged with the County to find a workable solution, provided all requested documents, and expended substantial funds in furtherance of a solution and to avoid litigation.
- 227. The County induced good faith reliance that the County would provide a path to resolution through the voluntary "compliance" and/or timely responses but the County has instead used the program to demand unsupportable, unlawful, and unworkable demands to continue existing operations and/or abandonment of existing entitlements.
- 228. Plaintiff Wineries relied on these promises in continuing to make adjustments, and artificially abate lawful behavior to appease County officials, even absent legal authority requiring the same, to find a resolution.
- 229. The County was not motivated to "gain compliance," but rather force unlawful upgrades for existing entitlements the County knew or should have known the Plaintiff Wineries could not or did not need to undertake.
- 230. As part of this process and the process for any new wineries, Napa County defers to the subjective interest of neighboring landowners and special interest groups to dictate the permissions allowed to wineries like Plaintiffs.
- In other instances, Napa County has advised applicant wineries or vineyards that they must first negotiate with third parties, including special interest groups, before Napa County will review and approve an application.
- In some instances, Napa County includes third parties in enforcement efforts 232. against wineries by sharing investigative materials and internal enforcement communications therewith.
- Napa County has advised applicants that they "should" agree to dedicate land for 233. conversations and easements, pay money to public projects and/or voluntarily agree to reduce the number of visitors or size of facilities to appease third-party interests and those of the County.

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# FIRST CLAIM FOR RELIEF FACIAL CHALLENGE TO VIOLATION OF FREEDOM OF SPEECH UNDER THE FIRST AND FOURTEENTH AMENDMENTS (42 U.S.C. § 1983)

- 234. Plaintiffs incorporate and reallege the preceding paragraphs as if fully restated herein.
- 235. The First Amendment to the United States Constitution prohibits the abridgement of the freedom of speech.
- 236. The protections of the First Amendment have been extended through the Fourteenth Amendment to prohibit the abridgement of the freedom of speech and freedom of expression by state and local governments.
- 237. Persons violating the First and Fourteenth Amendments under color of state law are liable under 42 U.S.C. § 1983.
- 238. Napa County has violated Plaintiffs' freedom of speech by restricting both expressive and commercial speech.
- 239. For a regulation of commercial speech to be constitutional, courts apply a four-part test: 1) if the speech concerns lawful activity and is not misleading; 2) the asserted governmental interest must be substantial; 3) the regulation must directly advance the governmental interest asserted; and 4) the regulation must not be more extensive than is necessary to serve that interest. *Central Hudson Gas & Elec. Corp. v. Public Serv. Comm'n of New York*, 447 U.S. 557, 566 (1980).
- 240. Plaintiffs wish to invite guests to their businesses and/or maintain their businesses as generally open to the public for the express purpose of advertising and promoting the products Plaintiffs have for sale with the intent of completing a sale of their products to consumers who visit their businesses.
- 241. Plaintiffs are afraid to exercise entitlements and rights they believe are already entitled to the property, and authorized pursuant to state licenses, for fear of retribution and unauthorized law enforcement. This has chilled exercise of lawful entitlements and rights.
- 242. Plaintiffs wish to invite guests to their businesses and/or maintain their businesses as generally open to the public for the express purpose engaging in product demonstrations to

allow customers to taste Plaintiffs' products with the primary intent that these customers will purchase Plaintiffs products at that time and/or sign up for Plaintiffs' wine clubs so that Plaintiffs may sell additional products to these customers throughout the year.

- 243. Activities which seek to "have prospects enter their stores and purchase Plaintiffs' products . . . [are] commercial speech." *FF Cosmetics FL Inc. v. City of Miami Beach, Florida*, 129 F. Supp. 3d 1316, 1321 (S.D. Fla. 2015).
- 244. Product demonstrations are commercial speech because they are "essentially an advertisement" of products and the motivation for engaging in the speech is purely economic. *Am. Future Sys., Inc. v. Pennsylvania State Univ.*, 752 F.2d 854, 857 (3d Cir. 1984); *Bd. of Trustees of State University of New York v. Fox*, 492 U.S. 469 (1989).
- 245. Napa County's ordinances and policies violate Plaintiffs' First Amendment free speech rights by prohibiting and/or restricting political, cultural, charitable, and other forms of events and gatherings.
- 246. Napa County concedes that activities which bring potential customers to a winery are for the purpose of "marketing of wine."
- 247. Napa County's ordinances and policies violate Plaintiffs' First Amendment free speech rights by, among other restrictions, prohibiting and/or restricting Plaintiffs' ability to engage in commercial speech which is no more than speech proposing a commercial transaction.
- 248. Napa County further requires that permit applicants "shall submit to the county a fully executed indemnification agreement agreeing to defend, indemnify, release and hold harmless the county from any claim, action, or proceeding brought against the county to attack, set aside, void or annul the approval based on the county's failure to comply with the requirements of any federal, state, or local law, including but not limited to general plan and zoning requirements, or both. The indemnification shall include damages awarded against the county, if any, costs of suit, attorneys' fees and other expenses incurred in connection with such action." NCC Section 1.30.030(A).
- 249. But under Section 1988, even if Napa County were determined to be the prevailing party in a Section 1983 lawsuit, it is only entitled to recover its costs and attorneys' fees if the

1	litigation was "unreasonable, frivolous, meritless, or vexatious." By attempting to make the
2	payment of attorneys' fees and costs mandatory, Napa County violates Plaintiffs' First
3	Amendment right to petition the courts by attempting to chill meritorious litigation under the
4	threat of costs and attorneys' fees. See S. Bay Rod & Gun Club, Inc. v. Bonta, 646 F. Supp. 3d
5	1232, 1241–44 (S.D. Cal. 2022).
6	250. Plaintiff Wineries are in, or have threatened, litigation with Napa County for
7	which they have experienced retaliation from Napa County.
8	251. This has violated Plaintiffs' First Amendment Right to petition the courts.
9	252. These First Amendment violations have caused Plaintiffs damages.
10	WHEREFORE, Plaintiffs respectfully request that this Honorable Court:
11	(a) Enter a judgment declaring that, on its face and as applied, the ordinances
12	and policies violate the United States Constitution;
13	(b) Enjoin Napa County, its employees, officers, and agents, from enforcing
14	the ordinances and policies permanently and preliminarily while this litigation is pending;
15	(c) Award Plaintiffs actual, compensatory, punitive, nominal, and special
16	damages in an amount to be proven at trial, plus prejudgment interest on those amounts;
17	(d) Award Plaintiffs their reasonable costs, including attorneys' fees, incurred
18	in bringing this action pursuant to 42 U.S.C. § 1988; and
19	(e) Grant such other and further relief as this Court deems just and proper.
20 21	SECOND CLAIM FOR RELIEF AS-APPLIED CHALLENGE TO VIOLATION OF PLAINTIFFS' FREEDOM OF SPEECH UNDER THE FIRST AND FOURTEENTH AMENDMENTS (42 U.S.C. § 1983
22	253. Plaintiffs incorporate and reallege the preceding paragraphs as if fully restated
23	herein.
24	254. The First Amendment to the United States Constitution prohibits the abridgement
25	of the freedom of speech.
26	255. The protections of the First Amendment have been extended through the
27	Fourteenth Amendment to prohibit the abridgement of the freedom of speech and freedom of
28	expression by state and local governments.
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1	(c) Award Plaintiffs actual, compensatory, punitive, nominal, and special
2	damages in an amount to be proven at trial, plus prejudgment interest on those amounts;
3	(d) Award Plaintiffs their reasonable costs, including attorneys' fees, incurred
4	in bringing this action pursuant to 42 U.S.C. § 1988; and
5	(e) Grant such other and further relief as this Court deems just and proper.
6 7	THIRD CLAIM FOR RELIEF PRIOR RESTRAINT OF SPEECH (42 U.S.C. § 1983)
8	264. Plaintiffs incorporate and reallege the preceding paragraphs as if fully restated
9	herein.
10	265. "The term prior restraint is used 'to describe administrative and judicial orders
11	forbidding certain communications when issued in advance of the time that such communications
12	are to occur." Alexander v. United States, 509 U.S. 544, 550 (1993) (citation omitted). There is
13	a "heavy presumption" against the constitutional validity of prior restraints. See Bantam Books,
14	Inc. v. Sullivan, 372 U.S. 58, 70 (1963). If a licensing statute places "unbridled discretion in the
15	hands of a government official or agency, [it] constitutes a prior restraint and may result in
16	censorship." City of Lakewood v. Plain Dealer Publ'g Co., 486 U.S. 750, 757 (1988).
17	266. The relevant Napa County ordinances and policies unconstitutionally require
18	Plaintiffs to obtain governmental approval before speaking.
19	267. Approval is at the unbridled discretion of Napa County and is not a matter of
20	routine.
21	268. For example, to have a cultural, business, or social event at a winery, Plaintiffs are
22	required to obtain approval from Napa County regarding the purpose and intent of the event, by
23	way of submission of a "marketing plan," before "marketing events" can take place.
24	269. The requirement to get governmental pre-approval is an unlawful prior restraint
25	and has caused Plaintiffs damages.
26	WHEREFORE, Plaintiffs respectfully request that this Honorable Court:
27	(a) Enter a judgment declaring that, on its face and as applied, the ordinances
28	and policies violate the United States Constitution;

1	(b) Enjoin Napa County, its employees, officers, and agents, from enforcing	
2	the ordinances and policies permanently and preliminarily while this litigation is pending;	
3	(c) Award Plaintiffs actual, compensatory, punitive, nominal, and special	
4	damages in an amount to be proven at trial, plus prejudgment interest on those amounts;	
5	(d) Award Plaintiffs their reasonable costs, including attorneys' fees, incurred	
6	in bringing this action pursuant to 42 U.S.C. § 1988; and	
7	(e) Grant such other and further relief as this Court deems just and proper.	
8 9	FOURTH CLAIM FOR RELIEF CONTENT-BASED SPEECH RESTRICTIONS (42 U.S.C. § 1983)	
10	270. Plaintiffs incorporate and reallege the preceding paragraphs as if fully restated	
11	herein.	
12	271. It is a fundamental precept of the First Amendment that the government cannot	
13	favor one private speaker over another. Rosenberger v. Rector & Visitors of Univ. of Va., 515	
14	U.S. 819, 828 (1995).	
15	272. Accordingly, content-based restrictions are "presumptively invalid." <i>Ysursa v</i> .	
16	Pocatello Educ. Ass'n, 555 U.S. 353, 358 (2009).	
17	273. An especially "egregious" form of content-based discrimination is that which	
18	excludes a viewpoint from the marketplace of ideas. <i>Rosenberger</i> , 515 U.S. at 829.	
19	274. "One reliable way to tell if a law restricting speech is content based is to ask	
20	whether enforcement authorities must 'examine the content of the message that is conveyed' to	
21	know whether the law has been violated." Otto v. City of Boca Raton, Florida, 981 F.3d 854, 862	
22	(11th Cir. 2020) (quoting McCullen v. Coakley, 573 U.S. 464, 479 (2014)).	
23	275. The Napa County Code recognizes that "Marketing of Wine" includes activities	
24	and events intended to educate consumers about wine that is offered. NCC Section 18.08.370.	
25	276. The Napa County Code allows business events for the marketing of wine but in	
26	determining whether to approve a business event at a winery, the ordinances state that "[c]areful	
27	consideration shall be given to the intent of the event, the proportion of the business event's non	
28	wine-related content, and the intensity of the overall marketing plan." <i>Id</i> .  - 37 -	

allowed social, cultural, and business event. (Exhibit 25.)

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NCC Section 18.20.030 (I)(5).

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278. That interpretive guidance explicitly states that this determination is made based
on the content of the advertising and message at the event: "Since the adoption of the Winery
Definition Ordinance in 1990, Napa County Code has allowed activities for the education and
development of customers and potential customers at wineries under the definition of 'marketing
of wine.' Cultural and social events that are unrelated to education and development are explicitly
not permitted, while cultural and social events that are directly related to education and
development have always been allowed. Business events are similar to cultural and social events,
in that they are only permitted as part of 'marketing of wine' if they are directly related to the
education and development of customers and potential customers of the winery and are part of an

Napa County has issued interpretative guidance as how it determines what is an

Napa County's Planning Supervisor testified in the Hoopes State Court lawsuit that Napa County uses the interpretive guidance to determine whether an event at a winery is allowed. (Exhibit 26: Transcript at 511.)

approved marketing plan that in its totality is 'clearly incidental, related and subordinate to the

primary operation of the winery as a production facility" NCC Section 18.16.030(G)(5) and

- 280. The guidance then gives "some examples of marketing events, including cultural and social events that the County considers directly related to education and development of consumers. These events fall within the definition of 'marketing of wine.' In each case, the example describes the intent of the event, the wine-related content, and the non-wine related content." (Exhibit 25.)
- 281. The guidance also gives "some examples of business events that the County considers directly related to education and development of consumers, and therefore fall within the definition of 'marketing of wine.' In each case, the example describes the intent of the event, the wine-related content. and the non-wine related content."
- 282. Napa County is clear that whether an event is allowed to occur at a winery is entirely dependent on the "intent of the event" as well as the wine and non-wine "content."

- 290. "When a municipal ordinance regulates a useful business enterprise, it is subject to scrutiny by the courts with a view to determining whether the ordinance is a lawful exercise of the police power, or whether it amounts to unwarranted and arbitrary interference with the constitutional rights to carry on a lawful business, to make contracts, or to use and enjoy property." *Safeway Inc. v. City and County of San Francisco*, 797 F. Supp. 2d 964, 969 (N.D. Cal. 2011) (citing *Dobbins v. Los Angeles*, 195 U.S. 223, 235–36 (1904) and *Lawton v. Steele*, 152 U.S. 133, 137 (1894)).
- 291. Napa County enforces arbitrary and vague laws against Plaintiffs which interfere with their constitutional rights to carry on a lawful business.
- 292. Further, "[i]t is a basic principle of due process that an enactment is void for vagueness if its prohibitions are not clearly defined." *Grayned v. City of Rockford*, 408 U.S. 104, 108 (1972).
- 293. The vagueness doctrine reflects two related requirements. First, "laws [must] give the person of ordinary intelligence a reasonable opportunity to know what is prohibited, so that he may act accordingly." *Id.* Second, the vagueness doctrine demands that laws "provide explicit standards for those who apply them" to avoid "arbitrary and discriminatory enforcement." *Id.*
- 294. As discussed above, the Napa County Code related to wineries are vague on their face and Napa County has admitted the ordinances are vague.
  - 295. Definitional sections of ordinances are not operative law.
- 296. As discussed above, Napa County enforces definitional ordinances as if they are operative law which violates the Plaintiffs' due process rights.
- 297. As discussed above, Plaintiff Wineries cannot identify what conduct is permitted or prohibited conduct due to lack of operative or even definitional guidance.
- 298. Plaintiff Wineries cannot identify what conduct is permitted due to inconsistent enforcement for the same conduct and as to similarly situated properties.
- 299. The Napa County Code fails to provide explicit standards for those who apply them which then allows Napa County official to engage in arbitrary and discriminatory enforcement.

- 300. Additionally, as discussed above, sometime between 2012 and 2016, Napa County revised its Winery Database and removed permissions for Plaintiffs without providing Plaintiffs of notice of the change or the opportunity to challenge the change in permissions.
- 301. During this time, Napa County did not establish standards, policies, procedures, or training to guide this mid-2010's interpretation of existing property entitlements and/or ensure uniform interpretation of decades old entitlements.
- 302. While Napa County has advised Plaintiffs that they could "voluntarily" seek a review of the "uses" and "rights" each are entitled to, Napa County engages in this "review" in an arbitrary and discriminatory way seeking to punish wineries like Plaintiffs.
- 303. Napa County has made this review process so expensive that wineries are not financially able to complete the process.
- 304. Additionally, Napa County intentionally makes the process time consuming, often taking several years to complete, to further deter wineries from attempting to gain additional permissions or even defend existing entitlements.
- 305. Additionally, Napa County applies its Road and Street Standards in an arbitrary and capricious manner specifically designed to violate the Due Process rights of wineries in Napa County.
- 306. The Napa County Code defines agriculture to include wineries and the sale of wine products. NCC Section 18.08.040.
- 307. Specifically, for those wineries like Plaintiffs who have been granted a use permit or a small winery exemption, agriculture includes "Production and processing of agricultural products, including agricultural processing facilities" and "Marketing, sales, and other accessory uses that are related, incidental and subordinate to the main agricultural processing use." NCC Section 18.08.040(H).
- 308. Yet in the Road and Street Standards, Napa County defines an agricultural road to include all types of agricultural uses except a winery. (**Exhibit 27**: Section 14(i).)
- 309. Under those standards, an agricultural road must contain a ten-foot-wide drivable surface and four feet of shoulder. (*Id.* at Section 15.)

- 310. At the time "small wineries" were entitled in the 1980s they were expressly recognized as exempt from road standards applying to other winery developments.
- 311. Presumably, Napa County in its Road and Street Standard implicitly redefines a winery as a commercial use in order to hold it to the higher road standard.
  - 312. However, this determination is not contained within the standard.
- 313. Such a determination would also conflict with the definition of commercial use in the Napa County Ordinances which specifically excludes the growing, processing, and ultimate sale of agricultural products and all necessary accessory uses from the definition of a commercial use. NCC Section 18.08.170.
  - 314. Thus, the Road and Street Standards should not apply to wineries.
- 315. Napa County is aware that it has incorrectly applied its Road and Street Standard against wineries and agricultural roads. Napa County officials recognized in a June 8, 2022, email that "[b]ased on our local definition [of agriculture], all wineries would be exempt from the State Minimum Fire Safe Regulations [and thus the Road and Street Standards]. This is a loophole I have been aware of and have conveyed to many of you." (Exhibit 28.)
- 316. Despite this recognition, Napa County has applied the Road and Street Standards against numerous wineries, including Plaintiffs, and has incorrectly forced these wineries to spend tens of millions of dollars in costs.
- 317. Napa County also applies its Road and Street Standards related to installation of left turn lanes in an arbitrary and capricious manner. (Exhibit 27: Road and Street Standards Section 17.)
- 318. For example, Napa County has demanded wineries pay for and install left turn lanes on public roads to increase its daily allowed visitors by just a few visitors.
- 319. However, Napa County does not apply its Road and Street Standard uniformly and, upon information and belief, only applies its standards to some but not all wineries and also not to other types of property.
- 320. County wineries have inquired of Napa County why Napa County does not apply the standards uniformly and Napa has replied that it does not apply the standards uniformly

- 1				
1	because it believes it does not have to apply the standards to all types of properties and to all			
2	wineries and that it has the discretion to pick and choose when and if the standards are applied.			
3	321. Thus, Napa County applies its standards arbitrarily.			
4	322. Napa County's vague and arbitrary enforcement of its ordinances, standards, and			
5	policies has a chilling effect because Plaintiff Wineries face the prospect of their businesses being			
6	shut down if Napa County determines that Plaintiff Wineries are operating as a nuisance. See			
7	NCC 18.144.040.			
8	323. Plaintiffs have suffered damages from Napa County's vague and arbitrary			
9	enforcement of its ordinances and policies.			
10	WHEREFORE, Plaintiffs respectfully request that this Honorable Court:			
11	(a) Enter a judgment declaring that, on its face and as applied, the ordinances			
12	and policies violate the United States Constitution;			
13	(b) Enjoin Napa County, its employees, officers, and agents, from enforcing			
14	the ordinances and policies permanently and preliminarily while this litigation is pending;			
15	(c) Award Plaintiffs actual, compensatory, punitive, nominal, and special			
16	damages in an amount to be proven at trial, plus prejudgment interest on those amounts;			
17	(d) Award Plaintiffs their reasonable costs, including attorneys' fees, incurred			
18	in bringing this action pursuant to 42 U.S.C. § 1988; and			
19	(e) Grant such other and further relief as this Court deems just and proper.			
20	SIXTH CLAIM FOR RELIEF			
21	DUE PROCESS – NON-DELEGATION DOCTRINE (42 U.S.C. § 1983)			
22	324. Plaintiffs incorporate and reallege the preceding paragraphs as if fully restated			
23	herein.			
24	325. In those rare instances where Napa County is amendable to granting or modifying			
25	a use permit, as a conditions to receiving that permit, Napa County requires the consent of third			
26	parties including special interest groups.			
27	326. For example, Plaintiffs are aware of at least two recent instances where Napa			
28	County has conditioned the issuance of a use permit on the approval of third parties.			
v	- 43 -			
	COMPLAINT CASE NO: 3:24-CV-6256			

- 1		
	327. Such conduct violates the non-delegation doctrine which the Supreme Court has	
	applied to protect private property owners from an unfair and standardless process that	
	empowered other private property owners, "solely for their own interest, or even capriciously," to	
	determine the kind of use to which the former could put their property. See Eubank v. City of	
	Richmond, 226 U.S. 137, 143–44 (1912); Young v. City of Simi Valley, 216 F.3d 807 (9th Cir.	
	2000); Rice v. Village of Johnstown, Ohio, 30 F. 4th 584 (6th Cir. 2022).	
	328. This policy and practice of Napa County is unconstitutional both facially and as	
	applied to Plaintiffs as Plaintiffs either have been subject to such delegation or have refrained	
	from applying for permits or modifications due to the delegation of authority to third parties.	
	329. Plaintiffs have suffered damages from Napa County's unlawful delegation.	
	WHEREFORE, Plaintiffs respectfully request that this Honorable Court:	
	(a) Enter a judgment declaring that, on its face and as applied, the Napa	
	County policy of third-party approval of use permits violates the United States Constitution;	
	(b) Enjoin Napa County, its employees, officers, and agents, from enforcing	
	the policy permanently and preliminarily while this litigation is pending;	
	(c) Award Plaintiffs actual, compensatory, punitive, nominal, and special	
	damages in an amount to be proven at trial, plus prejudgment interest on those amounts;	
	(d) Award Plaintiffs their reasonable costs, including attorneys' fees, incurred	
	in bringing this action pursuant to 42 U.S.C. § 1988; and	
	(e) Grant such other and further relief as this Court deems just and proper.	
	SEVENTH CLAIM FOR RELIEF DORMANT COMMERCE CLAUSE (Discrimination Against Interstate Commerce) (42 U.S.C. § 1983)	
	330. Plaintiffs incorporate and reallege the preceding paragraphs as if fully restated	
	herein.	
	331. The dormant Commerce Clause prohibits economic protectionism—that is,	
	regulatory measures designed to benefit in-state economic interests by burdening out-of-state	
	competitors. Or. Waste Sys., Inc. v. Dep't of Envtl. Quality, 511 U.S. 93, 98 (1994); New Energy	
	- 44 -	
	COMPLAINT CASE NO: 3:24-CV-6256	

ATTORNEYS AT LAW OAKLAND

Co. v. Limbach, 486 U.S. 269, 273 (1988).

- 332. Laws which require wineries to use a minimum percentage of local grapes are per se invalid unless the restriction passes strict scrutiny. *Alexis Bailly Vineyard, Inc. v. Harrington*, 482 F. Supp. 3d 820, 824 (D. Minn. 2020) (state law requiring use of majority Minnesota grapes per se invalid); *Wineries of the Old Mission Peninsula Ass'n v. Peninsula Twp.*, No. 1:20-cv-1008, 2022 WL 2155097, at \*7-9 (W.D. Mich. June 3, 2002) (ordinance requiring use of 85% in-Township grapes *per se* invalid.)
- 333. The Napa County Code requires that for all wineries established after the date the ordinance was codified, "at least seventy-five percent of the grapes used to make the winery's still wine, or the still wine used by the winery to make sparkling wine, shall be grown within the county of Napa." NCC Section 18.104.250(B).
- 334. For wineries established prior to the codification of the ordinance, if they wish to expand, seventy-five percent of the grapes used to make still or sparkling wine as a result of the expansion must be grown in Napa County. NCC Section 18.104.250(C).
- 335. In 2022 Napa County created a new type of winery, a micro-winery, which also requires the use of at least seventy-five percent Napa County grapes.
- 336. Napa County also has a policy prohibiting sale of wine and other agricultural products "not produced on site," even though many Napa wineries operate state licensed wineries in other locations outside of Napa County and are legally allowed to transfer that product to other licensed locations. Similarly, many wineries have relationships with agricultural growers outside of Napa County and seek to purchase agricultural products from those growers rather than just Napa County growers.
- 337. The Napa County Code discriminates against interstate commerce in violation of the Commerce Clause, Article I, § 8, Clause 3, of the United States Constitution, by favoring, and mandating in-County products and persons over out-of-County products and persons.
- 338. Plaintiffs wish to expand their operations but do not wish to be subject to the unconstitutional grape source requirements in NCC Section 18.104.250(B) and NCC Section 18.104.250(C).

1	339. Plaintiffs therefore are entitled to a declaratory judgment that the Napa County		
2	Code discriminates against out-of-County products and persons are unconstitutional under the		
3	dormant Commerce Clause.		
4	340. Plaintiffs will suffer irreparable harm if Napa County is allowed to enforce the		
5	unconstitutional ordinances.		
6	WHEREFORE, Plaintiffs respectfully request that this Honorable Court:		
7	(a) Enter a judgment declaring that, on its face and as applied, the Napa		
8	County ordinances and policies violate the United States Constitution;		
9	(b) Enjoin Napa County, its employees, officers, and agents, from enforcing		
10	the ordinances and policies permanently and preliminarily while this litigation is pending;		
11	(c) Award Plaintiffs actual, compensatory, punitive, nominal, and special		
12	damages in an amount to be proven at trial, plus prejudgment interest on those amounts;		
13	(d) Award Plaintiffs their reasonable costs, including attorneys' fees, incurred		
14	in bringing this action pursuant to 42 U.S.C. § 1988; and		
15	(e) Grant such other and further relief as this Court deems just and proper.		
16	COUNT VIII DODMANT COMMEDCE CLAUSE		
17	DORMANT COMMERCE CLAUSE (Excessive Burden on Interstate Commerce) (42 U.S.C. § 1983)		
18	(42 U.S.C. § 1765)		
19	341. Plaintiffs incorporate and reallege the preceding paragraphs as if fully restated		
20	herein.		
21	342. The Dormant Commerce Clause prohibits economic protectionism—that is,		
22	regulatory measures designed to benefit in-state economic interests by burdening out-of-state		
23	competitors. Or. Waste Sys., Inc. v. Dep't of Envtl. Quality, 511 U.S. 93, 98 (1994); New Energy		
24	Co. v. Limbach, 486 U.S. 269, 273 (1988)		
25	343. Laws which require wineries to use a minimum percentage of local grapes are per		
26	se invalid unless the restriction passes strict scrutiny. Alexis Bailly Vineyard, Inc. v. Harrington,		
27	482 F. Supp. 3d 820, 824 (D. Minn. 2020) (state law requiring use of majority Minnesota grapes		
28	per se invalid); Wineries of the Old Mission Peninsula Ass'n v. Peninsula Twp., No. 1:20-cv-		
- 1	- 46 -		

1008, 2022 WL 2155097, at \*7-9 (W.D. Mich. June 3, 2002) (ordinance requiring use of 85% in-Township grapes *per se* invalid.)

- 344. The Napa County Code requires that for all wineries established after the date the ordinance was codified, "at least seventy-five percent of the grapes used to make the winery's still wine, or the still wine used by the winery to make sparkling wine, shall be grown within the county of Napa." NCC Section 18.104.250(B).
- 345. For wineries established prior to the codification of the ordinance, if they wish to expand, seventy-five percent of the grapes used to make still or sparkling wine as a result of the expansion must be grown in Napa County. NCC Section 18.104.250(C).
- 346. In 2022 Napa County created a new type of winery, a micro-winery, which also requires the use of at least seventy-five percent Napa County grapes.
- 347. Napa County also has a policy prohibiting sale of wine and other agricultural products "not produced on site," even though many Napa wineries operate state licensed wineries in other locations outside of Napa County and are legally allowed to transfer that product to other licensed locations. Similarly, many wineries have relationships with agricultural growers outside of Napa County and seek to purchase agricultural products from those growers rather than just Napa County growers.
- 348. The Napa County Code places an excessive burden on interstate commerce in excess of the putative benefit to Napa County in violation of the Commerce Clause, Article I, § 8, Clause 3, of the United States Constitution, by favoring, and mandating in-County products and persons over out-of-County products and persons.
- 349. Plaintiffs wish to expand their operations but do not wish to be subject to the unconstitutional grape source requirements in NCC Section 18.104.250(B) and NCC Section 18.104.250(C).
- 350. Plaintiffs therefore are entitled to a declaratory judgment that the ordinances discriminate against out-of-County products and persons are unconstitutional under the Commerce Clause.

- 1				
1	351. Plaintiffs will suffer irreparable harm if Napa County is allowed to enforce the			
2	unconstitutional ordinances.			
3	WHEREFORE, Plaintiffs respectfully request that this Honorable Court:			
4	(a) Enter a judgment declaring that, on its face and as applied, the Napa			
5	County ordinances and policies violate the United States Constitution;			
6	(b) Enjoin Napa County, its employees, officers, and agents, from enforcing			
7	the ordinances and policies permanently and preliminarily while this litigation is pending;			
8	(c) Award Plaintiffs actual, compensatory, punitive, nominal, and special			
9	damages in an amount to be proven at trial, plus prejudgment interest on those amounts;			
10	(d) Award Plaintiffs their reasonable costs, including attorneys' fees, incurred			
11	in bringing this action pursuant to 42 U.S.C. § 1988; and			
12	(e) Grant such other and further relief as this Court deems just and proper.			
13 14	NINTH CLAIM FOR RELIEF NOLLAN AND DOLAN TAKING (42 U.S.C. § 1983)			
15	352. Plaintiffs incorporate and reallege the preceding paragraphs as if fully restated			
16	herein.			
17	353. The Fifth Amendment's Takings Clause provides: "nor shall private property be			
18	taken for public use, without just compensation."			
19	354. The Takings Clause applies to state and local governments. See, e.g., Knick v.			
20	Twp. of Scott, Pennsylvania, 588 U.S. 180, 189 (2019).			
21	355. When the government physically appropriates property or interferes with an			
22	owner's right to exclude others from it without paying just compensation, a <i>per se</i> taking has			
23	occurred.			
24	356. With regard to government permits, the United States Supreme Court has			
25	established a two-part test modeled on the Unconstitutional Conditions Doctrine: First, the			
26	permit condition must have an "essential nexus" to the government's land-use interest. Nollan v.			
27	California Coastal Comm'n, 483 U.S. 825, 837 (1987). Second, permit conditions must have			
28	rough proportionality to the development's impact on the land-use interest. <i>Dolan v. City of</i> - 48 -			
	COMPLAINT CASE NO: 3:24-CV-6256			

Tigard, 512 U.S. 374, 391 (1994).

- 357. This test applies regardless of whether the condition requires the landowner to relinquish property or requires the landowner to pay a monetary exaction. *Koontz v. St. Johns River Water Mgmt. Dist.*, 570 U.S. 595, 612-615 (2013).
- 358. Napa County applies both a formal and informal policy to take property from winery use permit applicants in violation of their constitutional rights.
- 359. Napa County requires wineries to submit to at least three unlawful conditions before it will consider issuing or amending winery permits.
- 360. First, NCC Section 18.104.250 requires all wineries formed after 1990 or any winery that wishes to "expand beyond their winery development area" to source at least 75% of their grapes from within Napa County. As explained in Counts VII and VIII, this requirement violates the Dormant Commerce Clause.
- 361. Second, NCC Section 1.30 requires all wineries submitting new applications to indemnify Napa County from legal challenges to a potential permit issuance:
- (a) Applicants "shall submit to the county a fully executed indemnification agreement agreeing to defend, indemnify, release and hold harmless the county from any claim, action, or proceeding brought against the county to attack, set aside, void or annul the approval based on the county's failure to comply with the requirements of any federal, state, or local law, including but not limited to general plan and zoning requirements, or both. The indemnification shall include damages awarded against the county, if any, costs of suit, attorneys' fees and other expenses incurred in connection with such action." NCC Section 1.30.030(A).
- (b) Even if an applicant winery chooses not to sign the indemnification agreement, the ordinance forces the applicant to indemnify the County anyway. *See* NCC Section 1.30.040.
- 362. Third, Napa County forces applicants to pay exorbitant costs to improve roadways in a disproportionate manner to the applicant's proposed use.
- 363. These exactions also include the imposition of impermissible impact fees. *See Sheetz v. County of El Dorado, California*, 601 U.S. 267 (2024).

- 1			
1	(b) Enjoin Napa County, its employees, officers, and agents, from enforcing		
2	the exaction policy on any Wineries in Napa County;		
3	(c) Award Plaintiffs actual, compensatory, punitive, nominal, and special		
4	damages in an amount to be proven at trial, plus prejudgment interest on those amounts;		
5	(d) Award Plaintiffs their reasonable costs, including attorneys' fees, incurred		
6	in bringing this action pursuant to 42 U.S.C. § 1988; and		
7	(e) Grant such other and further relief as this Court deems just and proper.		
8	TENTH CLAIM FOR RELIEF		
9	REGULATORY TAKING (Fifth and Fourteenth Amendments) (42 U.S.C. § 1983)		
11	373. Plaintiffs incorporate and reallege the preceding paragraphs as if fully restated		
12	herein.		
13	374. As discussed above, Napa County has enacted a series of ordinances which		
14	deprive Plaintiffs of the full use of their property.		
15	375. These ordinances are "not reasonably necessary to the effectuation of a substantial		
16	public purpose." Penn Cent. Transp. Co. v. City of New York, 438 U.S. 104, 127 (1978).		
17	376. As discussed above, the stated purposes for the ordinances are themselves		
18	violations of Plaintiffs' First Amendment rights and the Commerce Clause.		
19	377. The Plaintiffs have a property right in the uses entitled by right, established over		
20	the years at their wineries, as well as uses allowed by California law.		
21	378. As discussed above, sometime between 2012 and 2015, Napa County revised its		
22	Winery Database to take property rights from the Plaintiff Wineries without just compensation.		
23	379. Further, each Plaintiff possess a Winegrowers licensed issued by the State of		
24	California which is a valuable property right. See Dash, Inc. v. Alcoholic Beverage Control		
25	Appeals Bd., 683 F.2d 1229, 1233 (9th Cir. 1981) ("Under California law, a liquor license issued		
26	pursuant to the Alcoholic Beverage Control act is a valuable property right.").		
27	380. As discussed above, Napa County, through its ordinances and policies, interferes		
28	with this property right by limiting how Plaintiffs may utilize their property.		

1	381. Plaintiffs will suffer irreparable harm if Napa County is allowed to enforce the		
2	unconstitutional ordinances and policies.		
3	382. Plaintiffs have suffered damages from Napa County's unlawful deprivation of the		
4	full use of Plaintiffs' property rights.		
5	WHEREFORE, Plaintiffs respectfully request that this Honorable Court:		
6	(a) Enter a judgment declaring that, on its face and as applied, the ordinances		
7	and policies violate the United States Constitution;		
8	(b) Enjoin Napa County, its employees, officers, and agents, from enforcing		
9	the ordinances and policies permanently and preliminarily while this litigation is pending;		
10	(c) Award Plaintiffs actual, compensatory, punitive, nominal, and special		
11	damages in an amount to be proven at trial, plus prejudgment interest on those amounts;		
12	(d) Award Plaintiffs their reasonable costs, including attorneys' fees, incurred		
13	in bringing this action pursuant to 42 U.S.C. § 1988; and		
14	(e) Grant such other and further relief as this Court deems just and proper.		
15	ELEVENTH CLAIM FOR RELIEF EQUAL PROTECTION		
16	(42 U.S.C. § 1983)		
17	383. Plaintiffs incorporate and reallege the preceding paragraphs as if fully restated		
18	herein.		
19	384. The U.S. Constitution, Article XIV, clause 2, states that no "state shall deny any		
20	person within its jurisdiction the equal protection of the laws." Due to the Supremacy Clause,		
21	noncompliance with the Government Tort Claims Act is not a procedural bar. See Williams v.		
22	Horvath (1976) 16 Cal. 3d 834, 842.		
23	385. Government Code section 65852, states that all zoning regulations "shall be		
24	uniform for each class or kind ofuse of land throughout each zone"		
25	386. Because all wineries in Napa County are consolidated into a single use, all		
26	wineries within the same zoning district must be subject to the same zoning regulations and		
27	allowed all uses and accessory uses derivative of the primary use as a winery. See, e.g., Neighbor.		
28			

1	(c) Award Plaintiffs actual, compensatory, punitive, nominal, and special		
2	damages in an amount to be proven at trial, plus prejudgment interest on those amounts;		
3	(d) Award Plaintiffs their reasonable costs, including attorneys' fees, incurred		
4	in bringing this action pursuant to 42 U.S.C. § 1988; and		
5	(e) Grant such other and further relief as this Court deems just and proper.		
6	TWELFTH CLAIM FOR RELIEF STATE LAW PREEMPTION		
8	404. Plaintiffs incorporate and reallege the preceding paragraphs as if fully restated		
9	herein.		
10	405. In California, "[a] county or city may make and enforce within its limits all local,		
11	police, sanitary, and other ordinances and regulations not in conflict with general laws." Cal.		
12	Const. art. XI, § 7.		
13	406. When a county ordinance conflicts with a general state law, the county ordinance		
14	is void. See, e.g., O'Connell v. City of Stockton, 41 Cal. 4th 1061, 1067 (2007).		
15	407. California law gives licensed winegrowers the privilege to "[s]ell wine and brandy		
16	to consumers for consumption off the premises where sold." BPC § 23358(a)(2).		
17	408. California law gives licensed winegrowers the privilege to "[s]ell wine to		
18	consumers for consumption on the premises." BPC § 23358(a)(3).		
19	409. BPC Section 23358(a)(3) does not restrict how such wine is served, e.g., by the		
20	sample, by a flight, by the glass or by the bottle. Indeed, the legislative history of the bill		
21	expressly confirms sale by the bottle, glass, or sample is expressly allowed.		
22	410. BPC Section 23358(a)(4) allows a winery to operate a bona fide eating place on		
23	the licensed premises and "[s]ell all beers, wines, and brandies, regardless of source, to		
24	consumers for consumption on the premises."		
25	411. BPC Section 23358(b) states that a "winegrower may also have upon the premises		
26	all beers, wines, and brandies, regardless of source, for sale or service only to guests during		
27	private events or private functions not open to the general public."		
28			
- 1			

28

- 435. Other ordinance and formal and informal policies of Napa County, such as NCC Sections 18.08.370, 18.16.030, 18.20.020 and 18.20.030, also are preempted by California law such as restrictions on marketing, advertising, events, contests races, and other similar activities as well as restrictions on where wine must be manufactured.
- 436. California courts have recognized that "impos[ition] of unique requirements on individual establishments licensed to sell alcoholic beverages would contravene the goal of uniform administration and enforcement of the state's liquor laws." *See Tryon v. DBS Enterprises, Inc.*, No. D045656, 2006 WL 234728, \* 8 (Cal. Ct. App. Feb. 1, 2006) (unpublished).
- 437. Napa County utilizes a policy which places unique requirements and restrictions on wineries in Napa County with regard to the sale of alcoholic beverages.
- 438. Such a policy conflicts with and contravenes the goal of uniform administration and enforcement of the state's liquor laws.
- 439. The California Legislature declared a statewide interest in uniform building codes and enacted legislation expressing an intent to generally preempt the field of building standards. *California Apartment Assoc. v. City of Fremont*, 97 Cal. App. 4th 693, 697 (2002).
- 440. The California Building Code expressly states that it applies to all businesses in the state and that a local government may only modify its standards by making an express finding that the modification is necessary due to "climatic, topographical or geological conditions" with those findings being filed with the California Building Standard Commission. *See* Cal. Build. Code § 1.1.8 et seq.
- 441. The California Business Code was explicitly adopted by Napa County and incorporated into its ordinances. See Napa County Code Section 15.12.010.
- 442. The only modifications referenced in the Napa County Code to the California Building Code related to wineries applies to construction and occupancy of wine caves which is not relevant to this case.
- 443. Generally, per the California Building Code, the occupancy load for a winery tasting room is one person per fifteen square feet. *See* Cal. Build. Code § 1004.1.

1	444. Thus, Napa County's unilateral restriction of Winery occupancy (visitors) is		
2	preempted by California law.		
3	445. Plaintiffs have suffered damages from Napa County's violations of California law		
4	WHEREFORE, Plaintiffs respectfully request that this Honorable Court:		
5	(a) Enter a judgment declaring that Napa County Code Sections 18.08.370,		
6	18.08.600, 18.08.620, 18.16.030, 18.20.020 and 18.20.030 are preempted by California law;		
7	(b) Enjoin Napa County's enforcement of Napa County Code Sections		
8	18.08.370, 18.08.600, 18.08.620, 18.16.030, 18.20.020 and 18.20.030;		
9	(c) Enter a judgment declaring that Napa County's restriction on the number of		
10	visitors at each winery is preempted by the California Building Code;		
11	(d) Enjoin Napa County from enforcing a limit on winery visitation/occupancy		
12	which is different than the occupancy calculations set forth in the California Building Code;		
13	(e) Award Plaintiffs actual, compensatory, punitive, nominal, and special		
14	damages in an amount to be proven at trial, plus prejudgment interest on those amounts;		
15	(f) Award Plaintiffs their reasonable costs, including attorneys' fees, incurred		
16	in bringing this action; and		
17	(g) Grant such other and further relief as this Court deems just and proper.		
18 19	THIRTEENTH CLAIM FOR RELIEF INJUNCTIVE RELIEF		
20	446. Plaintiffs incorporate and reallege the preceding paragraphs as if fully restated		
21	herein.		
22	447. Plaintiffs are likely to succeed on the merits of their lawsuit.		
23	448. Plaintiffs will be irreparably harmed if an injunction does not issue preventing		
24	Napa County from continuing to enforce the ordinances.		
25	449. Napa County will not be harmed if it is prohibited from enforcing its illegal		
26	ordinances, policies, and restrictions on Plaintiffs.		
27	450. Issuance of a preliminary injunction preventing Napa County from continuing to		
28	enforce its illegal ordinances will serve the public interest.		

1	451. Plaintiffs have no adequate remedy at law.		
2	WHEREFORE, Plaintiffs respectfully request that this Honorable Court:		
3	(a) Enjoin Napa County, its employees, officers, and agents, from enforcing		
4	the Napa County Code Sections 18.08.370, 18.08.600, 18.08.620, 18.16.030, 18.20.020 and		
5	18.20.030 as well as its formal policies, informal policies and other illegal restrictions placed on		
6	Plaintiffs as described above permanently and preliminarily while this litigation is pending;		
7	(b) Award Plaintiffs their reasonable costs, including attorneys' fees, incurred		
8	in bringing this action; and		
9	(c) Grant such other and further relief as this Court deems just and proper.		
10	Respectfully submitted,		
11	Dated: September 5, 2024 MILLER, CANFIELD, PADDOCK		
12	AND STONE, P.L.C.		
13	By: /s/ Q. Scott Kaye		
14	Q. Scott Kaye, Attorneys for Plaintiffs		
15	Dated: September 5, 2024 MILLER, CANFIELD, PADDOCK		
16	AND STONE, P.L.C.		
17	By: /s/ Joseph M. Infante		
18	Joseph M. Infante, Attorneys for Plaintiffs		
19	Dated: September 5, 2024 FENNEMORE WENDEL		
20			
21	By: /s/ Eugene M. Pak Eugene M. Pak		
22	Attorneys for Plaintiffs		
23			
24			
25			
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27			
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L AW	- 60 -  COMPLAINT CASE NO: 3:24-CV-6256		
	CASE NO. 5.24-CY-0230		

## Exhibit 1

Sales only ox

File No.:

NAPA COUNTY
CONSERVATION, DEVELOPMENT AND PLANNING DEPARTMENT
1195 Third Street, Room 210 . Napa, California 94559 . (707) 253-4416

## APPLICATION FOR SMALL WINERY USE PERMIT EXEMPTION

Please fill in all appropriate information

Items in ( ) are County Requirements for Use Permit Exemption

Proposed Winery Name: N M Ć Assessor's Parcel No.: 36-110-13 Telephone No.: (707) 252-0819 00 9444574 applicant's Name: C. B. COLEMAN Martino 1326 Hillview Lane NAPA 94558 \ddress: No. City State Zip Code tatus of Applicant's Interest in Property: \_\_\_\_\_PARTNER roperty Owner's Name: NORD, MAUDIERE, COLEMAN Telephone No.: Same as above FOR COUNTY Operating Features: (Check the appropriate spaces) USE ONLY YES X CRUSHING X FERMENTATION X STORAGE/AGING X BOTTLING/PACKING X SHIPPING VIA: Truck ADMINISTRATIVE: (NO) TOURS/PUBLIC TASTING GALLONS OF WINE TO BE PRODUCED: INITIAL OR CURRENT PRODUCTION 10 000 GAL/YEAR (NOT TO EXCEED 20,000 GAL.) ULTIMATE PRODUCTION CAPACITY 20,000GAL/YEAR HOURS OF OPERATION 8 A.M. TO 6 P.M. DAYS OF OPERATION 5-7 MUMBER OF SHIFTS: 0 EMPLOYEES PER SHIFT: 0 FULL TIME 0 PART TIME 0 (Currently) (Currently) MUMBER OF SHIFTS: 1 TOTAL EMPLOYEES PER SHIFTS: 2 FULL TIME 1 PART TIME 1 (Proposed) (Proposed) O. VISITORS ANTICIPATED: PER DAY O PER WEEK O

DEFENDANT'S EXHIBIT

1015
22CV001262

all elisting requirements	`]
all entiring regularments	FOR COUNTY USE ONLY
approved 7/25/86)	YES NO
Building Features: (Wood, stucco or rock facing required on any non-historic structures).	
FLOOR AREA: EXISTING STRUCTURES 0 SQ. FT. NEW CONSTRUCTION 960 SQ. FT.	
TYPE OF CONSTRUCTION: Wood Frame	<u> </u>
TYPE OF EXTERIOR WALL FACING: Wood	
TYPE OF ROOF: Wood Frame	
MAX. HEIGHT (FT.): EXISTING STRUCTURES 0 PROPOSED STRUCTURES 24' (Height 35')	_
COMPLIANCE WITH THE U.S. SECRETARY OF INTERIOR'S "STANDARDS FOR REHABILITATION" AND ASSOCIATED "GUIDELINES FOR REHABILITATING HISTORIC STRUCTURES"  NA x YES NO	
EXISTING STRUCTURES OR IMPROVEMENTS TO BE REMOVED: NO	
TYPE OF SHIELDS TO BE INSTALLED ON EXTERIOR LIGHTS: Deflecting Shields	
WIDTH OF FIRE CLEAR ZONE AROUND WINERY TO BE MAINTAINED:  (Not less than 100 ft. is located with County designated high fire risk area).  100 FT.	<u></u>
METHOD OF DOMESTIC WASTE DISPOSAL: SEPTIC	
METHOD OF INDUSTRIAL WASTE DISPOSAL: SEPTIC	
Site Characteristics:	
PARCEL ACREAGE: (Not less than 4 AC.)  8 ACRES	
ZONING DISTRICT INVOLVED: (AW, AP, and WR ONLY)  AP	
WINERY COMPLEX SETBACK FROM CENTERLINE OF NEAREST PUBLIC ROAD:  (Not less than 400 ft. Silverado Trail and State Highways or 200 ft. other public roads).  1600 FT.	<u> </u>
ROAD FRONTAGE SEPARATION BETWEEN PROPOSED WINERY:  (Not less than 2,000 ft. with 1,000 ft. corridor). Not ApplicableFT.	-
DISTANCE BETWEEN PROPOSED WINERY & NEAREST OFF-SITE RESIDENCE:  (Not less than 500 ft.) 520 FT.	
MINIMUM DISTANCE BETWEEN THE PROPOSED WINERY COMPLEX INCLUDING SEWAGE SYSTEM AND ACCESS ROAD AND THE TOP OF THE BANK OF THE ORDINARY HIGH WATER CHANNEL OF THE NEAREST RIVER OR STREAM NOT COVERED BY COUNTY FLOOD PLAIN MANAGEMENT ORDINANCE.  [Not less than 50 ft.]  500 FT.	
NAME OF NEAREST RIVER OR STREAM: HOPPER CREEK	

				FOR C	OUNTY
				YES	NO
		and Parking:			
i	PUPLIC	ROAD FOR ACCESS TO WINERY: Private Rd.	east of Washington Street		**********
	(Smal	·			
	(1)	State Highway Route 29 between Yountville (Lodi Lane) and all dead-end roads extendi section of highway;	and St. Helena ng from that		
	(2) State Highway 121 west of the City of Napa;				
	(3)	American Canyon Road west of Flosden Road;			
	(4)	Flosden Road).			
P	APKINO	S SPACES: EXISTING SPACES:	0	<u>\</u>	***************************************
		PROPOSED SPACES:	3	<u>~</u>	-
<u>.                                    </u>	uildin	g Site Requirements:			
GF S	ROUND (Aprill	DURING WHICH WINERY CONSTRUCTION RELATED DISTURBING ACTIVITIES WILL OCCUR: through October ONLY unless catch installed).	April 1984	<u> </u>	
M	MBER	OF DEBRIS CATCH BASINS TO PT INSTALLED:	N/A	<u> </u>	-
ומ		EROSION CONTROL MEASURES INSTALLED TO GE ALL CONCENTRATED RUN-OFF AT NON-EROSIVE IES:	Not Applicable	<u>/</u>	
		GRASS MIXTURE TO BE USED !!! AREAS ED BY WINERY CONSTRUCTION:	N/A		parameter and a
DA	TE BY	WHICH DISTURBED AREAS WILL BE RESEEDED:	N/A		
La	n ds ca	oing Reguirements:			
	<b>,</b>	INDICATE ON THE PLOT PLAN THE NAMES AND LOC MATERIALS TO BE PLANTED TO SCREEN WINERY ST LOTS, AND OUTDOOR WORK AND STORAGE AREAS FR SURROUNDING PROPERTIES AND ROADWAYS.	TRUCTURES, PARKING		
	b. f	PROPOSED METHOD OF LANDSCAPE MAINTENANCE: E	xisting Vineyard		

	NAPA COUNTY USF ONLY
	YES NO
Environmental Considerations:	
1. DOES THE PROPOSED SMALL WINERY BUILDING OR RELATED FACILITIES LIE WITHIN AN "ENVIRONMENTALLY SENSITIVE AREA":	<u> </u>
No a. A DESIGNATED FEOGRAM (Floodplain) Require Floodproteing.  Flood way toucher easterly and to properly:  No b. A RECOGNIZED ACTIVE EARTHQUAKE FAULT ZONE Toucher wasterly and	<u>×</u> _
aft professing.	
	<u>~</u> ×
No e. AN ARCHAEOLOGICALLY SENSITIVE AREA (near-buy)	
No f. THE HABITAT AREA OF A RARE AND/OR ENDANGERED PLANT OR ANIMAL	
2. DOFS THE PROPOSED SMALL WINERY LIE WITHIN:	
No a. A HIGH FIRE RISK HAZARD AREA	<u> </u>
No b. A RECOGNIZED HISTORIC STRUCTURE	×
CERTIFY THAT THE ABOVE STATEMENTS ARE CORRECT AND THAT THE PLANS SUBMITTED ARE AS	
SIGNATURE OF APPLICANT SIGNATURE OF PROPERTY OF CITY O	
2 2 5 8 DATE DATE	198_
FOR COUNTY USE ONLY	
DATE FILED: 3/2/84 ACCEPTABLE PLOT PLAN SUBMITTED: X YES	NO
FILE NO:TOPOGRAPHIC SITE LOCATION MAP SUBMITTED: _X YES	NO
RECEIVED BY: Totalys E. Crundall	

7	SMALL WINERY USE PERMIT EXEMPTION NO.:
	FINDINGS
	ASSESSOR'S PARCEL NO. (S): 36-110-13
	THIS APPLICATION DOES QUALIFY FOR A SMALL WINERY USE PERMIT EXEMPTION does/does not
	BY: The E. Crunda QQ Conservation, Development and Department
	DATE: 3/6/84
	☐ Failure to active this application within one year of the Planning Department determination shall invalidate this application and a new application will be required.
)	cc: EUILDING INSPECTION DEPARTMENT

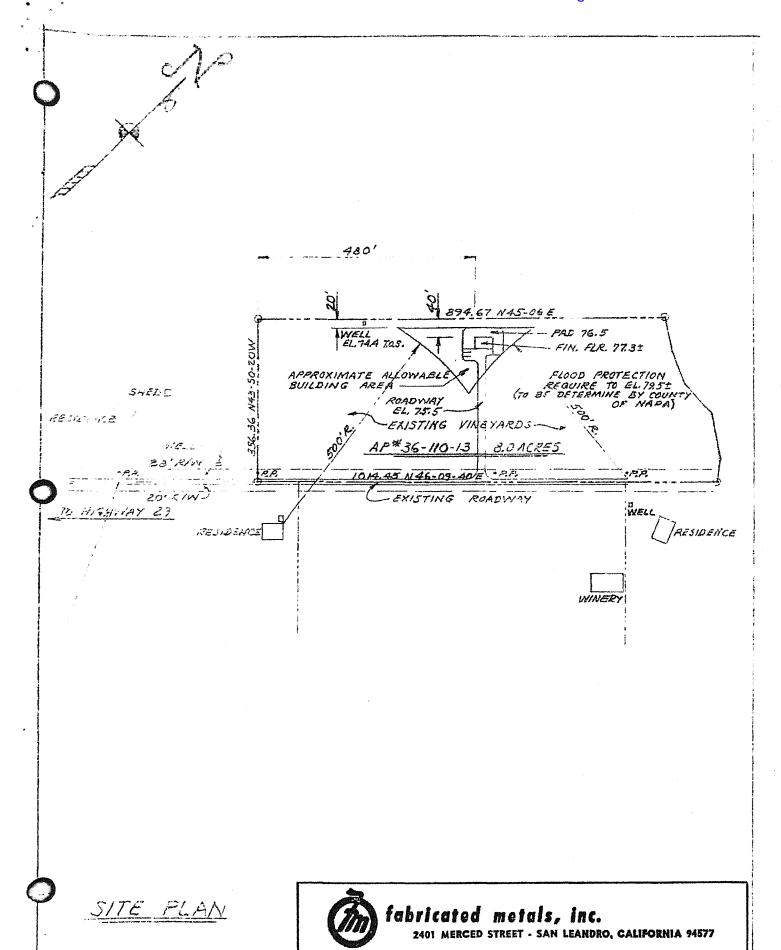


Napa County Conservation, Development & Planning Department

NAPA COUNTY
CONSERVATION, DEVELOPMENT AND PLANNING DEPARTMENT
1195 Third Street, Room 210
Napa, California 94559
(707) 253-4416

The following additional information shall be required to support a request for a small winery use permit exemption:

- 1) An accurate, scaled plot plan showing:
  - a) The location of the proposed winery buildings, parking areas, outdoor storage and work areas, sewage disposal systems and access roads on the subject parcel.
  - b) The distances specified in Section 3 of the Small Winery Use Permit Exemption Application.
  - c) The location of any debris catch basins or erosion control measures installed.
  - d) Landscaping requirements specified in Section 6 of the Small Winery Use Permit Exemption Application.
- 2) A front building elevation.
- A topographic site location map indicating the location of the proposed winery building, access road, and sewage disposal system.



2-24-54

Ex.1015-7

## TOPOGRAPHIC SITE LOCATION INFORMATION Yountville U.S. GEOLOGICAL SURVEY FILE NO .. QUADRANGLE ountville LEGEND Existing Proposed Parcel Boundary -Structure \_ Septic System-Spring Reservoir Road Parking Lot or -Outdoor Storage Area $\otimes$ Dac 179

## Exhibit 2

Winery Database Listing 02/2012 \*\*

Winery Name	Address	Parcel Number	Current Approved Production Gallons Per Year	Tours & Tasting *	
ABREU HOWELL MTN VINEYARDS	365 LAS POSADAS RD	024-300-077	20,000.00	APPT	
ACACIA WINERY	2750 LAS AMIGAS RD	047-272-012	250,000.00	APPT	
AETNA SPRING CELLARS	7227 POPE VALLEY RD	018-300-022	20,000.00	TST APPT	
ALLORA WINERY	3244 EHLERS LN	022-110-007	12,000.00	APPT	
ALPHA OMEGA WINERY	1155 MEE LN	030-080-046	144,000.00	PUB	
ALTA VINEYARD CELLAR	1311 SCHRAMSBERG RD	020-300-015	5,000.00	APPT	
ALTAMURA VINEYARDS	1667 WOODEN VALLEY RD	033-070-046	250,000.00	APPT	
ALTAMURA WINERY	1701 WOODEN VALLEY RD	033-070-045	50,000.00	APPT	
AMIZETTA VINEYARDS	1099 GREENFIELD RD	025-390-010	12,000.00	TST APPT	
ANDERSON'S CONN VALLEY VYRDS/BARTELS	680 ROSSI RD	025-180-045	20,000.00	APPT	
ANDRETTI WINERY	4162 BIG RANCH RD	036-170-038	100,000.00	PUB	
ANNAPURNA WINERY	1467 YOUNTVILLE CROSS RD	031-220-020	12,000.00	APPT	
ANTHEM WINERY AND VINEYARDS	3454 REDWOOD RD	035-470-020	30,000.00	NO	
ARAUJO ESTATES WINES	2155 PICKETT RD	020-340-030	20,000.00	APPT	
ARKENSTONE VINEYARDS	335 WEST LN	024-450-013	48,000.00	APPT	
ARROYO CREEK VINEYARDS	STATE HWY 29	046-370-031	125,000.00	APPT	
ARROYO WINERY	2361 GREENWOOD AVE	017-230-020	20,000.00	TST APPT	
ARTESA WINERY	1345 HENRY RD	047-080-057	900,000.00	PUB	
ARTISAN WINES	5301 REDWOOD RD	034-110-033	12,000.00	TST APPT	
ASHE VINEYARD & WINERY	7688 ST HELENA HWY	031-080-018	2,500.00	NO	
ASTRALE E TERRA WINERY	3148 SODA CANYON RD	032-230-027	20,000.00	TST APPT	
ATLAS PEAK VINEYARDS	3700 SODA CANYON RD	032-080-039	450,000.00	APPT	
AZALEA SPRINGS WINERY	4301 AZALEA SPRINGS WAY	020-210-010	12,500.00	APPT	
BALDACCI FAMILY VINEYARDS	6236 SILVERADO TRL	031-230-006	20,000.00	TST APPT	
BALLENTINE WINERY	2820 ST HELENA HWY	022-200-003	50,000.00	TST APPT	
BARNETT VINEYARDS	4070 SPRING MTN RD	020-300-047	20,000.00	TST APPT	
BARREL TEN QUARTER CIRCLE	33 HARLOW CT	057-220-030	43,000,000.00	PUB	
BEAULIEU VINEYARDS	1960 ST HELENA HWY	030-110-019	1,800,000.00	PUB	
BEHRENS-DRINKWARD WINERY	4078 SPRING MTN RD	020-300-035	10,000.00	NO	
BENESSERE	1010 BIG TREE RD	022-032-011	40,000.00	APPT	
BENNETT LANE WINERY	3340 HWY 128	017-160-002	50,000.00	APPT	

Winery Database Listing 02/2012 \*\*

Winery Name  Winery Name	Address	Parcel Number	Current Approved Production Gallons Per Year	Tours & Tasting *
BERINGER VINEYARDS	200 MAIN ST	009-131-009	4,005,000.00	PUB
BERINGER WINE ESTATES	6148 SILVERADO TRL	032-530-018	315,000.00	TST APPT
BIALLA WINERY	4088 ATLAS PEAK RD	032-160-077	1,500.00	APPT
BIGHORN CELLARS	1821 MONTICELLO RD	049-110-003	30,000.00	NO
BLACK STALLION	4089 SILVERADO TRL	039-390-021	100,000.00	PUB
BLANKIET WINERY	2360 CALIFORNIA DR	034-030-057	12,000.00	APPT
BOESCHEN WINERY	3242 N SILVERADO TRL	021-200-004	10,000.00	APPT
BOUCHAINE VINEYARDS	1075 BUCHLI STATION RD	047-320-031	225,000.00	PUB
BOURASSA WINERY	190 CAMINO ORUGA	057-270-004	60,000.00	APPT
BRAVANTE WINERY	330 STONE RIDGE RD	024-450-008	20,000.00	APPT
BREMER FAMILY WINERY	975 DEER PARK RD	021-400-002	14,400.00	APPT
BROMAN CELLARS	945 DEER PARK RD	021-400-003	20,000.00	APPT
BROWN ESTATE VINEYARDS	3233 SAGE CANYON RD	025-290-030	50,000.00	APPT
BRYANT FAMILY WINERY	1567 SAGE CANYON RD	032-510-010	8,500.00	APPT
BUEHLER VINEYARDS	820 GREENFIELD RD	025-200-036	50,000.00	TST APPT
BURGESS CELLARS	1108 DEER PARK RD	021-420-037	70,000.00	APPT
BURGESS NAPA CELLARS	5445 SOLANO AVE	034-170-016	75,000.00	NO
CADE WINERY	360 HOWELL MTN RD	024-331-001	30,000.00	APPT
CADLESTICK RIDGE VINEYARD	3000 SUMMIT LAKE DR	018-040-030	20,000.00	NO
CAIN CELLARS	3800 LANGTRY RD	027-010-030	59,000.00	APPT
CAKEBREAD CELLARS	8300 ST HELENA HWY	031-010-011	500,000.00	APPT
CALDWELL WINERY	270 KREUZER LN	045-310-055	25,000.00	APPT
CARDINALE WINERY	7600 ST HELENA HWY	031-080-005	1,280,000.00	APPT
CAREVAN SERAI WINERY	4120 HOWARD LANE	036-180-041	100,000.00	APPT
CARNEROS CREEK WINERY	1285 DEALY LN	047-370-001	240,000.00	PUB
CARVER SUTRO WINERY	3106 PALISADES RD	017-230-034	20,000.00	APPT
CASA NUESTRA	3451 SILVERADO TRL	021-380-001	5,000.00	PUB
CATACULA LAKE WINERY	4105 CHILES POPE VALLEY RD	025-020-023	59,000.00	APPT
CAVUS VINEYARDS	5860 SILVERADO TRL	032-400-019	2,500.00	NO
CAYMUS VINEYARDS	8700 CONN CREEK RD	030-200-066	110,000.00	PUB
CE2V WINERY (COSENTINO)	1784 POPE CANYON RD	018-140-037	100,000.00	NO

Winery Name	Address	Parcel Number	Current Approved Production Gallons Per Year	Tours & Tasting *
CEJA VINEYARDS	1016 LAS AMIGAS RD	047-240-037	45,000.00	APPT
CHAPPELLET WINERY	1581 SAGE CANYON RD	032-010-046	150,000.00	PUB
CHARLES KRUG WINERY	800 MAIN ST	009-010-022	2,728,000.00	PUB
CHATEAU BOSWELL	3468 SILVERADO TRL	021-410-017	48,000.00	PUB
CHATEAU CHEVALIER WINERY	3101 SPRING MTN RD	022-260-013	24,500.00	APPT
CHATEAU CHEVRE WINERY	2030 HOFFMAN LN	034-160-033	5,000.00	APPT
CHATEAU DE NAPA	5253 SOLANO AVE	034-160-008	20,000.00	TST APPT
CHATEAU MONTELENA WINERY	1429 TUBBS LN	017-130-039	128,000.00	PUB
CHATEAU POTELLE	3875 MT VEEDER RD	034-350-044	48,000.00	PUB
CHECKERBOARD VINEYARDS	4331 AZALEA SPRINGS WAY	020-390-014	15,000.00	APPT
CHIMNEY ROCK VINEYARDS	5350 SILVERADO TRL	039-051-017	145,000.00	PUB
CHRISTINA VINEYARDS	1300 OAK KNOLL AVE	036-150-052	20,000.00	APPT
CIMAROSSA WINERY	1185 FRIESEN DR	018-060-069	10,000.00	APPT
CLARK CLAUDON VINEYARD	6189 POPE VALLEY RD	018-090-023	20,000.00	APPT
CLEAVAGE CREEK WINERY	6307 POPE VALLEY RD	018-090-082	16,000.00	APPT
CLIFF LEDE VINEYARDS	1473 YOUNTVILLE CROSS RD	031-220-023	60,000.00	PUB
CLOS DU VAL WINE CO	5330 SILVERADO TRL	039-051-030	350,000.00	PUB
CLOS PEGASE INC	1060 DUNAWEAL LN	020-150-012	200,000.00	PUB
COLGIN PARTNERS WINERY	220 LONG RANCH RD	032-010-070	20,000.00	APPT
COMBS BROTHERS CELLARS	6075A ST HELENA HWY	034-160-031	10,000.00	TST APPT
CONTINUUM WINERY	1677 SAGE CANYON RD	032-010-061	28,000.00	APPT
CORBETT VINEYARDS	2959 WHITE SULPHUR SPRINGS RD	027-020-064	30,000.00	APPT
CORISON WINERY	987 ST. HELENA HWY	027-120-020	20,000.00	APPT
COSENTINO WINERY	7415 ST HELENA HWY	027-540-013	30,000.00	PUB
CUVAISON	4550 SILVERADO TRL	020-350-022	155,048.00	PUB
CUVAISON CARNEROS	1221 DUHIG RD	047-120-005	340,000.00	APPT
DALLA VALLE VINEYARDS	7776 SILVERADO TRL	031-060-027	20,000.00	NO
DANA ESTATES	1895 CABERNET LN	027-440-007	10,000.00	APPT
DANCING HARES VINEYARD	230 N FORK CRYSTAL SPRINGS RD	021-420-007	15,000.00	APPT
DARIOUSH WINERY	4240 SILVERADO TRL	039-400-084	100,000.00	PUB

Winery Name	Address	Parcel Number	Current Approved Production Gallons Per Year	Tours & Tasting *
DAVID ARTHUR VINEYARDS	200 LONG RANCH RD	032-010-071	30,000.00	APPT
DAVID BUSBY WINERY	455 TECHNOLOGY WAY	057-250-023	50,000.00	APPT
DEL BONDIO WINERY	1315 BELLA OAKS LN	027-570-004	38,000.00	APPT
DEL DOTTO FAMILY WINERY	1445 S. ST HELENA HWY	027-160-055	48,000.00	APPT
DEL DOTTO WINERY	1019 ATLAS PEAK RD	039-320-008	20,000.00	APPT
DELIMUR WINERY	771 SAGE CANYON RD	030-120-024	1,000.00	APPT
DI RUOCCO WINERY	2929 ATLAS PEAK RD	039-080-032	8,000.00	NO
DIAMOND CREEK VINEYARDS	1500 DIAMOND MTN RD	020-440-004	10,000.00	APPT
DIAMOND HEIGHTS WINERY	255 PETRIFIED FOREST RD	020-430-007	20,000.00	TST APPT
DIAMOND MOUNTAIN WINERY	2121 DIAMOND MTN RD	020-100-012	10,000.00	APPT
DOMAINE CARNEROS	1240 DUHIG RD	047-070-007	432,000.00	PUB
DOMAINE CHANDON	ONE CALIFORNIA DR	034-140-022	1,980,000.00	PUB
DOMAINE CHARBAY WINERY	4001 SPRING MTN RD	022-150-024	20,000.00	TST APPT
DOMAINE MONTREAUX	4101 BIG RANCH RD	036-190-026	20,000.00	TST APPT
DOMINARI	622 TRANCAS ST	038-190-019	100,000.00	APPT
DOMINUS ESTATE WINERY	2570 NAPANOOK RD	027-421-016	125,000.00	APPT
DUCKHORN VINEYARDS	1000 LODI LN	022-130-010	110,000.00	PUB
DUNN VINEYARDS	805 N WHITE COTTAGE RD	018-180-040	5,000.00	TST APPT
DUTCH HENRY WINERY	4310 SILVERADO TRL	020-120-026	20,000.00	PUB
EAGLE EYE WINERY	6595 GORDON VALLEY RD	033-160-018	30,000.00	APPT
EDGE HILL ESTATE WINERY	2585 SULPHER SPRINGS AVE	027-020-070	24,000.00	APPT
EEDEN VINEYARDS	3505 SPRING MTN RD	022-260-004	15,000.00	APPT
EHLERS ESTATE WINERY	3222 EHLERS LANE	022-100-029	25,000.00	PUB
EHREN JORDAN WINE CELLARS	3530 N SILVERADO TRL	021-410-027	25,000.00	APPT
EL MOLINO WINERY	3315 N ST HELENA HWY	022-080-021	3,000.00	TST APPT
ELAN VINEYARDS	4500 ATLAS PEAK RD	032-540-035	15,000.00	NO
ELYSE WINERY	2100 HOFFMAN LN	034-160-003	60,000.00	APPT
ENVY WINES	1170 TUBBS LN	017-210-027	20,000.00	APPT
ETUDE WINERY	1250 CUTTING WHARF RD	047-230-033	150,000.00	PUB
FANTESCA ESTATE	2920 SPRING MTN RD	022-250-008	20,000.00	NO
FAR NIENTE WINERY	ONE ACACIA DR	027-280-018	175,000.00	PUB

Winery Name	Address	Parcel Number	Current Approved Production Gallons Per Year	Tours & Tasting *
FARELLA PARK VINEYARDS	2224 N THIRD AVE	052-130-021	12,500.00	TST APPT
FAUST HOUSE WINERY	2031 COOMBSVILLE RD	045-250-030	10,000.00	APPT
FISHER WINERY	4771 SILVERADO TR	020-150-004	30,000.00	APPT
FLEURY FAMILY WINERY	950 GALLERON LN	030-070-018	20,000.00	APPT
FLORA SPRINGS WINE CO	1978 W ZINFANDEL LN	027-100-037	120,000.00	APPT
FOLIE A DEUX	7481 ST HELENA HWY	027-540-006	50,000.00	PUB
FONTANELLA WINERY	1721 PARTRICK RD	050-010-018	30,000.00	APPT
FORMAN VINEYARD	1501 BIG ROCK RD	025-070-029	700	APPT
FOX PEAK VINEYARDS	4015 ATLAS PEAK RD	032-080-023	18,000.00	APPT
FRANCISCAN WINERY	1178 GALLERON RD	030-070-009	1,200,000.00	PUB
FRANK ROMBAUER CELLARS	1091 LARKMEAD LN	020-290-007	564,500.00	PUB
FRAZIER WINERY	40 LUPINE HILL RD	052-170-042	50,000.00	APPT
FREEMARK ABBEY	3022 N ST HELENA HWY	022-130-023	60,000.00	PUB
FRISINGER VINEYARDS	2275 DRY CREEK RD	035-470-031	20,000.00	APPT
FROGS LEAP WINERY	8815 CONN CREEK RD	030-090-033	240,000.00	APPT
FUTO WINERY	1575 OAKVILLE GRADE	027-360-018	10,000.00	APPT
GAMBLE WINERY	1851 COOK RD	031-110-018	12,000.00	APPT
GANDONA WINERY	1535 SAGE CANYON RD	032-010-079	20,000.00	APPT
GARGIULO WINERY	575 OAKVILLE CROSS RD	031-070-012	20,000.00	APPT
GARNETT CREEK WINERY	3082 OLD LAWLEY TOLL RD	017-140-039	15,000.00	APPT
GATEWAY WINERY	TECHNOLOGY WAY (No Situs Yet Assignd)	057-250-029	600,000.00	APPT
GOOSE CROSS CELLARS	1119 STATE LN	031-180-035	30,000.00	TST APPT
GRACE FAMILY WINERY	1210 ROCKLAND DR	022-210-005	7,000.00	APPT
GREEN & RED VINEYARD	3208 CHILES POPE VALLEY RD	025-240-032	20,000.00	TST APPT
GRGICH HILLS CELLARS	1829 ST HELENA HWY	027-470-024	250,000.00	TST APPT
GRIEVE FAMILY WINERY	4800 LOVALL VALLEY RD	050-352-002	15,000.00	NO
GRIFFIN WINERY	5850 SILVERADO TRL	032-400-018	2,400.00	APPT
GRIGGS WINERY	1020 THIRD AVE	052-432-006	20,000.00	APPT
GROTH WINERY AND OAKCROSS VINEYARDS	750 OAKVILLE CROSS RD	031-050-053	200,000.00	APPT
GROVER WINERY	4028 SPRING MTN RD	020-300-063	19,200.00	APPT
HAGAFEN CELLARS	4160 SILVERADO TRL	039-130-002	50,000.00	APPT

Winery Name	Address	Parcel Number	Current Approved Production Gallons Per Year	Tours & Tasting *
HAKANSON WINERY	1835 OAKVILLE GRADE RD	027-340-025	20,000.00	TST APPT
HALL WINERY	401 SO ST HELENA HWY	027-120-061	1,260,000.00	PUB
HARLAN WINERY	1551 OAKVILLE GRADE	027-340-054	20,000.00	TST APPT
HARRISON VINEYARDS	1551 SAGE CANYON RD	032-510-004	15,000.00	APPT
HARTWELL WINERY	5765 SILVERADO TRL	039-040-004	12,000.00	NO
HAVENS WINE CELLARS	2055 HOFFMAN LN	034-160-011	120,000.00	APPT
HDV	588 TRANCAS ST	039-270-020	20,000.00	APPT
HEITZ WINE CELLARS	8649 SILVERADO TRL	030-120-033	60,000.00	APPT
HEITZ WINE CELLARS	500 TAPLIN RD	025-180-013	144,000.00	PUB
HENDRY RANCH WINERY	3104 REDWOOD RD	035-120-031	59,000.00	APPT
HERMAN WINERY	2120 BIG RANCH RD	038-190-001	50,000.00	APPT
HESS COLLECTION WINERY	4411 REDWOOD RD	050-010-021	1,000,000.00	PUB
HIGHGATE WINERY	601 MUND RD	021-320-004	10,000.00	TST APPT
HILLVIEW VINEYARD	SOLANO AVE	034-200-001	30,000.00	APPT
HONIG CELLARS	850 RUTHERFORD RD	030-090-003	150,000.00	APPT
HOPPER CREEK WINERY	6204 WASHINGTON ST	036-110-013	20,000.00	TST APPT
HOUGE WINERY	1450 SILVERADO TRL	030-060-018	20,000.00	APPT
HOURGLASS WINERY	701 LOMMEL RD	018-060-024	30,000.00	APPT
HOWELL AT THE MOON WINERY	425 COLD SPRINGS RD	024-332-013	20,000.00	APPT
HUNNICUTT WINERY	3524 SILVERADO TRL	021-410-019	60,000.00	APPT
HYDE WINERY	1044 LOS CARNEROS AVE	047-220-009	30,000.00	APPT
JAEGER FAMILY VINEYARDS	2125 INGELWOOD AVE	027-120-008	13,200.00	APPT
JAMES COLE WINERY	5012 SILVERADO TRL	039-580-017	10,000.00	APPT
JARVIS VINEYARDS	2970 MONTICELLO RD	033-370-026	40,000.00	APPT
JERICHO CANYON WINERY	3322 OLD LAWLEY TOLL RD	017-060-045	20,000.00	APPT
JOHNSTON VINEYARDS	3500 HWY 128	017-120-039	20,000.00	TST APPT
JOSEPH CELLARS	4455 ST HELENA HWY	020-180-058	20,000.00	APPT
JOSEPH PHELPS VINEYARDS	200 TAPLIN RD	025-070-058	420,000.00	APPT
JUDD'S HILL WINERY	2332 SILVERADO TRL	039-190-034	30,000.00	APPT
KAPCSANDY WINERY	1001 STATE LN	031-180-047	20,000.00	APPT
KATES VINEYARD	5211 BIG RANCH RD	036-120-031	20,000.00	TST APPT

Winery Database Listing 02/2012 *** Winery Name	Address	Parcel Number	Current Approved Production Gallons Per Year	Tours & Tasting *
KATHRYN HALL WINERY	56 AUBERGE RD	030-300-039	18,000.00	APPT
KEEVER WINERY	26 VINEYARD VIEW DR	034-150-016	10,000.00	APPT
KELHAM WINERY	360 ZINFANDEL LN	030-260-029	75,000.00	TST APPT
KENT RASSMUSSEN WINERY	1001 SILVERADO TRL	025-410-002	40,000.00	NO
KENT RASSMUSSEN WINERY CARNEROS	2125 CUTTINGS WHARF RD	047-240-006	20,000.00	TST APPT
ESTATES				
KENZO WINERY	3154 MONTICELLO RD	033-110-075	85,000.00	APPT
KIRKLAND RANCH WINERY	1 KIRKLAND RANCH ROAD	057-140-015	200,000.00	APPT
KITCHAK WINERY	1094 HARDMAN AVE	039-190-038	5,000.00	APPT
KONGSGAARD WINERY	4375 ATLAS PEAK RD	032-540-042	12,000.00	APPT
KOVIS-NEWLAN VINEYARDS	5225 SOLANO AVE	034-212-032	72,000.00	APPT
KULETO VILLA VINEYARDS	2470 SAGE CANYON RD	025-440-040	75,000.00	APPT
LA CANTINA WINERY	2230 BIG RANCH RD	038-180-008	10,000.00	NO
LA JOTA VINEYARD	1102 LAS POSADAS RD	024-350-022	20,000.00	TST APPT
LA VALLETTE WINERY	2915 SODA CANYON RD	032-230-022	20,000.00	TST APPT
LA VIEILLE MONTAGNE	3851 SPRING MTN RD	022-150-015	3,000.00	TST APPT
LADERA WINERY	150 S WHITE COTTAGE RD	024-241-047	150,000.00	NO
LAGIER MEREDITH WINERY	4983 DRY CREEK RD	034-100-018	5,000.00	APPT
LAIL VINEYARDS	320 STONE RIDGE RD	024-450-005	12,000.00	APPT
LAIRD FAMILY ESTATES	5055 SOLANO AVE	035-031-031	900,000.00	APPT
LARKMEAD VINEYARDS	1100 LARKMEAD LN	020-240-001	36,000.00	APPT
LAST RESORT WINERY	1600 AETNA SPRINGS RD	018-300-017	57,000.00	APPT
LAZY SUSAN VINEYARDS	263 PETRIFIED FOREST RD	020-430-006	20,000.00	APPT
LIEFF WINERY	40 AUBERGE RD	030-300-005	3,000.00	APPT
LINCOLN RANCH WINERY	7554 ST HELENA HWY	031-100-031	50,000.00	APPT
LINDSTROM WINERY	5994 SILVERADO TR	032-400-024	3,500.00	APPT
LODESTONE VINEYARDS	200 LONG RANCH RD	032-010-071	20,000.00	APPT
LONGMEADOW RANCH WINERY	1775 WHITEHALL LN	027-430-020	16,000.00	APPT
LONGWOOD RANCH WINERY	1006 MONTICELLO RD	039-270-010	70,000.00	NO
LOUIS M MARTINI WINERY	254 ST HELENA HWY	030-020-001	2,000,000.00	PUB
LUNA VINEYARDS	2921 SILVERADO TRL	039-190-051	150,000.00	APPT
MACAULEY VINEYARDS	3291 N ST HELENA HWY	022-080-003	8,000.00	TST APPT

Winery Name	Address	Parcel Number	Current Approved Production Gallons Per Year	Tours & Tasting *
MADRIGAL VINEYARDS	3718 N ST HELENA HWY	022-010-038	36,000.00	APPT
MANSFIELD WINERY	1291 CONN VALLEY RD	025-180-017	20,000.00	APPT
MARCIANO WINERY	2233 SULPHUR SPRINGS AVE	027-020-061	20,000.00	APPT
MARIO PERELLI MINETTI	1443 SILVERADO TRL	030-250-006	20,000.00	TST APPT
MARKHAM WINERY	2812 ST HELENA HWY	022-200-008	300,000.00	PUB
MARSHALL VINEYARDS	15 CHATEAU LN	052-170-020	20,000.00	APPT
MARY MINER WINERY	7781 SILVERADO TRL	032-030-039	5,000.00	TST APPT
MASKED MAN WINERY	3750 SILVERADO TRL	021-030-028	8,000.00	APPT
MATCH VINEYARDS	3283 ST HELENA HWY	022-080-004	8,000.00	APPT
MATERRA WINERY	4324 BIG RANCH RD	036-160-003	50,000.00	APPT
MAYACAMAS VINEYARDS	1155 LOKOYA RD	034-060-061	50,000.00	APPT
MCKENZIE MUELLER WINERY	2530 LAS AMIGAS RD	047-280-005	96,000.00	APPT
MEADOWOOD LANE WINERY	500 MEADOWOOD LN	025-110-062	48,000.00	APPT
MERRYVALE VINEYARDS	1000 MAIN ST	009-090-047	190,000.00	PUB
METZGER VINEYARDS	3243 N ST HELENA HWY	022-080-024	800	NO
MILAT WINERY	1091 S ST HELENA HWY	027-160-001	20,000.00	PUB
MILLER WINERY	701 OAKVILLE CROSS RD	031-070-026	10,000.00	APPT
MINER FAMILY WINERY	7850 SILVERADO TRL	031-050-031	300,000.00	PUB
MJA WINERY	647 GREENFIELD RD	025-380-021	15,000.00	APPT
MONT ST JOHN CELLARS	5400 OLD SONOMA RD	047-110-016	50,000.00	PUB
MONTICELLO VINEYARDS	4242 BIG RANCH RD	036-170-036	100,000.00	PUB
MORLET FAMILY ESTATE	2825 ST HELENA HWY	022-200-028	20,000.00	APPT
MOSS CREEK WINERY	6015 STEELE CANYON RD	032-150-061	100,000.00	PUB
MT VEEDER WINERY	1999 MT VEEDER RD	034-100-017	6,000.00	APPT
MT. VEEDER SPRINGS WINERY	1477 PARTRICK RD	050-030-025	10,000.00	NO
MUMM NAPA VALLEY	8445 SILVERADO TRL	030-200-030	850,000.00	PUB
NAPA HARVEST WINERY	3807 MONTICELLO RD	033-290-002	36,000.00	APPT
NAPA VALLEY RESERVE	1030 SILVERADO TRL	025-110-053	48,000.00	APPT
NAPA WINE CO	7840 ST HELENA HWY	031-090-017	4,000,000.00	APPT
NEAL WINERY	716 LIPARITA AVE	024-040-035	35,000.00	APPT
NEMEREVER WINERY	711 OAKVILLE CROSS RD	031-070-028	10,000.00	APPT

Winery Name	Address	Parcel Number	Current Approved Production Gallons Per Year	Tours & Tasting *
NEWTON VINEYARD	2555 MADRONA AVE	022-180-056	130,000.00	TST APPT
NEYERS VINEYARDS WINERY	2153 SAGE CANYON RD	032-010-048	40,000.00	NO
NICHELINI VINEYARDS	2950 SAGE CANYON RD	025-290-005	12,000.00	PUB
NICKEL & NICKEL WINERY	8164 ST HELENA HWY	031-010-003	125,000.00	TST APPT
NIEBAUM COPPOLA ESTATE HWY 29	1991 ST HELENA HWY	027-210-018	250,000.00	PUB
NIEBAUM COPPOLA ESTATE NIEBAUM LN	1460 NIEBAUM LN	027-210-032	50,000.00	APPT
NORMAN ALUMBAUGH WINERY	1996 POPE CANYON RD	018-140-035	50,000.00	APPT
OAKVILLE GRADE WINERY	1595 OAKVILLE GRADE	027-360-021	144,000.00	PUB
OBRIEN FAMILY VINEYARD	1200 ORCHARD AVE	035-041-015	20,000.00	APPT
OLNEY FAMILY WINERY	2253 DRY CREEK RD	035-120-035	25,000.00	APPT
OPUS ONE WINERY	7900 ST HELENA HWY	031-020-007	110,000.00	APPT
O'SHAUGHNESSY WINERY	1150 FRIESEN DR	018-060-070	15,000.00	APPT
OUTPOST WINES	2075 SUMMIT LAKE DR	018-200-026	1,800.00	TST APPT
OVID VINEYARDS	255 LONG RANCH RD	032-030-064	18,000.00	APPT
PAHLMEYER WINERY	4541 MONTICELLO RD	033-010-065	100,000.00	APPT
PALISADES WINERY	POPE VALLEY RD	018-070-024	120,000.00	APPT
PALLADIAN ESTATE	690 MEADOWOOD LN	025-080-041	5,000.00	NO
PALMAZ WINERY	4029 HAGAN RD	049-270-019	35,000.00	APPT
PAOLETTI ESTATES WINERY	4501 SILVERADO TRL N	020-150-052	16,000.00	APPT
PARADIGM WINERY	1277 DWYER RD	027-540-003	13,000.00	APPT
PARADUXX VINEYARDS	7257 SILVERADO TRL	031-170-019	156,000.00	APPT
PEJU	210 CAMINO ORUGA	057-190-020	20,000.00	NO
PEJU PROVINCE WINERY	8466 ST HELENA HWY	030-150-011	120,000.00	APPT
PERATA WINERY	1278 STATE LN	031-170-008	20,000.00	APPT
PHELAN WINERY	2840 MONTICELLO RD	033-370-029	4,800.00	NO
PHILIP VINEYARD	3780 SPRING MTN RD	022-150-033	20,000.00	TST APPT
PHOENIX VINEYARDS	3175 DRY CREEK RD	035-460-022	5,000.00	TST APPT
PICKETT ROAD WINE COMPANY	2343 PICKETT RD	018-050-067	12,000.00	APPT
PILLAR ROCK WINERY	6110 SILVERADO TR	032-530-019	16,000.00	APPT
PINA CELLARS	8060 SILVERADO TRL	030-210-002	20,000.00	APPT
PINE RIDGE WINERY	5901 SILVERADO TRL	039-040-034	300,000.00	PUB

Winery Name	Address	Parcel Number	Current Approved Production Gallons Per Year	Tours & Tasting *
PLUMP JACK WINERY	620 OAKVILLE CROSS RD	031-050-028	25,000.00	PUB
POETRY WINERY	6390 SILVERADO TRL	032-070-030	12,000.00	APPT
POPE VALLEY WINERY	6613 POPE VALLEY RD	018-090-004	20,000.00	PUB
PORTER VINEYARDS	1187 GREEN VALLEY RD	045-310-037	12,000.00	APPT
PRAGER FAMILY ESTATE WINERY	3180 HIGHWAY 128	017-160-058	75,000.00	APPT
PRAGER WINERY	1281 LEWELLING LN	027-130-016	8,500.00	PUB
PRIDE MOUNTAIN VINEYARDS	4026 SPRING MTN RD	020-300-051	50,000.00	PVT
PROVENANCE VINEYARDS	1695 ST HELENA HWY	027-470-007	85,000.00	PUB
PUERTA DORADA WINERY	8780 CONN CREEK RD	030-200-057	20,000.00	APPT
QUINTESSA WINERY	1601 SILVERADO TRL	030-060-061	180,000.00	APPT
QUIXOTE WINERY	6126 SILVERADO TRL	032-530-020	20,000.00	APPT
RAYMOND VINEYARD & CELLAR	849 ZINFANDEL LN	030-270-013	750,000.00	PUB
RAZI'S WINERY	3106 SILVERADO TRL	039-600-001	20,000.00	APPT
REGUSCI WINERY	5584 SILVERADO TRL	039-030-023	25,000.00	APPT
RELIC WINERY	2400 SODA CANYON RD	032-090-024	20,000.00	APPT
RENTERIA WINERY	1727 PARTRICK RD	050-010-013	18,000.00	APPT
REVANA WINERY	2910 N ST HELENA HWY	022-220-030	15,000.00	APPT
REVERE WINERY	2456 THIRD AVE	052-130-032	20,000.00	TST APPT
REVERIE ON DIAMOND MOUNTAIN	1520 DIAMOND MTN RD	020-440-005	5,000.00	APPT
REYNOLDS WINERY	3260 SILVERADO TRL	039-610-002	20,000.00	APPT
RICHARDS WINERY	4013 SPRING MTN RD	022-150-008	10,000.00	TST APPT
RIGI WINERY	5224 BIG RANCH RD	036-140-057	250,000.00	APPT
RITCHIE CREEK VINEYARDS	4024 SPRING MTN RD	020-300-036	5,000.00	TST APPT
ROBERT BIALI VINEYARDS	4038 BIG RANCH RD	036-190-007	40,000.00	APPT
ROBERT CRAIG WINERY	2475 SUMMIT LAKE DR	018-060-072	25,000.00	APPT
ROBERT FOLEY VINEYARDS	1300 SUMMIT LAKE DR	018-230-004	30,000.00	NO
ROBERT KEENAN WINERY	3660 SPRING MTN RD	022-150-036	50,000.00	APPT
ROBERT MONDAVI CARNEROS WINERY	1319 DUHIG RD	047-120-002	340,000.00	NO
ROBERT MONDAVI WINERY	7801 ST HELENA HWY	027-280-067	3,000,000.00	PUB
ROBERT PECOTA WINERY	3299 BENNETT LN	017-160-052	60,000.00	APPT
ROBERT SINSKEY VINEYARDS	6320 SILVERADO TRL	031-230-017	65,000.00	PUB

Winery Name	Address	Parcel Number	Current Approved Production Gallons Per Year	Tours & Tasting *
ROBINSON FAMILY VINEYARDS	5880 SILVERADO TRL	032-400-031	15,000.00	APPT
ROCCA FAMILY WINERY	129 DEVLIN RD	057-170-007	20,000.00	APPT
ROCKLEDGE WINERY	360 TAPLIN RD	025-070-056	15,000.00	APPT
ROCKY RIDGE WINERY	383 LOS POSADAS RD	024-300-065	35,000.00	APPT
ROGERS WINERY	970 CONN VALLEY RD	025-180-069	30,000.00	APPT
ROMBAUER VINEYARDS	3522 SILVERADO TRL N	021-410-024	450,000.00	APPT
ROMBAUER VINEYARDS SOUTH	601 AIRPARK RD	057-240-015	880,000.00	NO
ROSSINI WINERY	424 CRYSTAL SPRINGS RD	021-420-045	20,000.00	APPT
ROUND HILL CELLARS	1680 SILVERADO TRL	030-300-030	1,250,000.00	APPT
ROUND POND WINERY	875 RUTHERFORD CROSS RD	030-140-022	100,000.00	APPT
ROY ESTATE VINEYARDS	1220 SODA CANYON RD	039-150-079	12,000.00	APPT
RUDD ESTATE WINERY	500 OAKVILLE CROSS ROAD	031-050-068	75,000.00	APPT
RUSTRIDGE WINERY	2910 LOWER CHILES VALLEY RD	025-260-001	5,000.00	TST APPT
RUTHERFORD GROVE	1673 ST HELENA HWY	027-450-011	35,000.00	PUB
RUTHERFORD HILL WINERY	200 RUTHERFORD HILL RD	030-300-032	640,000.00	PUB
SADDLEBACK CELLARS	7802 MONEY RD	031-040-002	8,000.00	APPT
SAGE VINEYARDS	1105 LOKOYA RD	034-320-020	15,000.00	APPT
SAINTSBURY	1500 LOS CARNEROS AVE	047-212-002	135,000.00	APPT
SANDPOINT WINERY	1919 INGLEWOOD AVE	027-120-056	30,000.00	APPT
SATTUI WINERY	1111 WHITE LN	030-260-035	96,000.00	PUB
SAVIEZ WINERY	4060 SILVERADO TRL	021-010-003	20,000.00	APPT
SAWYER VINEYARDS	8360 ST HELENA HWY	030-190-004	10,000.00	APPT
SCHRAMSBERG VINEYARDS WINERY	1400 SCHRAMSBERG RD	020-300-014	180,000.00	APPT
SCHWEIGER VINEYARDS	4015 SPRING MTN RD	022-150-041	20,000.00	APPT
SCIAMBRA WINERY	3367 ATLAS PEAK RD	039-010-008	10,000.00	NO
SCREAMING EAGLE WINERY	7557 SILVERADO TRL	031-070-009	20,000.00	TST APPT
SEARS WINERY	2600 SUMMIT LAKE DR	018-060-066	20,000.00	TST APPT
SEAVEY VINEYARD	1310 CONN VALLEY RD	025-180-010	24,000.00	TST APPT
SEQUOIA GROVE VINEYARDS	8338 ST HELENA HWY	030-190-005	50,000.00	PUB
SEVEN STONES WINERY	840 MEADOWOOD LN	025-080-031	1,000.00	APPT
SHACKFORD WINERY	2344 SILVERADO TRL	039-190-030	10,000.00	NO

Winery Name	Address	Parcel Number	Current Approved Production Gallons Per Year	Tours & Tasting *
SHAFER VINEYARDS	6154 SILVERADO TRL	032-530-027	200,000.00	APPT
SHERWIN FAMILY VINEYARDS	4060 SPRING MTN RD	020-300-045	600	TST APPT
SHIFFLETT ESTATE WINERY	1201 DARMS LN	034-190-037	40,000.00	APPT
SHUTTERS WINERY	LOMMEL RD	018-060-027	50,000.00	APPT
SIGNORELLO WINERY	4246 SILVERADO TRL	039-400-080	20,000.00	PUB
SILVER OAK WINE CELLARS	915 OAKVILLE CROSS RD	031-080-030	210,000.00	PUB
SILVERADO HILL VINEYARD LLC	3105 SILVERADO TRL	039-600-017	200,000.00	APPT
SILVERADO VINEYARDS	6121 SILVERADO TRL	039-040-031	360,000.00	PUB
SIMONE WINERY	4581 SOLANO AVE	035-041-027	5,000.00	TST APPT
SKY VINEYARDS	1500 LOKOYA RD	034-060-044	2,377.00	APPT
SLOAN WINERY	88 AUBERGE RD	030-300-035	15,000.00	NO
SMITH FAMILY WINERY	3747 LANGTRY RD	022-140-040	7,500.00	APPT
SMITH MADRONE VINEYARDS	4022 SPRING MTN RD	020-300-086	18,000.00	APPT
SNOWDEN VINEYARDS	AUBERGE RD	025-180-057	30,000.00	APPT
SODARO WINERY	20 BLUE OAK LN	052-130-063	20,000.00	APPT
SOMERSTON WINERY	3450 SAGE CANYON RD	025-270-026	150,000.00	APPT
SPANOS BERBERIAN WINE CO	6200 WASHINGTON ST	036-110-030	40,000.00	APPT
SPELLETICH WINERY	425 GATEWAY ROAD WEST	057-210-045	60,000.00	NO
SPOTTSWOODE WINERY	1902 MADRONA AVE	009-470-021	0	APPT
SPRING MOUNTAIN VINEYARDS	2805 SPRING MTN RD	022-180-020	48,000.00	APPT
SPRING MOUNTAIN VINEYARDS #2	2820 SPRING MTN RD	022-180-058	20,000.00	TST APPT
ST CLEMENT VINEYARDS	2867 ST HELENA HWY	022-230-013	72,000.00	PUB
ST SUPERY VINEYARDS & WINERY	8440 ST HELENA HWY	030-190-019	450,000.00	PUB
STAGLIN WINERY	1390 BELLA OAKS LN	027-250-064	36,000.00	APPT
STAGS LEAP WINE CELLARS	5766 SILVERADO TRL	039-030-038	330,000.00	PUB
STAGS LEAP WINERY (DOUMANI 1)	6150 SILVERADO TRL	032-530-032	60,000.00	APPT
STAG'S LEAP WINERY (DOUMANI 5)	6150 SILVERADO TRL	032-530-032	315,000.00	APPT
STAR HILL WINERY	1075 SHADYBROOK LN	052-390-003	2,090.00	APPT
STAR VINEYARDS	8514 ST HELENA HWY	030-150-016	30,000.00	APPT
STELLING VINEYARDS	1567 OAKVILLE GRADE RD	027-490-021	20,000.00	TST APPT
STELTZNER VINEYARDS	5998 SILVERADO TRL	032-400-023	59,999.00	APPT

Winery Database Listing 02/2012 *** Winery Name	Address	Parcel Number	Current Approved Production Gallons Per Year	Tours & Tasting *
STEPHENS WINERY	1860 HOWELL MOUNTAIN RD	025-130-005	12,000.00	APPT
STERLING VINEYARDS	1111 DUNAWEAL LN	020-150-053	1,500,000.00	PUB
STONEY SPRINGS	264 N FORK CRYSTAL SPRINGS RD	021-030-032	20,000.00	TST APPT
STONY HILL VINEYARD	3331 ST HELENA HWY	020-300-073	8,700.00	APPT
STORYBOOK MOUNTAIN VINEYARD	3835 HWY 128	017-110-019	15,000.00	APPT
STREBLOW WINERY	2849 SPRING MTN RD	022-180-015	2,500.00	TST APPT
SULLIVAN FAMILY ESTATE	1090 GALLERON RD	030-070-010	22,500.00	APPT
SUMMIT LAKE VINEYARDS	2000 SUMMIT LAKE DR	018-200-021	12,000.00	TST APPT
SUSCOL CREEK WINERY	1055 SOSCOL FERRY RD	057-170-018	600,000.00	APPT
SUTTER HOME WINERY	277 ST HELENA HWY	027-130-014	200,000.00	PUB
SUTTER HOME WINERY	100 ST HELENA HWY	009-120-062	3,247,000.00	NO
SWANSON VINEYARDS	1271 MANLEY LN	027-260-001	42,500.00	APPT
TEACHWORTH WINERY	4451 N ST HELENA HWY	020-400-018	5,000.00	PVT
TERRA VALENTINE WINES	3787 SPRING MTN RD	022-140-033	5,000.00	APPT
THE EAGLE AND THE ROSE WINERY	1844 POPE CANYON RD	018-140-036	360,000.00	APPT
THE RANCH WINERY	105 ZINFANDEL LN	030-060-025	12,520,000.00	NO
TILLEY WINERY	3199 ST HELENA HWY	022-080-025	20,000.00	APPT
TOAD HALL CELLARS	1885 WEST ZINFANDEL LN	027-100-030	30,000.00	NO
TOM EDDY WINERY	3870 STATE HWY 128	017-110-001	48,000.00	APPT
TREFETHEN VINEYARDS	1160 OAK KNOLL AVE	036-140-062	500,000.00	PUB
TRES SABORES	1620 S WHITEHALL LN	027-460-024	20,000.00	APPT
TRINCHERO NAPA VALLEY	3070 ST HELENA HWY	022-100-010	100,000.00	PUB
TRUCHARD VNEYARDS	3234 OLD SONOMA RD	047-043-021	60,000.00	NO
TUDAL WINERY	1021 BIG TREE RD	022-060-011	3,500.00	APPT
TULOCAY WINERY	1426 COOMBSVILLE RD	045-230-002	2,400.00	APPT
TURLEY WINE CELLARS	3358 N ST HELENA HWY	022-240-010	65,000.00	APPT
TURNBULL WINE CELLARS	8210 ST HELENA HWY	031-010-002	250,000.00	APPT
T-VINE	3130 OLD LAWLEY TOLL RD	017-140-035	20,000.00	APPT
TWO ROCKS WINERY	135 LONG RANCH RD	030-220-026	62,500.00	APPT
TWO SISTERS WINERY	PO BOX 303	017-160-053	15,000.00	APPT
TWOMEY CELLARS	1183 DUNAWEAL LN	020-180-046	81,480.00	PUB

Winery Name	Address	Parcel Number	Current Approved Production Gallons Per Year	Tours & Tasting *
V-12 WINERY	SODA CANYON RD	039-630-011	22,500.00	APPT
VAN DER HEYDEN VINEYARDS	4057 SILVERADO TRL	039-390-016	8,000.00	APPT
VENGE VINEYARDS	4708 SILVERADO TRL	020-350-038	20,000.00	APPT
VIADER VINEYARDS	1120 DEER PARK RD	021-420-038	32,000.00	PVT
VILLA MT EDEN	8711 SILVERADO TRL	030-120-032	850,000.00	PUB
VILLA AMOROSA	4045 ST HELENA HWY	020-390-012	250,000.00	PUB
VILLA ANDRIANA/SUMMERS WINERY	1171 TUBBS LN	017-160-015	50,000.00	APPT
VILLA HELENA	1455 INGLEWOOD AVE	027-120-016	6,000.00	APPT
VILLA RAGAZZI	7878 MONEY RD	031-040-001	20,000.00	TST APPT
VINE CLIFF WINERY	7400 SILVERADO TRL	032-030-027	48,000.00	APPT
VINEYARD 22	1156 DEER PARK RD	021-420-015	10,000.00	APPT
VINEYARD 29	2927 N ST HELENA HWY	022-200-027	48,500.00	APPT
VOLKER EISELE FAMILY ESTATE	3080 LOWER CHILES VALLEY RD	025-240-014	20,000.00	TST APPT
VON STRASSER WINERY	1510 DIAMOND MOUNTAIN RD	020-400-013	24,000.00	APPT
W H SMITH WINES	1181 LAS POSADAS RD	025-060-001	20,000.00	NO
WALLIS FAMILY ESTATE	1670 DIAMOND MOUNTAIN RD	020-450-014	30,000.00	APPT
WAUG WINERY	2275 SODA CANYON RD	039-640-011	30,000.00	APPT
WERMUTH WINERY	3942 SILVERADO TRL	021-030-047	20,000.00	PUB
WHITE COTTAGE RANCH WINERY	555 COLLEGE AVE	018-121-056	20,000.00	APPT
WHITE ROCK VINEYARDS	1115 LOMA VISTA	039-680-004	20,000.00	TST APPT
WHITEHALL LANE WINERY	1563 ST HELENA HWY	027-100-012	125,000.00	PUB
WHITFORD CELLARS	4047 EAST THIRD AVE	052-450-001	20,000.00	NO
WILKINSON WINERY	110 CAMINO ORUGA	057-152-014	310,000.00	NO
WILLIAM COLE WINERY	2849 N ST HELENA HWY	022-230-005	20,000.00	APPT
WILLIAM HILL WINERY	1761 ATLAS PEAK RD	039-190-050	335,000.00	APPT
WINERY OF THE ROSES	3705 MONTICELLO RD	033-290-006	20,000.00	TST APPT
WING CANYON VINEYARD	3100 MT VEEDER RD	034-030-049	12,500.00	NO
WOODBRIDGE WINERY	565 CRYSTAL SPRINGS RD	021-072-044	19,000.00	NO
YOUNG WINERY	1803 AETNA SPRINGS RD	018-300-021	20,000.00	APPT

### Case 3:24-cv-06256 Document 1-2 Filed 09/05/24 Page 16 of 16

Winery Database Listing 02/2012 \*\*

Winery Name	Address	Parcel Number	Current Approved Production Gallons Per Year	Tours & Tasting *
ZAHTILA VINEYARDS	2250 LAKE COUNTY HWY	017-230-009	5,000.00	APPT
ZD WINES	8383 SILVERADO TRL	030-200-005	70,000.00	PVT
ZL WINERY	588 ZINFANDEL LN	030-260-016	50,000.00	APPT

#### \*Tours and Tasting Key

PVT	Private
APPT	By appointment only
TST APPT	Tasting by appointment only
NO	No tours, no tasting
PUB	Open to the public, no appt necessary

<sup>\*\*</sup> Note: There may be omissions or errors within this document. Feel free to contact the planning department at (707) 253.4417 and submit corrections. This document is updated bi-annually.

# Exhibit 3

### **WINERY DATABASE**

				Current Permitted		
lame	ASMT	Street Address	Status	Production*	Tour_Tastg	In Cit
3646 SMR VINEYARD	022150026000	3646 SPRING MOUNTAIN RD	PEND	20,000	APPT	
ABREU HOWELL MTN VINEYARDS	024300077000		APVD	20,000	APPT	
ACACIA WINERY	047272012000	2750 LAS AMIGAS RD	PROD	250,000	APPT	
ACCENDO CELLARS	030260016000	588 ZINFANDEL LN	APVD	50,000	APPT	
ADAMVS	018120036000	555 COLLEGE AVE	PROD	20,000	APPT	
AETNA SPRING CELLARS	018300022000	7227 POPE VALLEY RD	PROD	20,000	TST APPT	
ALKO RANCH, LLC	018140037000	1784 POPE CANYON RD	APVD	100,000	NO	
ALLORA WINERY	022110007000	3244 EHLERS LN	PROD	12,000	APPT	
ALPHA OMEGA WINERY	030080046000	1155 MEE LN	PROD	100,000	PUB	
ALTA VINEYARD CELLAR	020300015000		PROD	5,000	NO	
ALTAMURA VINEYARDS	033070046000	1667 WOODEN VALLEY RD	PROD	250,000	APPT	
ALTAMURA WINERY	033070045000	1701 WOODEN VALLEY RD	PROD	50,000	APPT	
AMICI CELLARS	017140035000	3130 OLD LAWLEY TOLL RD	PROD	20,000	APPT	
AMIZETTA VINEYARDS	025390010000	1089 GREENFIELD RD	PROD	12,000	TST APPT	
ANDRETTI WINERY	036170038000	4162 BIG RANCH RD	PROD	100,000	PUB	
ANNAPURNA WINERY	031220020000	1467 YOUNTVILLE CROSS RD	UNKNWN	12,000	APPT	
ANOMALY	009670017000	455 BELLA VISTA CT	PROD	-		Х
ANTHEM WINERY AND VINEYARDS	035470046000	3454 REDWOOD RD	PROD	30,000	NO	
ANTICA NAPA VALLEY	032080039000	3700 SODA CANYON RD	PROD	450,000	PVT	
ARAUJO ESTATES WINES	020340030000	2155 PICKETT RD	PROD	20,000	APPT	
ARDENTE ESTATE WINERY	039080032000	2929 ATLAS PEAK RD	PROD	8,000	NO	
ARKENSTONE VINEYARDS	024450013000	335 WEST LN	PROD	60,000	APPT	
ARNS WINERY	021320004000	601 MUND RD	PROD	10.000	TST APPT	
ARROYO CREEK VINEYARDS	046370031000		APVD	125,000	APPT	
ARROYO WINERY		2361 GREENWOOD AVE	PROD	20,000	APPT	
ARROYO WINERY #2		2280 GREENWOOD AVE	UNKNWN	9,520	TST APPT	х
ARTESA WINERY	047080057000	1345 HENRY RD	PROD	900,000	PUB	
ASTRALE E TERRA WINERY		3148 SODA CANYON RD	PROD	20,000	TST APPT	
ATALON WINERY		3299 BENNETT LN	PROD	60,000	APPT	
AUBERT WINERY	011050031000	333 SILVERADO TRL	PROD	23,800		х
AZALEA SPRINGS WINERY	020210010000	4301 AZALEA SPRINGS WAY	UNKNWN	12,500	APPT	
BALDACCI FAMILY VINEYARDS		6236 SILVERADO TRL	PROD	20,000	TST APPT	
BALLENTINE WINERY		2820 ST HELENA HWY	PROD	50,000	TST APPT	
BARNETT VINEYARDS		4070 SPRING MOUNTAIN RD	PROD	20,000	TST APPT	
BARREL TEN QUARTER CIRCLE		33 HARLOW CT	PROD	44,500,000	APPT	
BCELLARS		701 OAKVILLE CROSS RD	PROD	10,000	APPT	
BEAUCANON ESTATE		1006 MONTICELLO RD	PROD	70,000	NO	
BEAULIEU VINEYARDS		1960 ST HELENA HWY	PROD	1,800,000	PUB	
BEHRENS FAMILY WINERY		4078 SPRING MOUNTAIN RD	PROD	10,000	NO	
BELL WINE CELLARS		6200 WASHINGTON ST	PROD	40,000	APPT	

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017160002000 009131009000	Street Address  1010 BIG TREE RD  3340 STATE HIGHWAY 128	Status PROD	Production* 40,000	Tour_Tastg	In City
017160002000 009131009000		PROD	40.000	ADDT	
009131009000	33/0 STATE HIGHWAY 139		40,000	APPT	
	3340 STATE HIGHWAT 120	PROD	50,000	APPT	
	2000 MAIN ST	PROD	4,005,000	PUB	Х
032530037000	6148 SILVERADO TRL	PROD	20,000	NO	
057152014000	110 CAMINO ORUGA	PROD	310,000	NO	
057270009000	194 CAMINO ORUGA ##17-#20	PROD	12,500	APPT	
039390021000	4089 SILVERADO TRL	PROD	100,000	PUB	
034030057000	2360 CALIFORNIA DR	PROD	12,000	APPT	
017110049000		APVD	25,000	APPT	
021200004000	3242 SILVERADO N TRL	PROD	10,000	APPT	
027340054000	1551 OAKVILLE GRADE	PROD	20,000	TST APPT	
047320031000	1075 BUCHLI STATION RD	PROD	225,000	PUB	
057270004000	190 CAMINO ORUGA ##05-#08	PROD	60,000	APPT	
011410013000	2020 CEDAR ST	PROD	-		х
032010088000	92 LONG RANCH RD	PROD	10,000	APPT	
024450008000	330 STONE RIDGE RD	PROD	20.000	APPT	
021400002000	975 DEER PARK RD	PROD	,	APPT	
011050030000	331 SILVERADO TRL	PROD	,		х
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	057270009000 039390021000 034030057000 017110049000 021200004000 027340054000 047320031000 057270004000 011410013000 032010088000 024450008000 021400003000 021400003000 025290030000 032510010000 050224012000 025200036000 021420037000 034170016000 024331001000 027010030000 027010030000 027010030000 031120029000 031120029000 03180041000 031080005000 017230034000 021380001000 025160006000 032400019000 030200066000 047240037000	021200004000 3242 SILVERADO N TRL 027340054000 1551 OAKVILLE GRADE 047320031000 1075 BUCHLI STATION RD 057270004000 190 CAMINO ORUGA ##05-#08 011410013000 2020 CEDAR ST 032010088000 92 LONG RANCH RD 024450008000 330 STONE RIDGE RD 021400002000 975 DEER PARK RD 011050030000 331 SILVERADO TRL 021400003000 945 DEER PARK RD 025290030000 3233 SAGE CANYON RD 032510010000 1567 SAGE CANYON RD 050224012000 3311 DAVID DR 025200036000 820 GREENFIELD RD 021420037000 1108 DEER PARK RD 034170016000 5445 SOLANO AVE	057270009000         194 CAMINO ORUGA ##17-#20         PROD           039390021000         4089 SILVERADO TRL         PROD           034030057000         2360 CALIFORNIA DR         PROD           017110049000         APVD           021200004000         3242 SILVERADO N TRL         PROD           027340054000         1551 OAKVILLE GRADE         PROD           047320031000         1075 BUCHLI STATION RD         PROD           057270004000         190 CAMINO ORUGA ##05-#08         PROD           011410013000         2020 CEDAR ST         PROD           032010088000         92 LONG RANCH RD         PROD           03240008000         330 STONE RIDGE RD         PROD           02140002000         975 DEER PARK RD         PROD           021400023000         331 SILVERADO TRL         PROD           021400030000         331 SILVERADO TRL         PROD           021400030000         345 DEER PARK RD         PROD           032510010000         352 SAGE CANYON RD         PROD           032510010000         1567 SAGE CANYON RD         PROD           025200036000         320 GREENFIELD RD         PROD           025200036000         320 GREENFIELD RD         PROD           02430010000	057270009000         194 CAMINO ORUGA ##17-#20         PROD         12,500           033930021000         4089 SILVERADO TRL         PROD         100,000           034030057000         2360 CALIFORNIA DR         PROD         12,000           017110049000         APVD         25,000           021200004000         3242 SILVERADO N TRL         PROD         10,000           027340054000         1551 OAKVILLE GRADE         PROD         20,000           047320031000         1075 BUCHLI STATION RD         PROD         225,000           057270004000         190 CAMINO ORUGA ##05-#08         PROD         60,000           011410013000         2020 CEDAR ST         PROD         10,000           032010088000         320 STONE RIDGE RD         PROD         10,000           024450008000         330 STONE RIDGE RD         PROD         10,000           021400002000         975 DEER PARK RD         PROD         15,000           011050030000         331 SILVERADO TRL         PROD         23,800           021400002000         945 DEER PARK RD         PROD         20,000           025290030000         3233 SAGE CANYON RD         PROD         50,000           032510010000         1567 SAGE CANYON RD         PROD	057270009000         194 CAMINO ORUGA ##17-#20         PROD         12,500         APPT           039390021000         4089 SILVERADO TRL         PROD         100,000         PUB           034300057000         2360 CALIFORNIA DR         PROD         12,000         APPT           017110049000         APVD         25,000         APPT           021200004000         3242 SILVERADO N TRL         PROD         10,000         APPT           027340054000         1551 OAKVILLE GRADE         PROD         20,000         TST APPT           047320031000         1075 BUCHLI STATION RD         PROD         225,000         PUB           057270004000         190 CAMINO ORUGA ##05-#08         PROD         60,000         APPT           011410013000         2020 CEDAR ST         PROD         -         ************************************

### Case 3:24-cv-06256 Document 1-3 Filed 09/05/24 Page 4 of 13

				Current Permitted		
ame	ASMT	Street Address	Status	Production*	Tour_Tastg	In City
CHARLES KRUG WINERY	009010022000	2800 MAIN ST	PROD	2,728,000	PUB	х
CHATEAU 15 WINERY	052170020000	17 CHATEAU LN	APVD	20,000	APPT	
CHATEAU BOSWELL	021410017000	3468 SILVERADO TRL	PROD	48,000	PUB	
CHATEAU CHEVALIER WINERY	022260013000		PROD	24,500	APPT	
CHATEAU CHEVRE WINERY	034160033000	2030 HOFFMAN LN	UNKNWN	5,000	TST APPT	
CHATEAU LANE WINERY	052170019000	10 CHATEAU LN	PROD	30,000	APPT	
CHATEAU MONTELENA WINERY	017130039000	1429 TUBBS LN	PROD	128,000	PUB	
CHATEAU POTELLE	034350044000	3875 MT VEEDER RD	PROD	48,000	PUB	
CHECKERBOARD VINEYARDS	020390014000	4331 AZALEA SPRINGS WAY	PROD	15,000	APPT	
CHIMNEY ROCK VINEYARDS	039051031000	5350 SILVERADO TRL	PROD	145,000	PUB	
CHOW FAMILY WINERY	027570013000	8305 ST HELENA HWY	UNKNWN	20,000	APPT	
CIMAROSSA WINERY	018060069000	1185 FRIESEN DR	APVD	10,000	APPT	
CLARK CLAUDON VINEYARD	018310046000	6189 POPE VALLEY RD	UNKNWN	20,000	APPT	
CLEAVAGE CREEK WINERY	018310011000	6307 POPE VALLEY RD	PROD	16,000	APPT	
CLIFF LEDE VINEYARDS	031220023000	1473 YOUNTVILLE CROSS RD	PROD	120,000	PUB	
CLOS DU VAL WINE CO	039051030000	5330 SILVERADO TRL	PROD	350,000	PUB	
CLOS PEGASE INC	020150012000	1060 DUNAWEAL LN	PROD	200,000	PUB	
COLGIN PARTNERS WINERY	032010070000	220 LONG RANCH RD	PROD	20,000	APPT	
COMBS BROTHERS CELLARS	034160031000	6075 SOLANO AVE	UNKNWN	10,000	TST APPT	
CONN CREEK WINERY	030120032000	8711 SILVERADO TRL	PROD	850,000	PUB	
CONTINUUM WINERY	032010093000	1683 SAGE CANYON RD	PROD	28,000	APPT	
COOK FAMILY WINERY	021030064000	264 N FORK CRYSTAL SPRINGS RD	PROD	20,000	TST APPT	
COQUEREL FAMILY WINERY	017160058000	3180 STATE HIGHWAY 128	APVD	75,000	APPT	
CORBETT VINEYARDS	027020064000	2959 WHITE SULPHUR SPRINGS RD	UNKNWN	30,000	APPT	
CORISON WINERY	027120020000	987 ST HELENA HWY	PROD	20,000	APPT	
CORONA WINERY	039190028000	3165 SILVERADO TRL	APVD	100,000	APPT	
COSENTINO WINERY	027540013000	7415 ST HELENA HWY	PROD	30,000	PUB	
CUVAISON	020350022000	4550 SILVERADO TRL	PROD	155,048	PUB	
CUVAISON CARNEROS	047120005000	1221 DUHIG RD	PROD	155,048	APPT	
DAHL VINEYARDS	034160008000	6155 SOLANO AVE	PROD	20,000	NO	
DALLA VALLE VINEYARDS	031060027000	7776 SILVERADO TRL	PROD	20,000	NO	
DANA ESTATES	027440007000	1895 CABERNET LN	PROD	20,000	APPT	
DANCING HARES VINEYARD	021420007000	230 N FORK CRYSTAL SPRINGS RD	PROD	15,000	APPT	
DARIOUSH WINERY		4240 SILVERADO TRL	PROD	100,000	PUB	
DAVIANA WINERY	052130032000	2456 THIRD AVE	PROD	20,000	TST APPT	
DAVID ARTHUR VINEYARDS		210 LONG RANCH RD	PROD	30,000	APPT	
DAVID BUSBY WINERY	057250023000		APVD	50,000	NO	
DAVIES FAMILY WINERY	009180017000	555 MAIN ST	PROD	-		х
DAVIS ESTATES		4060 SILVERADO TRL	PROD	30,000	APPT	
DEL BONDIO WINERY		1333 BELLA OAKS LN	UNKNWN	38,000	PVT	
DEL DOTTO FAMILY WINERY		1445 S ST HELENA HWY	PROD	48,000	APPT	
DEL DOTTO WINERY		1019 ATLAS PEAK RD	PROD	20,000	APPT	

### Case 3:24-cv-06256 Document 1-3 Filed 09/05/24 Page 5 of 13

				<b>Current Permitted</b>		
ame	ASMT	Street Address	Status	Production*	Tour_Tastg	In City
DELECTUS (MILAT WINERY)	027160001000	1091 S ST HELENA HWY	PROD	20,000	PUB	
DIAMOND CREEK VINEYARDS	020440004000		PROD	10,000	APPT	
DIAMOND MOUNTAIN WINERY	020100012000	2111 DIAMOND MOUNTAIN RD	PROD	10,000	APPT	
DIOGENES RIDGE WINERY	024201036000		APVD	30,000	APPT	
DOMAINE CARNEROS	047070007000	1240 DUHIG RD	PROD	432,000	PUB	
DOMAINE CHANDON	034140022000	2410 CALIFORNIA DR	PROD	1,980,000	PUB	
DOMAINE CHARBAY WINERY	022150024000	4001 SPRING MOUNTAIN RD	PROD	20,000	TST APPT	
DOMAINE MONTREAUX	036190026000	4101 BIG RANCH RD	PROD	20,000	NO	
DOMINUS ESTATE WINERY	027421016000	2570 NAPANOOK RD	PROD	125,000	APPT	
DUCKHORN VINEYARDS	022130010000	1000 LODI LN	PROD	160,000	PUB	
DUNN VINEYARDS	018180040000	805 N WHITE COTTAGE RD	PROD	20,000	PVT	
DUTCH HENRY WINERY	020120026000	4300 SILVERADO TRL	PROD	20,000	PUB	
EAGLE EYE WINERY	033160018000	6595 GORDON VALLEY RD	APVD	30,000	APPT	
EAGLES TRACE	025180045000	680 ROSSI RD	PROD	40,000	APPT	
EDGE HILL ESTATE WINERY	027020070000	2585 SULPHUR SPRINGS AVE	PROD	24,000	APPT	
EEDEN VINEYARDS	022260004000	3505 SPRING MOUNTAIN RD	PROD	15,000	APPT	
EHLERS ESTATE WINERY	022100029000	3200 EHLERS LN	PROD	25,000	PUB	
EHREN JORDAN WINE CELLARS		3528 SILVERADO N TRL	PROD	25,000	APPT	
EL MOLINO WINERY	022080021000	3315 N ST HELENA HWY	PROD	3,000	NO	
ELAN VINEYARDS	032540035000	4500 ATLAS PEAK RD	PROD	15,000	NO	
ELEVEN ELEVEN WINES	038190019000	610 TRANCAS ST	PROD	100,000	APPT	
ELYSE WINERY	034160003000	2100 HOFFMAN LN	PROD	60,000	APPT	
ENTRE NOUS	031080018000	7688 ST HELENA HWY	PROD	2,500	NO	
ENVY WINES		1170 TUBBS LN	PROD	20,000	APPT	
ETUDE WINERY	047230033000	1250 CUTTINGS WHARF RD	PROD	150,000	PUB	
FALCOR WINERY		2511 NAPA VALLEY CORPORATE DR	PROD	-		х
FANTESCA ESTATE	022250008000	2600 SPRING MOUNTAIN RD	PROD	30,000	APPT	
FAR NIENTE WINERY	027280018000		PROD	175,000	PUB	
FARELLA PARK VINEYARDS		2222 THIRD AVE	PROD	12,500	APPT	
FARM COLLECTIVE WINERY	057300004000		APVD	80,000	APPT	
FISHER WINERY		4771 SILVERADO N TRL	APVD	30,000	APPT	
FLEURY FAMILY WINERY		950 GALLERON LN	PROD	20,000	APPT	
FLORA SPRINGS WINE CO		2006 W ZINFANDEL LN	PROD	120,000	APPT	
FOLEY JOHNSON WINERY		8360 ST HELENA HWY	PROD	20,000	APPT	
FOLIE A DEUX		7481 ST HELENA HWY	PROD	50,000	PUB	
FONTANELLA WINERY		1717 PARTRICK RD	PROD	30,000	APPT	
FORMAN VINEYARD		1501 BIG ROCK RD	PROD	700	APPT	х
FOX PEAK VINEYARDS		4067 ATLAS PEAK RD	APVD	18,000	APPT	
FRANCISCAN WINERY		1178 GALLERON LN	PROD	1,200,000	PUB	
FRANK FAMILY VINEYARDS		1091 LARKMEAD LN	PROD	564,500	PUB	
FRANK FAMILY VINEYARDS RUTHERFORD		8895 CONN CREEK RD	PEND	475,000	PUB	
FRAINK FAIVIILT VIINETANDS KUTHEKFUKD	030120016000		PEND	50,000	APPT	

### Case 3:24-cv-06256 Document 1-3 Filed 09/05/24 Page 6 of 13

ASMT	Street Address	Status	Production*	Tarre Tarks	In City
				Tour_Tastg	In City
022130023000	3022 N ST HELENA HWY	PROD	60,000	PUB	
035470031000	2275 DRY CREEK RD	PROD	20,000	APPT	
030090033000	8815 CONN CREEK RD	PROD	240,000	APPT	
009030041000	825 FULTON LN	PROD	-		х
027360018000	1575 OAKVILLE GRADE	PROD	10,000	APPT	
031110018000	1851 COOK RD	UNKNWN	12,000	APPT	
032010079000	1535 SAGE CANYON RD	PROD	20,000	APPT	
031070012000	575 OAKVILLE CROSS RD	PROD	20,000	APPT	
057250029000		APVD	600,000	APPT	
020150017000	1077 DUNAWEAL LN	PEND	200,000	APPT	
031180035000	1119 STATE LN	PROD	30,000	APPT	
022210005000	1210 ROCKLAND DR	PROD	7,000	APPT	
025240037000	3206 CHILES POPE VALLEY RD	PROD	2,560	APPT	
027470033000	1849 ST HELENA HWY	PROD	250,000	APPT	
050352002000	4800 LOVALL VALLEY RD	APVD	15,000	NO	
032400018000	5850 SILVERADO TRL	APVD	,	APPT	
052432006000	1020 THIRD AVE	UNKNWN	,		
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	030090033000 009030041000 027360018000 031110018000 031070012000 057250029000 020150017000 031180035000 022210005000 025240037000 032400018000 032432006000 031050053000 022150015000 036150062000 039130002000 027340025000 027490021000 027490021000 027490021000 039040004000 039270020000 035120031000 035120031000 038190001000 058420049000 03420001000 030090003000 036110013000 018060024000 024332013000 024332013000 02447070016000 021410019000	030090033000 8815 CONN CREEK RD 009030041000 825 FULTON LN 027360018000 1575 OAKVILLE GRADE 031110018000 1851 COOK RD 032010079000 1535 SAGE CANYON RD 031070012000 575 OAKVILLE CROSS RD 057250029000 020150017000 1077 DUNAWEAL LN 031180035000 1119 STATE LN 022210005000 1210 ROCKLAND DR 025240037000 3206 CHILES POPE VALLEY RD 027470033000 1849 ST HELENA HWY 050352002000 4800 LOVALL VALLEY RD 032400018000 5850 SILVERADO TRL 052432006000 1020 THIRD AVE 031050053000 750 OAKVILLE CROSS RD 022150015000 3851 SPRING MOUNTAIN RD 036150062000 039130002000 4158 SILVERADO TRL 027340025000 1835 OAKVILLE RIDGE RD 027120061000 401 ST HELENA HWY 027490021000 1567 OAKVILLE GRADE 039040004000 5765 SILVERADO TRL 039270020000 588 TRANCAS ST 025180013000 500 TAPLIN RD 017120039000 3510 STATE HIGHWAY 128 035120031000 3104 REDWOOD RD 038190001000 2120 BIG RANCH RD 05040021000 03090003000 850 RUTHERORD RD 036110013000 6204 WASHINGTON ST 018060024000 701 LOMMEL RD 024332013000 425 COLD SPRINGS RD 047070016000 5398 SONOMA HWY 021410019000 3520 SILVERADO TRL	030090033000         8815 CONN CREEK RD         PROD           009030041000         825 FULTON LN         PROD           027360018000         1575 OAKVILLE GRADE         PROD           031110018000         1851 COOK RD         UNKNWN           032010079000         1535 SAGE CANYON RD         PROD           031070012000         575 OAKVILLE CROSS RD         PROD           057250029000         APVD           020150017000         1077 DUNAWEAL LN         PEND           031180035000         1119 STATE LN         PROD           022210005000         1210 ROCKLAND DR         PROD           025240037000         3206 CHILES POPE VALLEY RD         PROD           0274700333000         1849 ST HELENA HWY         PROD           035352002000         4800 LOVALL VALLEY RD         APVD           032400018000         5850 SILVERADO TRL         APVD           032430001800         5850 SILVERADO TRL         APVD           036150062000         03851 SPRING MOUNTAIN RD         PROD           037440025000         4158 SILVERADO TRL         PROD           027340025000         1835 OAKVILLE GRADE         PROD           027360021000         491 ST HELENA HWY         PROD           027360021000	030090033000 8815 CONN CREEK RD	030090033000   8815 CONN CREEK RD

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				irrent Permitted		
ame	ASMT	Street Address	Status	Production*	Tour_Tastg	In City
JAMES COLE WINERY	039580017000	5010 SILVERADO TRL	PROD	10,000	APPT	
JAMIESON RANCH VINEYARDS	057140015000	1 KIRKLAND RANCH RD	PROD	3,700,000	APPT	
JARVIS VINEYARDS	033370026000	2970 MONTICELLO RD	PROD	40,000	APPT	
JERICHO CANYON WINERY	017060045000	3320 OLD LAWLEY TOLL RD	PROD	20,000	APPT	
JOEL GOTT WINES	034160011000	2055 HOFFMAN LN	PROD	120,000	APPT	
JOSEPH CELLARS	020180058000	4455 N ST HELENA HWY	PROD	30,000	APPT	
JOSEPH PHELPS VINEYARDS	025070058000	200 TAPLIN RD	PROD	420,000	APPT	
JUDD'S HILL WINERY	039190034000	2290 SILVERADO TRL	PROD	30,000	APPT	
KAPCSANDY WINERY	031180047000	1005 STATE LN	PROD	20,000	APPT	
KATES VINEYARD	036120031000	5211 BIG RANCH RD	PROD	20,000	TST APPT	
KATHRYN HALL WINERY	030300039000	60 AUBERGE RD	PROD	18,000	APPT	
KEEVER WINERY	034150016000	26 VINEYARD VIEW DR	PROD	10,000	APPT	
KELHAM WINERY	030260029000	360 ZINFANDEL LN	PROD	100,000	APPT	
KELLY FLEMING WINES	018050067000	2343 PICKETT RD	PROD	12,000	APPT	
KENT RASSMUSSEN WINERY	025410002000	999 SILVERADO TRL	PROD	100,000	APPT	
KENT RASSMUSSEN WINERY CARNEROS ESTATES	047240006000	2125 CUTTINGS WHARF RD	PROD	100,000	APPT	
KENZO WINERY	033110075000	3200 MONTICELLO RD	PROD	85,000	APPT	
KITCHAK WINERY		1096 HARDMAN AVE	PROD	15,000	APPT	
KONGSGAARD WINERY		4377 ATLAS PEAK RD	PROD	12,000	NO	
KRUPP BROTHERS WINERY		3150 SILVERADO TRL	PEND	50,000	APPT	
KULETO VILLA VINEYARDS		2470 SAGE CANYON RD	PROD	75,000	APPT	
LA JOTA VINEYARD		1100 LAS POSADAS RD	PROD	20,000	TST APPT	
LA VALLETTE WINERY		2915 SODA CANYON RD	UNKNWN	20,000	TST APPT	
LADERA WINERY		120 S WHITE COTTAGE RD	PROD	150,000	APPT	
LAGIER MEREDITH WINERY		4983 DRY CREEK RD	APVD	5,000	APPT	
LAIL VINEYARDS		320 STONE RIDGE RD	APVD	12,000	APPT	
LAIRD FAMILY ESTATES		5055 SOLANO AVE	PROD	900,000	APPT	
LARKMEAD VINEYARDS		1100 LARKMEAD LN	PROD	75,000	APPT	
LAST RESORT WINERY		1600 AETNA SPRINGS RD	APVD	50,000	APPT	
LAVA VINE		963 SILVERADO TRL	PROD	30,000	PUB	v
LIEFF WINERY		40 AUBERGE RD	APVD		APPT	Х
			PROD	3,000	APPT	
LINCOLN RANCH WINERY		7556 ST HELENA HWY		50,000		
LINDSTROM WINERY		5994 SILVERADO TRL	UNKNWN	3,500	APPT	
LORESTONE VINEYARDS		1790 ST HELENA HWY	APVD	100,000	APPT	
LODESTONE VINEYARDS		202 LONG RANCH RD	APVD	20,000	APPT	
LOKOYA		3787 SPRING MOUNTAIN RD	PROD	50,000	APPT	
LONGMEADOW RANCH WINERY		1775 WHITEHALL LN	PROD	16,000	PVT	
LOUIS M MARTINI WINERY		254 ST HELENA HWY	PROD	2,000,000	PUB	
LUNA VINEYARDS		2921 SILVERADO TRL	PROD	150,000	APPT	
MADONNA ESTATE - MONT ST JOHN CELLARS		5400 OLD SONOMA RD	PROD	50,000	PUB	
MADRIGAL VINEYARDS	022010040000	3718 N ST HELENA HWY	PROD	36,000	APPT	
MAHONEY VINEYARDS	047090007000	1134 DEALY LN	PEND	30,000	APPT	

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				Current Permitted		
ame	ASMT	Street Address	Status	Production*	Tour_Tastg	In City
MALDONADO WINERY	017140039000	3070 OLD LAWLEY TOLL RD	PROD	15,000	APPT	
MANSFIELD WINERY	025180017000		APVD	20,000	APPT	
MARCIANO WINERY	027020061000	2233 SULPHUR SPRINGS AVE	PROD	20,000	APPT	
MARIO PERELLI MINETTI	030250006000	1443 SILVERADO TRL	PROD	20,000	TST APPT	
MARKHAM WINERY	022200008000	2812 N ST HELENA HWY	PROD	300,000	PUB	
MARTIN ESTATE	030200057000	8780 CONN CREEK RD	PROD	20,000	APPT	
MASKED MAN WINERY	021030028000	3750 SILVERADO TRL	UNKNWN	8,000	APPT	
MATERRA WINERY	036160003000	4324 BIG RANCH RD	PROD	50,000	APPT	
MAXVILLE LAKE WINERY	025020023000	4105 CHILES POPE VALLEY RD	PROD	59,000	APPT	
MAYACAMAS VINEYARDS	034060020000		PROD	5,000	APPT	
MCKENZIE MUELLER WINERY	047280005000	2530 LAS AMIGAS RD	PROD	96,000	APPT	
MEADOWOOD LANE WINERY	025110062000	500 MEADOWOOD LN	PROD	48,000	APPT	
MELK WINERY	021352041000	2900 SILVERADO TRL	PEND	10,000	APPT	
MERRYVALE VINEYARDS	009090047000	1000 MAIN ST	PROD	190,000	PUB	х
MERUS WINES	021420045000	424 CRYSTAL SPRINGS RD	PROD	20,000	APPT	
METZGER VINEYARDS	022080024000	3243 N ST HELENA HWY	UNKNWN	800	NO	
MICHAEL MONDAVI FAMILY WINERY	047370001000	1285 DEALY LN	PROD	240,000	PUB	
MIDSUMMER CELLARS		771 SAGE CANYON RD	PEND	1,000	APPT	
MINER FAMILY WINERY		7850 SILVERADO TRL	PROD	300,000	PUB	
MJA WINERY		647 GREENFIELD RD	PROD	15,000	APPT	
MONTICELLO CELLARS (CORLEY FAMILY)		4242 BIG RANCH RD	PROD	100,000	PUB	
MORLET FAMILY ESTATE		2825 N ST HELENA HWY	PROD	20,000	APPT	
MORRIS FAMILY WINERY		4199 HEITZ WAY	PEND	-	APPT	
MOSS CREEK WINERY	032150061000	1250 112112 11711	PROD	100,000	PUB	
MT VEEDER WINERY		1999 MT VEEDER RD	PROD	20,000	APPT	
MT. VEEDER SPRINGS WINERY		1477 PARTRICK RD	UNKNWN	10,000	NO	
MUMM NAPA VALLEY		8445 SILVERADO TRL	PROD	850,000	PUB	
NAPA HARVEST WINERY		3807 MONTICELLO RD	APVD	36,000	APPT	
NAPA VALLEY RESERVE		1030 SILVERADO TRL	PROD	48,000	APPT	
NAPA WINE CO		1187 OAKVILLE CROSS RD	PROD	4,000,000	APPT	
NEAL WINERY		716 LIPARITA AVE	PROD	35,000	APPT	
NEMEREVER WINERY		711 OAKVILLE CROSS RD	PROD	10,000	APPT	
NEWTON VINEYARD		2555 MADRONA AVE	PROD	130,000	APPT	
NEYERS VINEYARDS WINERY		2153 SAGE CANYON RD	PROD	40,000	NO	
NICHELINI VINEYARDS	032010048000	2133 SAGE CANTON ND	PROD	12,000	PUB	
		O1CA CT LIFLENIA LIVADA	PROD	•	APPT	
NICKEL & NICKEL WINERY NIEBAUM COPPOLA ESTATE HWY 29		8164 ST HELENA HWY 1991 ST HELENA HWY	PROD	125,000 250,000	PUB	
				,		
NIEBAUM COPPOLA ESTATE NIEBAUM LN		1460 NIEBAUM LN	PROD	50,000	APPT	
NORMAN ALUMBAUGH WINERY		1996 POPE CANYON RD	APVD	50,000	APPT TCT ADDT	
OAKVILLE RANCH		7781 SILVERADO TRL	PROD	5,000	TST APPT	
OBRIEN FAMILY VINEYARD	035041015000	1200 ORCHARD AVE	PROD	20,000	NO	

### Case 3:24-cv-06256 Document 1-3 Filed 09/05/24 Page 9 of 13

PROD PROD PROD PROD PROD PROD PROD APVD APVD APVD APVD PROD PROD PROD PROD PROD PROD PROD PRO	Production* 110,000 15,000 50,000 18,000 100,000 120,000 5,000 35,000 10,000 16,000	APPT APPT APPT APPT APPT APPT APPT APPT	In City
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PROD PROD PROD APVD APVD PROD PROD PROD PROD PROD PROD PROD PRO	50,000 18,000 100,000 120,000 5,000 35,000 10,000	APPT APPT APPT APPT NO APPT	
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APVD APVD APVD PROD PROD PROD PROD PROD PROD PROD PRO	100,000 120,000 5,000 35,000 10,000 16,000	APPT APPT NO APPT	
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PROD PROD AIN RD PROD PROD PROD PROD PROD	5,000 35,000 10,000 16,000	NO APPT	
PROD AIN RD PROD PROD PROD PROD PROD	35,000 10,000 16,000	APPT	
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	30,000	APPT	
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PROD	120,000	APPT	
APVD	5,000	APPT	
PROD	20,000	APPT	
) PROD	4,800	NO	
PROD	10,000	APPT	
AIN RD PROD	20,000	TST APPT	
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C R		RD         PROD         25,000           UNKNWN         12,000           PROD         20,000           RD         PROD         12,000           PROD         8,500           PROD         50,000           PROD         180,000           PROD         180,000           PROD         20,000           PROD         750,000           PROD         20,000           PROD         25,000           PROD         -           RD         APVD         20,000           APVD         18,000           MY         PROD         15,000	RD         PROD         25,000         PUB           UNKNWN         12,000         APPT           D         PROD         20,000         PUB           RD         PROD         12,000         APPT           PROD         8,500         APPT           PROD         50,000         APPT           PROD         180,000         PUB           PROD         20,000         APPT           PROD         600,000         PUB           PROD         750,000         PUB           PROD         20,000         APPT           PROD         25,000         APPT           PROD         -         APPT           PROD         20,000         APPT           PROD         20,000         APPT           PROD         18,000         APPT           PROD         15,000         APPT

### Case 3:24-cv-06256 Document 1-3 Filed 09/05/24 Page 10 of 13

				Current Permitted		
ame	ASMT	Street Address	Status	Production*	Tour_Tastg	In City
RIPE PEAK WINERY	032160077000	4088 ATLAS PEAK RD	PROD	1,500	APPT	
RITCHIE CREEK VINEYARDS	020300036000	4024 SPRING MOUNTAIN RD	PROD	5,000	TST APPT	
ROBERT BIALI VINEYARDS	036190007000	4036 BIG RANCH RD	PROD	40,000	APPT	
ROBERT CRAIG WINERY	018060072000	2475 SUMMIT LAKE DR	PROD	25,000	APPT	
ROBERT FOLEY VINEYARDS	018230004000	1296 SUMMIT LAKE DR	PROD	30,000	NO	
ROBERT KEENAN WINERY	022150036000	3656 SPRING MOUNTAIN RD	PROD	50,000	APPT	
ROBERT MONDAVI CARNEROS WINERY	047120002000	1319 DUHIG RD	PROD	340,000	NO	
ROBERT MONDAVI WINERY	027280067000	7801 ST HELENA HWY	PROD	3,000,000	PUB	
ROBERT SINSKEY VINEYARDS	031230017000	6320 SILVERADO TRL	PROD	65,000	PUB	
ROBINSON FAMILY VINEYARDS	032400031000	5880 SILVERADO TRL	PROD	15,000	APPT	
ROCCA FAMILY WINERY	057170007000	129 DEVLIN RD	APVD	20,000	APPT	
ROCKY RIDGE WINERY	024300065000	383 LAS POSADAS RD	APVD	35,000	APPT	
ROGERS WINERY	025180069000	970 CONN VALLEY RD	APVD	30,000	APPT	
ROMBAUER VINEYARDS	021410025000	3522 SILVERADO TRL	PROD	450,000	APPT	
ROMBAUER VINEYARDS AIRPARK 1	057240015000	601 AIRPARK RD	PROD	880,000	NO	
ROMBAUER VINEYARDS AIRPARK 2	057240031000	615 AIRPARK RD	APVD	120,000	NO	
ROUND HILL CELLARS (RUTHERFORD RANCH)	030300030000	1680 SILVERADO TRL	PROD	1,000,000	APPT	
ROUND POND WINERY	030140024000	875 RUTHERFORD RD	PROD	100,000	APPT	
ROY ESTATE VINEYARDS	039150079000	1220 SODA CANYON RD	APVD	12,000	APPT	
RUDD ESTATE WINERY	031050067000	500 OAKVILLE CROSS RD	PROD	75,000	APPT	
RUSTRIDGE WINERY	025260033000	2891 LOWER CHILES VALLEY RD	PROD	5,000	TST APPT	
RUTHERFORD GROVE	027450011000	1673 ST HELENA HWY	PROD	35,000	PUB	
RUTHERFORD HILL WINERY	030300032000	200 RUTHERFORD HILL RD	PROD	640,000	PUB	
SABINA VINEYARDS	022080003000	3291 ST HELENA N HWY	PROD	8,000	TST APPT	
SADDLEBACK CELLARS	031040002000	7802 MONEY RD	PROD	8,000	APPT	
SAGE VINEYARDS		1105 LOKOYA RD	UNKNWN	15,000	APPT	
SAINT HELENA WINERY		100 PRATT AVE	PROD	-		х
SAINTSBURY		1500 LOS CARNEROS AVE	PROD	135,000	APPT	
SALVESTRIN WINERY	009350047000		PROD	-		х
SATTUI WINERY		1111 WHITE LN	PROD	96,000	PUB	
SCHRAMSBERG VINEYARDS WINERY		1400 SCHRAMSBERG RD	PROD	180,000	APPT	
SCHWEIGER VINEYARDS		4015 SPRING MOUNTAIN RD	PROD	20,000	APPT	
SCIAMBRA WINERY		3367 ATLAS PEAK RD	PROD	10,000	NO	
SCREAMING EAGLE WINERY		7557 SILVERADO TRL	PROD	20,000	TST APPT	
SEARS WINERY		2600 SUMMIT LAKE DR	PROD	20,000	TST APPT	
SEAVEY VINEYARD		1314 CONN VALLEY RD	PROD	20,000	TST APPT	
SEQUOIA GROVE VINEYARDS		8338 ST HELENA HWY	PROD	150,000	PUB	
SEVEN STONES WINERY		844 MEADOWOOD LN	PROD	1,900	APPT	
SHACKFORD WINERY		2344 SILVERADO TRL	PROD	10,000	NO	
SHAFER VINEYARDS		6154 SILVERADO TRL	PROD	200,000	APPT	
		4060 SPRING MOUNTAIN RD	PROD	6,500	TST APPT	
SHERWIN FAMILY VINEYARDS SHIFFLETT ESTATE WINERY	020300045000		PROD	40,000	APPT	

### Case 3:24-cv-06256 Document 1-3 Filed 09/05/24 Page 11 of 13

SHUTERS   MIRERY   0.180600870000   AD900   AD900   50,000	ed	
SIGNORELLO WINERY         03940008000         \$100 SILVERADO TRL         PROD         20,00           SILENUS VINTNERS         034212035000         5225 SOLANO AVE         PROD         72,00           SILVER OAK WINE CELLARS         03108030000         915 OAKVILLE CROSS RD         PROD         20,00           SILVERADO TRAIL WINERY         021040017000         3303 SILVERADO TRL         APVD         60,00           SILVERADO TRAIL WINERY         021040017000         3303 SILVERADO TRL         APVD         60,00           SILVERADO VINEYARDS         039040031000         6121 SILVERADO TRL         PROD         360,00           SIMOR WINERY         035041027000         1100 ORCHARD AVE         UNKNWN         5,00           SIMOR WINERY         03720008000         1225 INGLEWOOD AVE         PROD         6,00           SKY VINEYARDS         034060044000         1500 LOKOYA RD         PROD         2,3           SIMTH FAMILY WINERY         02214004000         3747 LANGTEY RD         PROD         7,5           SMITH FAMILY WINERY         022180057000         490 TAPLIN RD         UNKNWN         10,0           SODARO WINERY         052180057000         491 TAPLIN RD         UNKNWN         10,0           SODHANI WINEYA         0522100057000         2	n* Tour_Tastg	In C
SILENIUS VINTINERS         03412035000         5225 SOLANIO AVE         PROD         72,00           SILVER ADAK WINE CELLARS         03108003000         515 SOAKVILLE CROSS RD         PROD         21,00           SILVERADO TRAIL WINERY         021040017000         3730 SILVERADO TRIL         APVD         60,00           SILVERADO TRAIL WINERY         021040017000         3730 SILVERADO TRIL         APVD         60,00           SILVERADO TRAIL WINERY         035041027000         1100 ORCHARD AVE         UNKNWN         360,00           SIMOGA WINERY         035041027000         1225 INGLEWOOD OAVE         PROD         60,00           SIMOGA WINERY         03030042000         88 AUBERGE RD         PROD         7,50           SILOAN WINERY         03030042000         88 AUBERGE RD         PROD         7,50           SMITH HAMILY WINERY         02210040000         371 CANGRYR RD         PROD         7,50           SMITH HAMILY WINERY         02210040000         320 TRING MOUNTAIN RD         PROD         7,50           SODHANI WINERY         02210050000         28 THELERIA HAWY         PROD         10,00           SODHANI WINERY         02210050000         28 THELERIA HAWY         PROD         2,00           SONDAM WINE COMPANY         058000503000		
SILVERADO HILL VINEYARD LLC 0396001700 3303 SILVERADO TRL PROD 20,000 SILVERADO TRL APVD 60,000 SILVERADO TRL APVD 60,000 SILVERADO TRL PROD 360,000 SODARO WINERY 360,	O APPT	
SILVERADO HILL VINEYARD LLC         03960017000         3031 SILVERADO TRL         PROD         200,00           SILVERADO TRAIL WINERY         02104001700         3730 SILVERADO TRL         APVD         60,00           SILVERADO VINEYARDS         039040031000         6121 SILVERADO TRL         PROD         360,00           SIMONE WINERY         035041027000         1100 ORCHARD AVE         UNKNWN         5,00           SINFEGAL ESTATE WINERY         02712008000         2125 INGLEWOOD AVE         PROD         60,00           SKY VINEYARDS         03406004400         1500 LOKOYA RD         PROD         15,00           SKY VINEYARDS         034060044000         3741 LANGTRY RD         PROD         15,00           SMITH MADRONE VINEYARDS         022340086000         4201 SPRING MOUNTAIN RD         PROD         18,00           SNOWDEN VINEYARDS         022180057000         229 SINGE MOUNTAIN RD         PROD         18,00           SODHANI WINERY         022380063000         22 BLUE DOAK LN         PROD         19,00           SODHANI WINERY         022380004000         2383 ST HELENA HWY         PROD         150,00           SONDMA WINEY         022800050000         2545 NAPA VALLEY CORPORATE DR         PROD         25,00           SPRILLETCH FAMILY WINERY	O APPT	
SILVERADO TRAIL WINERY 02104017000 3730 SILVERADO TRL APVD 60,000 SILVERADO TRL PROD 360,000 SILVERADO SILVERADO TRL PROD 360,000	) PUB	
SILVERADO VINEYARDS 039040031000 6121 SILVERADO TRL PROD 360,000 SIMONE WINERY 0350410270001 100 ORCHARD AVE UNKNWN 5,000 SIMONE WINERY 027120008000 1215 INGLEWOOD AVE PROD 66,000 SKY VINEYARDS 034060044000 1500 LOKOYA RD PROD 2,33 SLOAN WINERY 030300042000 88 AUBERGE RD PROD 15,000 SMITH FAMILY WINERY 02214004000 374 ZHANGTRY RD PROD 15,000 SMITH FAMILY WINEYY 02214004000 374 ZHANGTRY RD PROD 15,000 SMITH FAMILY WINEYY 02214004000 374 ZHANGTRY RD PROD 18,000 SMOWDEN VINEYARDS 02030086000 4201 SPRING MOUNTAIN RD PROD 18,000 SNOWDEN VINEYARDS 0251800657000 490 TAPLIN RD UNKNWN 30,000 SODARO WINERY 052130063000 22 BILUE OAK LN PROD 20,000 SODARO WINERY 052130063000 22 BILUE OAK LN PROD 15,000 SODARO WINERY 02250004000 3383 ST HELENA HWY PROD PROD 15,000 SODARO WINE COMPANY 058030053000 205 JIM OSWALD WAY PROD 150,000 SODARO WINE COMPANY 058030053000 205 JIM OSWALD WAY PROD 150,000 SPRILLETICH FAMILY WINE CO. 04660030000 259 JIM OSWALD WAY PROD 150,000 SPRILLETICH FAMILY WINE CO. 04660030000 259 JIM OSWALD WAY PROD 150,000 SPRILLETICH WINERY 057210045000 401 GATEWAY W DR PROD 25,000 SPRING MOUNTAIN VINEYARDS 022180020000 250 SPRING MOUNTAIN VINEYARDS 022180020000 250 SPRING MOUNTAIN VINEYARDS 022180020000 250 SPRING MOUNTAIN VINEYARDS 022230013000 ST CLEMENT VINEYARDS 02230013000 ST GAS SILVERADO TRL PROD 36,000 STAGS LEAP WINE CILLARS 0390040000 5766 SILVERADO TRL PROD 36,000 STAGS LEAP WINE CILLARS 0390034000 6150 SILVERADO TRL PROD 315,000 STAGS LEAP WINE CILLARS 0390034000 6150 SILVERADO TRL PROD 315,000 STAGS LEAP WINE CILLARS 03015000500 1605 SILVERADO TRL PROD 315,000 STAGS LEAP WINE WINERY 05230003000 1075 SHADY BROOK LN UNKNWN 2,000 STAGS LEAP WINE WINERY (DOUMANI S) 032530004000 6150 SILVERADO TRL PROD 315,000 STAGS LEAP WINE WINERY (DOUMANI S) 032530004000 5998 SILVERADO TRL PROD 359,900 SILVERADO TRL PROD 59,900 SILVERADO TRL PROD 59,900 SILVERADO TRL PROD 59,900 SILVERADO	O APPT	
SIMONE WINERY 035041027000 1100 ORCHARD AVE UNKNWN 5,00   SINEGAL ESTATE WINERY 027200 2125 INGLEWOOD AVE PROD 6,00   SINEGAL ESTATE WINERY 0272000000 2125 INGLEWOOD AVE PROD 6,00   SINEGAL ESTATE WINERY 03030042000 2125 INGLEWOOD AVE PROD 12,00   SINEGAL ESTATE WINERY 03030042000 88 AUBERGE RD PROD 15,00   SINEMENT HAMILY WINERY 02210040000 3747 LANGTRY RD PROD 15,00   SINEMENT HAMILY WINERY 02210000000 3747 LANGTRY RD PROD 18,00   SINEMENT HAMILY WINERY 02210000000 3747 LANGTRY RD PROD 18,00   SINEMENT HAMILY WINERY 02210050000 490 TAPLIN RD UNKNWN 30,00   SODARO WINERY 0220000000 328 ST HELENA HWY PROD 20,00   SODARO WINERY 0220000000 328 ST HELENA HWY PROD 15,00   SODARO WINERY 025270026000 3280 SAGE CANYON RD PROD 15,00   SODONAM WINE COMPANY 058030003 205 JIM OSWALD WAY PROD 15,00   SPELLETICH FAMILY WINE CO. 0466003000 2545 NAPA VALLEY CORPORATE DR PROD 6,00   SPELLETICH FAMILY WINE CO. 9466003000 2545 NAPA VALLEY CORPORATE DR PROD 6,00   SPELLETICH HAMILY WINE CO. 9466003000 2545 NAPA VALLEY CORPORATE DR PROD 6,00   SPENLETICH HAMILY WINE CO. 9466003000 2545 NAPA VALLEY CORPORATE DR PROD 6,00   SPENLETICH HAMILY WINE CO. 9466003000 2545 NAPA VALLEY CORPORATE DR PROD 6,00   SPENLETICH HAMILY WINE CO. 9466003000 2545 NAPA VALLEY CORPORATE DR PROD 6,00   SPENLETICH HAMILY WINE CO. 9466003000 2545 NAPA VALLEY CORPORATE DR PROD 6,00   SPENLETICH HAMILY WINE CO. 9466003000 2545 NAPA VALLEY CORPORATE DR PROD 6,00   SPENLETICH HAMILY WINE CO. 9466003000 2545 NAPA VALLEY CORPORATE DR PROD 6,00   SPENLETICH HAMILY WINE CO. 9466003000 2545 NAPA VALLEY CORPORATE DR PROD 6,00   SPENLETICH HAMILY WINE CO. 9466003000 2545 NAPA VALLEY CORPORATE DR PROD 6,00   SPENLETICH HAMILY WINE CO. 9466003000 2545 NAPA VALLEY CORPORATE DR PROD 6,00   SPENLETICH HAMILY WINE CO. 9466003000 2545 NAPA VALLEY CORPORATE DR PROD 6,00   SPENLETICH HAMILY WINE CO. 9466003000 2545 NAPA VALLEY CORPORATE DR PROD 6,00   SPENLETICH HAMILY WINE CO. 9466003000 2545 NAPA VALLEY CORPORATE DR PROD 6,00   SPENLETICH HAMILY WINE CO. 9466003000 2545 NAP	O APPT	
SINEGAL ESTATE WINERY   027120008000   2125 INGLEWOOD AVE	D PUB	
SKY VINEYARDS         034060044000         1500 LOKOYA RD         PROD         2,33           SLOAN WINERY         030300042000         88 AUBERGE RD         PROD         15,00           SMITH FAMILY WINERY         022140040000         3747 LANGTRY RD         PROD         7,50           SMITH FMALLY WINERY         022140040000         3747 LANGTRY RD         PROD         18,00           SMOWDEN VINEYARDS         025180057000         490 TAPLIN RD         UNKNWN         30,00           SODARO WINERY         052130063000         22 BLUE OAK LN         PROD         20,00           SODHANI WINERY         022280004000         3283 ST HELENA HWY         PEND         8,00           SOMERSTON WINERY         025270026000         3450 SAGE CANYON RD         PROD         150,00           SOMERSTON WINERY         025270026000         3450 SAGE CANYON RD         PROD         -60,00           SPELLETICH FAMILY WINE CO.         046600030000         2545 NAPA VALLEY CORPORATE DR         PROD         -60,00           SPELLETICH WINERY         057210045000         401 GATEWAY W DR         PROD         -60,00           SPRING MOUNTAIN VINEYARDS         022180020000         2805 SPRING MOUNTAIN RD         PROD         48,00           ST SUEPERY WINEYARDS         0321000	TST APPT	
SLOAN WINERY   030300042000   88 AUBERGE RD   PROD   15.00   5.	) PUB	
SMITH FAMILY WINERY         022140040000         3747 LANGTRY RD         PROD         7,50           SMITH MADRONE VINEYARDS         020300086000         4201 SPRING MOUNTAIN RD         PROD         18,00           SNOWDEN VINEYARDS         025180057000         490 TAPLIN RD         UNKNWN         30,00           SODARO WINERY         052130063000         22 BLUE OAK LN         PROD         20,00           SODHANI WINERY         022080004000         3283 ST HELENA HWY         PEND         8,00           SOMERSTON WINERY         025830053000         205 JIM OSWALD WAY         PROD         150,00           SONOMA WINE COMPANY         058030053000         205 JIM OSWALD WAY         PROD         -           SPELLETICH FAMILY WINE CO.         046600030000         2545 NAPA VALLEY CORPORATE DR         PROD         -           SPELLETICH WINERY         057210045000         401 GATEWAY W DR         PROD         -           SPERING MOUNTAIN VINEYARDS         02218002000         2805 SPRING MOUNTAIN RD         PROD         48,00           SPRING MOUNTAIN VINEYARDS         022180038000         ST SUPERY VINEYARDS & WINERY         9700         -           ST CLEMENT VINEYARDS         022230013000         FROD         -           ST CLIAL-BROWN WINERY         03011047000<	7 APPT	
SMITH MADRONE VINEYARDS         020300086000         4201 SPRING MOUNTAIN RD         PROD         18,00           SNOWDEN VINEYARDS         025180057000         490 TAPLIN RD         UNKNWN         30,00           SODARO WINERY         052130063000         22 BLUE OAK LN         PROD         20,00           SODHANI WINERY         022080004000         3283 ST HELENA HWY         PEND         8,00           SOMORRSTON WINERY         025270026000         3450 SAGE CANYON RD         PROD         150,00           SONOMA WINE COMPANY         058030053000         205 JIM OSWALD WAY         PROD         -           SPELLETICH FAMILY WINE CO.         04660003000         2545 NAPA VALLEY CORPORATE DR         PROD         -           SPELLETICH WINERY         057210045000         401 GATEWAY W DR         PROD         -           SPELLETICH WINERY         057210045000         401 GATEWAY W DR         PROD         -           SPERING MOUNTAIN VINEYARDS         02218002000         2805 SPRING MOUNTAIN RD         PROD         48,00           SPRING MOUNTAIN VINEYARDS         02218002000         2805 SPRING MOUNTAIN RD         PROD         450,00           ST LOLAIR-BROWN WINERY         03019001900         8440 S ST HELENA HWY         PROD         450,00           STAGS LEAP	O NO	
SNOWDEN VINEYARDS         025180057000         490 TAPLIN RD         UNKNWN         30,00           SODARO WINERY         052130063000         22 BLUE OAK LN         PROD         20,00           SODHANI WINERY         022080004000         3283 ST HELENA HWY         PEND         8,00           SOMERSTON WINERY         025270026000         3450 SAGE CANYON RD         PROD         150,00           SONDAM WINE COMPANY         058030053000         255 IM OSWALD WAY         PROD         -           SPELLETICH FAMILY WINE CO.         04660003000         2545 NAPA VALLEY CORPORATE DR         PROD         -           SPELLETICH WINERY         057210045000         401 GATEWAY W DR         PROD         -           SPELLETICH WINERY         057210045000         401 GATEWAY W DR         PROD         -           SPELLETICH WINERY         09391026000         2865 SPRING MOUNTAIN VINEYARDS         PROD         -         -           SPRING MOUNTAIN VINEYARDS         022180058000         2805 SPRING MOUNTAIN VINEYARDS         PROD         -         -           ST SUPERY VINEYARDS & WINERY         03019001900         8440 S ST HELENA HWY         PROD         -         -           ST AGS LEAP WINE WINERY         03011004700         1605 ACTION AVE         PROD         -	O APPT	
SODARO WINERY         052130063000         22 BLUE OAK LN         PROD         20,00           SODHANI WINERY         022080004000         3283 ST HELENA HWY         PEND         8,00           SOMERSTON WINERY         02250026000         3450 SAGE CANYON RD         PROD         150,00           SONOMA WINE COMPANY         058030053000         205 JIM OSWALD WAY         PROD         -           SPELLETICH FAMILY WINE CO.         046600030000         2545 NAPA VALLEY CORPORATE DR         PROD         -           SPELLETICH WINERY         057210045000         401 GATEWAY W DR         PROD         -           SPEILISTICH WINERY         057210045000         401 GATEWAY W DR         PROD         -           SPRING MOUNTAIN VINEYARDS         022180058000         2805 SPRING MOUNTAIN RD         PROD         -           SPRING MOUNTAIN VINEYARDS         022180058000         PROD         72,00           ST CLEMENT VINEYARDS & WINERY         03010019000         8440 S ST HELENA HWY         PROD         72,00           ST. CLAIR-BROWN WINERY         03011047000         1605 ACTION AVE         PROD         -           STAGS LEAP WINE CELLARS         039030040000         5766 SILVERADO TRL         PROD         330,00           STAGS LEAP WINE WINERY (DOUMANI 5)         03	O APPT	
SODARO WINERY         052130063000         22 BLUE OAK LN         PROD         20,00           SODHANI WINERY         022080004000         3283 ST HELENA HWY         PEND         8,00           SOMERSTON WINERY         025270026000         3450 SAGE CANYON RD         PROD         150,00           SONOMA WINE COMPANY         058030053000         205 JIM OSWALD WAY         PROD         -           SPELLETICH FAMILY WINE CO.         04660003000         2545 NAPA VALLEY CORPORATE DR         PROD         -           SPELLETICH WINERY         05721004500         401 GATEWAY W DR         PROD         60,00           SPRING MOUNTAIN VINEYARDS         022180020000         2805 SPRING MOUNTAIN RD         PROD         72,00           SPRING MOUNTAIN VINEYARDS         022180058000         PROD         72,00           ST CLEMENT VINEYARDS         022230013000         PROD         72,00           ST CLEMENT VINEYARDS & WINERY         03019001900         8440 S ST HELENA HWY         PROD         72,00           ST. CLAIR-BROWN WINERY         03111047000         1605 ACTION AVE         PROD         36,00           STAGS LEAP WINE CELLARS         03903004000         5766 SILVERADO TRL         PROD         330,00           STAGS LEAP WINE WINERY (DOUMANI 1)         032530024000	O APPT	
SODHANI WINERY         022080004000         3283 ST HELENA HWY         PEND         8,00           SOMERSTON WINERY         025270026000         3450 SAGE CANYON RD         PROD         150,00           SONDMA WINE COMPANY         058030053000         205 JIM OSWALD WAY         PROD         -           SPELLETICH FAMILY WINE CO.         046600030000         2545 NAPA VALLEY CORPORATE DR         PROD         -           SPELLETICH WINERY         057210045000         401 GATEWAY W DR         PROD         60,00           SPOTTSWOODE WINERY         009391026000         PROD         25,00           SPRING MOUNTAIN VINEYARDS         022180028000         2805 SPRING MOUNTAIN RD         PROD         20,00           ST CLEMENT VINEYARDS         022180058000         PROD         72,00           ST SUPERY VINEYARDS & WINERY         03019001900         8440 S ST HELENA HWY         PROD         72,00           ST CLEMENT VINEYARDS & WINERY         03019001900         8440 S ST HELENA HWY         PROD         7-           ST AGS LEAP WINE VINERY (DOUMANI 1)         032530034000         1506 SACTION AVE         PROD         36,00           STAGS LEAP WINE WINERY (DOUMANI 1)         032530034000         1507 SHORD KLERADO TRL         PROD         315,00           STAG SILEAP WINE WINERY (DOUM		
SOMERSTON WINERY         025270026000         3450 SAGE CANYON RD         PROD         150,00           SONOMA WINE COMPANY         058030053000         205 JIM OSWALD WAY         PROD         -           SPELLETICH FAMILY WINE CO.         04660030000         2545 NAPA VALLEY CORPORATE DR         PROD         -           SPELLETICH WINERY         05721045000         401 GATEWAY W DR         PROD         60,00           SPOTTSWOODE WINERY         009391026000         2805 SPRING MOUNTAIN VINEYARDS         PROD         25,00           SPRING MOUNTAIN VINEYARDS         02218002000         2805 SPRING MOUNTAIN RD         PROD         20,00           ST CLEMENT VINEYARDS         022180058000         PROD         72,00           ST SUPERY VINEYARDS & WINERY         030190019000         8440 S ST HELENA HWY         PROD         450,00           ST SUPERY VINEYARDS & WINERY         030190019000         8440 S ST HELENA HWY         PROD         -           ST AGS LEAP WINE VINEYARDS & WINERY         030110019000         8440 S ST HELENA HWY         PROD         36,00           STAGS LEAP WINE CELLARS         039030040000         1506 SILVERADO TRL         PROD         36,00           STAGS LEAP WINE WINERY (DOUMANI 1)         032530024000         6150 SILVERADO TRL         PROD         315,00		
SONOMA WINE COMPANY 058030053000 205 JIM OSWALD WAY PROD - SPELLETICH FAMILY WINE CO. 046600030000 2545 NAPA VALLEY CORPORATE DR PROD - SPELLETICH WINERY 057210045000 401 GATEWAY W DR PROD 65,00 SPRING WINERY 009391026000 2805 SPRING MOUNTAIN RD PROD 25,00 SPRING MOUNTAIN VINEYARDS 022180020000 2805 SPRING MOUNTAIN RD PROD 20,00 SPRING MOUNTAIN VINEYARDS 1022180028000 PROD 72,00 ST CLEMENT VINEYARDS 022230013000 PROD 72,00 ST SUPERY VINEYARDS & WINERY 030190019000 8440 S ST HELENA HWY PROD 72,00 ST SUPERY VINEYARDS & WINERY 03111047000 1605 ACTION AVE PROD 72,00 ST SUPERY VINEYARDS 032180024000 1390 BELLA OAKS LN PROD 36,00 STAGS LEAP WINE CELLARS 03903040000 5766 SILVERADO TRL PROD 330,00 STAGS LEAP WINE WINERY (DOUMANI 1) 032530034000 6150 SILVERADO TRL PROD 315,00 STAG'S LEAP WINERY (DOUMANI 5) 032530024000 6130 SILVERADO TRL PROD 315,00 STAG NINEYARDS 030150016000 8514 ST HELENA HWY UNKNWN 2,00 STAR HILL WINERY 052390003000 1075 SHAPD BROOK LN UNKNWN 2,00 STAR HILL WINERY 052390003000 1075 SHAPD BROOK LN UNKNWN 30,00 STEPHENS WINERY 025130005000 1551 STANLY LN PROD 59,99 STEPHENS WINERY 025130005000 1500 HS0 HUVEL MOUNTAIN RD UNKNWN 12,00 STEPHENS WINERY 025130005000 1500 HS0 HUVEL MOUNTAIN RD UNKNWN 12,00 STEPHENS WINERY 025130005000 1500 HS0 HUVEL MOUNTAIN RD UNKNWN 12,00 STEPHENS WINERY 025130005000 1500 HS0 HUVEL MOUNTAIN RD UNKNWN 12,00 STEPHENS WINERY 025130005000 1500 HS0 HOWELL MOUNTAIN RD UNKNWN 12,00 STERHLING VINEYARDS 020150053000 111 DUNAWEAL LN PROD 15,00 STONY HILL VINEYARD 02015005000 15000073000 STONY HILL VINEYARD 07110019000 3835 STATE HIGHWAY 128 PROD 15,00 STORYBOOK MOUNTAIN VINEYARD 02180015000 2849 SPRING MOUNTAIN RD UNKNWN 25,00		
SPELLETICH FAMILY WINE CO.         046600030000         2545 NAPA VALLEY CORPORATE DR         PROD         -           SPELLETICH WINERY         057210045000         401 GATEWAY W DR         PROD         60,00           SPOTTSWOODE WINERY         09391026000         2805 SPRING MOUNTAIN VINEYARDS         922180020000         2805 SPRING MOUNTAIN RD         PROD         25,00           SPRING MOUNTAIN VINEYARDS #2         022180058000         PROD         20,00           ST CLEMENT VINEYARDS         022230013000         PROD         72,00           ST SUPERY VINEYARDS & WINERY         03019001900         8440 S ST HELENA HWY         PROD         450,00           ST. CLAIR-BROWN WINERY         03111047000         1605 ACTION AVE         PROD         -           STAGS LEAP WINE CELLARS         039030040000         5766 SILVERADO TRL         PROD         330,00           STAGS LEAP WINERY (DOUMANI S)         032530024000         6130 SILVERADO TRL         PROD         315,00           STAG SI LEAP WINERY (DOUMANI S)         032530024000         6130 SILVERADO TRL         PROD         315,00           STAR HILL WINERY         052390003000         1075 SHADY BROOK LN         UNKNWN         2,00           STAR VINEYARDS         030150016000         8514 ST HELENA HWY         UNKNWN         1		х
SPELLETICH WINERY         057210045000         401 GATEWAY W DR         PROD         60,00           SPOTTSWOODE WINERY         009391026000         2805 SPRING MOUNTAIN VINEYARDS         02218002000         2805 SPRING MOUNTAIN RD         PROD         48,00           SPRING MOUNTAIN VINEYARDS         022180028000         2805 SPRING MOUNTAIN RD         PROD         48,00           SPRING MOUNTAIN VINEYARDS         022180038000         PROD         72,00           ST CLEMENT VINEYARDS         022230013000         8440 S ST HELENA HWY         PROD         72,00           ST SUPERY VINEYARDS & WINERY         030190019000         8440 S ST HELENA HWY         PROD         450,00           ST. CLAIR-BROWN WINERY         03011047000         1605 ACTION AVE         PROD         -           STAGSI LEAP WINE CELLARS         039030040000         5766 SILVERADO TRL         PROD         330,00           STAGS LEAP WINERY (DOUMANI 1)         032530024000         6150 SILVERADO TRL         PROD         315,00           STAG'S LEAP WINERY (DOUMANI 5)         032530024000         6130 SILVERADO TRL         PROD         315,00           STAG YINEYARDS         030150016000         8514 ST HELENA HWY         UNKNWN         2,00           STEAR HILL WINERY         047240035000         1451 STANLY LN		x
SPOTTSWOODE WINERY         009391026000         PROD         25,00           SPRING MOUNTAIN VINEYARDS         022180020000         2805 SPRING MOUNTAIN RD         PROD         48,00           SPRING MOUNTAIN VINEYARDS #2         022180058000         PROD         20,00           ST CLEMENT VINEYARDS         022230013000         PROD         72,00           ST SUPERY VINEYARDS & WINERY         030190019000         8440 S ST HELENA HWY         PROD         450,00           ST CLAIR-BROWN WINERY         003111047000         1605 ACTION AVE         PROD         -           STAGSI LEAP WINE CELLARS         039030040000         1390 BELLA OAKS LN         PROD         36,00           STAGS LEAP WINE WINERY (DOUMANI 1)         032530034000         5766 SILVERADO TRL         PROD         97,00           STAG'S LEAP WINERY (DOUMANI 5)         032530024000         6150 SILVERADO TRL         PROD         315,00           STAR HILL WINERY         052390003000         1075 SHADY BROOK LN         UNKNWN         2,09           STAR VINEYARDS         030150016000         8514 ST HELENA HWY         UNKNWN         30,00           STELTZNER VINEYARDS         032400023000         5998 SILVERADO TRL         PROD         59,92           STEPHENS WINERY         025130005000         1860 HOWE	O NO	
SPRING MOUNTAIN VINEYARDS         022180020000         2805 SPRING MOUNTAIN RD         PROD         48,00           SPRING MOUNTAIN VINEYARDS #2         022180058000         PROD         20,00           ST CLEMENT VINEYARDS         022230013000         PROD         72,00           ST SUPERY VINEYARDS & WINERY         030190019000         8440 S ST HELENA HWY         PROD         450,00           ST. CLAIR-BROWN WINERY         003111047000         1605 ACTION AVE         PROD         -           STAGLIN WINERY         027250064000         1390 BELLA OAKS LN         PROD         36,00           STAGS LEAP WINE CELLARS         039030040000         5766 SILVERADO TRL         PROD         300,00           STAG'S LEAP WINERY (DOUMANI 1)         032530024000         6150 SILVERADO TRL         PROD         315,00           STAG'S LEAP WINERY (DOUMANI 5)         032530024000         6130 SILVERADO TRL         PROD         315,00           STAR HILL WINERY         052390003000         1075 SHADY BROOK LN         UNKNWN         2,00           STAR VINEYARDS         030150016000         8514 ST HELENA HWY         UNKNWN         30,00           STEPLETXINER VINEYARDS         032400023000         5998 SILVERADO TRL         PROD         59,99           STEPHENS WINERY         025130		Х
SPRING MOUNTAIN VINEYARDS #2         022180058000         PROD         20,00           ST CLEMENT VINEYARDS         022230013000         PROD         72,00           ST SUPERY VINEYARDS & WINERY         030190019000         8440 \$ ST HELENA HWY         PROD         450,00           ST. CLAIR-BROWN WINERY         003111047000         1605 ACTION AVE         PROD         -           STAGLIN WINERY         027250064000         1390 BELLA OAKS LN         PROD         36,00           STAGS LEAP WINE CELLARS         039030040000         5766 SILVERADO TRL         PROD         330,00           STAGS LEAP WINERY (DOUMANI 1)         032530024000         6150 SILVERADO TRL         PROD         315,00           STAR HILL WINERY         052390003000         1075 SHADY BROOK LN         UNKNWN         2,00           STAR VINEYARDS         030150016000         8514 ST HELENA HWY         UNKNWN         30,00           STAR VINEYARDS         030150016000         8514 ST HELENA HWY         UNKNWN         30,00           STEPHENS WINERY         025130005000         1451 STANLY LN         PROD         59,90           STEPHENS WINERY         025130005000         1860 HOWELL MOUNTAIN RD         UNKNWN         12,00           STONY HILL VINEYARD         020150053000         1111 DU		
ST CLEMENT VINEYARDS 022230013000 PROD 72,000 ST SUPERY VINEYARDS & WINERY 030190019000 8440 S ST HELENA HWY PROD 450,000 ST. CLAIR-BROWN WINERY 003111047000 1605 ACTION AVE PROD 5 STAGLIN WINERY 027250064000 1390 BELLA OAKS LN PROD 36,000 STAGS LEAP WINE CELLARS 039030040000 5766 SILVERADO TRL PROD 330,000 STAGS LEAP WINE WINERY (DOUMANI 1) 032530034000 6150 SILVERADO TRL PROD 315,000 STAG'S LEAP WINERY (DOUMANI 5) 032530024000 6150 SILVERADO TRL PROD 315,000 STAR HILL WINERY 052390003000 1075 SHADDY BROOK LN UNKNWN 2,000 STAR VINEYARDS 030150016000 8514 ST HELENA HWY UNKNWN 30,000 STARWONT (MERRYVALE) 047240035000 1451 STANLY LN PROD 559,900 STELTZNER VINEYARDS 032400023000 5998 SILVERADO TRL PROD 59,900 STEPHENS WINERY 025130005000 1860 HOWELL MOUNTAIN RD UNKNWN 12,000 STEPHENS WINEYARDS 020150053000 1111 DUNAWEAL LN PROD 1,500,000 STONY HILL VINEYARD 020300073000 PROD 1,500,000 STONY HILL VINEYARD 017110019000 3835 STATE HIGHWAY 128 PROD 15,000 STREBLOW WINERY 022180015000 2849 SPRING MOUNTAIN RD UNKNWN 25,000		
ST SUPERY VINEYARDS & WINERY         030190019000         8440 S ST HELENA HWY         PROD         450,00           ST. CLAIR-BROWN WINERY         003111047000         1605 ACTION AVE         PROD         -           STAGLIN WINERY         027250064000         1390 BELLA OAKS LN         PROD         36,00           STAGS LEAP WINE CELLARS         039030040000         5766 SILVERADO TRL         PROD         330,00           STAGS LEAP WINERY (DOUMANI 1)         032530034000         6150 SILVERADO TRL         PROD         96,00           STAG'S LEAP WINERY (DOUMANI 5)         032530024000         6130 SILVERADO TRL         PROD         315,00           STAR HILL WINERY         052390003000         1075 SHADY BROOK LN         UNKNWN         2,00           STAR VINEYARDS         030150016000         8514 ST HELENA HWY         UNKNWN         30,00           STERLTZNER VINEYARDS         032400023000         4551 STANLY LN         PROD         -           STEPHENS WINERY         025130005000         1860 HOWELL MOUNTAIN RD         UNKNWN         12,00           STERLING VINEYARDS         020150053000         1111 DUNAWEAL LN         PROD         1,500,00           STORYBOOK MOUNTAIN VINEYARD         017110019000         3835 STATE HIGHWAY 128         PROD         15,00 <t< td=""><td></td><td></td></t<>		
ST. CLAIR-BROWN WINERY         003111047000         1605 ACTION AVE         PROD         -           STAGLIN WINERY         027250064000         1390 BELLA OAKS LN         PROD         36,00           STAGS LEAP WINE CELLARS         039030040000         5766 SILVERADO TRL         PROD         330,00           STAGS LEAP WINE WINERY (DOUMANI 1)         032530034000         6150 SILVERADO TRL         PROD         60,00           STAG'S LEAP WINERY (DOUMANI 5)         032530024000         6130 SILVERADO TRL         PROD         315,00           STAR HILL WINERY         052390003000         1075 SHADY BROOK LN         UNKNWN         2,09           STAR VINEYARDS         030150016000         8514 ST HELENA HWY         UNKNWN         30,00           STERLIZENER VINEYARDS         032400023000         1451 STANLY LN         PROD         -           STEPHENS WINERY         025130005000         1860 HOWELL MOUNTAIN RD         UNKNWN         12,00           STERLING VINEYARDS         020150053000         1111 DUNAWEAL LN         PROD         1,500,00           STORYBOOK MOUNTAIN VINEYARD         017110019000         3835 STATE HIGHWAY 128         PROD         15,00           STREBLOW WINERY         022180015000         2849 SPRING MOUNTAIN RD         UNKNWN         25,00		
STAGLIN WINERY         027250064000         1390 BELLA OAKS LN         PROD         36,00           STAGS LEAP WINE CELLARS         039030040000         5766 SILVERADO TRL         PROD         330,00           STAGS LEAP WINE WINERY (DOUMANI 1)         032530034000         6150 SILVERADO TRL         PROD         60,00           STAG'S LEAP WINERY (DOUMANI 5)         032530024000         6130 SILVERADO TRL         PROD         315,00           STAR HILL WINERY         052390003000         1075 SHADY BROOK LN         UNKNWN         2,05           STAR VINEYARDS         030150016000         8514 ST HELENA HWY         UNKNWN         30,00           STARMONT (MERRYVALE)         047240035000         1451 STANLY LN         PROD         -           STELTZNER VINEYARDS         032400023000         5998 SILVERADO TRL         PROD         59,95           STEPHENS WINERY         025130005000         1860 HOWELL MOUNTAIN RD         UNKNWN         12,00           STONY HILL VINEYARD         020150053000         1111 DUNAWEAL LN         PROD         1,500,00           STORYBOOK MOUNTAIN VINEYARD         017110019000         3835 STATE HIGHWAY 128         PROD         15,00           STREBLOW WINERY         022180015000         2849 SPRING MOUNTAIN RD         UNKNWN         25,00 <td>, 105</td> <td>Х</td>	, 105	Х
STAGS LEAP WINE CELLARS         039030040000         5766 SILVERADO TRL         PROD         330,00           STAGS LEAP WINE WINERY (DOUMANI 1)         032530034000         6150 SILVERADO TRL         PROD         60,00           STAG'S LEAP WINERY (DOUMANI 5)         032530024000         6130 SILVERADO TRL         PROD         315,00           STAR HILL WINERY         052390003000         1075 SHADY BROOK LN         UNKNWN         2,05           STAR VINEYARDS         030150016000         8514 ST HELENA HWY         UNKNWN         30,00           STARMONT (MERRYVALE)         047240035000         1451 STANLY LN         PROD         -           STELTZNER VINEYARDS         032400023000         5998 SILVERADO TRL         PROD         59,95           STEPHENS WINERY         025130005000         1860 HOWELL MOUNTAIN RD         UNKNWN         12,00           STONY HILL VINEYARD         020300073000         PROD         7,70           STORYBOOK MOUNTAIN VINEYARD         017110019000         3835 STATE HIGHWAY 128         PROD         15,00           STREBLOW WINERY         022180015000         2849 SPRING MOUNTAIN RD         UNKNWN         25,00	O APPT	
STAGS LEAP WINE WINERY (DOUMANI 1)         032530034000         6150 SILVERADO TRL         PROD         60,00           STAG'S LEAP WINERY (DOUMANI 5)         032530024000         6130 SILVERADO TRL         PROD         315,00           STAR HILL WINERY         052390003000         1075 SHADY BROOK LN         UNKNWN         2,09           STAR VINEYARDS         030150016000         8514 ST HELENA HWY         UNKNWN         30,00           STERLTZNER VINEYARDS         032400023000         1451 STANLY LN         PROD         -           STEPHENS WINERY         025130005000         1860 HOWELL MOUNTAIN RD         UNKNWN         12,00           STERLING VINEYARDS         020150053000         1111 DUNAWEAL LN         PROD         1,500,00           STONY HILL VINEYARD         020300073000         PROD         8,70           STORYBOOK MOUNTAIN VINEYARD         017110019000         3835 STATE HIGHWAY 128         PROD         15,00           STREBLOW WINERY         022180015000         2849 SPRING MOUNTAIN RD         UNKNWN         25,00		
STAG'S LEAP WINERY (DOUMANI 5)         032530024000         6130 SILVERADO TRL         PROD         315,00           STAR HILL WINERY         052390003000         1075 SHADY BROOK LN         UNKNWN         2,09           STAR VINEYARDS         030150016000         8514 ST HELENA HWY         UNKNWN         30,00           STARMONT (MERRYVALE)         047240035000         1451 STANLY LN         PROD         -           STELTZNER VINEYARDS         032400023000         5998 SILVERADO TRL         PROD         59,99           STEPHENS WINERY         025130005000         1860 HOWELL MOUNTAIN RD         UNKNWN         12,00           STERLING VINEYARDS         020150053000         1111 DUNAWEAL LN         PROD         1,500,00           STONY HILL VINEYARD         020300073000         PROD         8,70           STORYBOOK MOUNTAIN VINEYARD         017110019000         3835 STATE HIGHWAY 128         PROD         15,00           STREBLOW WINERY         022180015000         2849 SPRING MOUNTAIN RD         UNKNWN         25,00		
STAR HILL WINERY         052390003000         1075 SHADY BROOK LN         UNKNWN         2,05           STAR VINEYARDS         030150016000         8514 ST HELENA HWY         UNKNWN         30,00           STARMONT (MERRYVALE)         047240035000         1451 STANLY LN         PROD         -           STELTZNER VINEYARDS         032400023000         5998 SILVERADO TRL         PROD         59,99           STEPHENS WINERY         025130005000         1860 HOWELL MOUNTAIN RD         UNKNWN         12,00           STERLING VINEYARDS         020150053000         1111 DUNAWEAL LN         PROD         1,500,00           STONY HILL VINEYARD         020300073000         PROD         8,70           STORYBOOK MOUNTAIN VINEYARD         017110019000         3835 STATE HIGHWAY 128         PROD         15,00           STREBLOW WINERY         022180015000         2849 SPRING MOUNTAIN RD         UNKNWN         25,00		
STAR VINEYARDS         030150016000         8514 ST HELENA HWY         UNKNWN         30,00           STARMONT (MERRYVALE)         047240035000         1451 STANLY LN         PROD         -           STELTZNER VINEYARDS         032400023000         5998 SILVERADO TRL         PROD         59,99           STEPHENS WINERY         025130005000         1860 HOWELL MOUNTAIN RD         UNKNWN         12,00           STERLING VINEYARDS         020150053000         1111 DUNAWEAL LN         PROD         1,500,00           STONY HILL VINEYARD         020300073000         PROD         8,70           STORYBOOK MOUNTAIN VINEYARD         017110019000         3835 STATE HIGHWAY 128         PROD         15,00           STREBLOW WINERY         022180015000         2849 SPRING MOUNTAIN RD         UNKNWN         25,00		
STARMONT (MERRYVALE)         047240035000         1451 STANLY LN         PROD         -           STELTZNER VINEYARDS         032400023000         5998 SILVERADO TRL         PROD         59,99           STEPHENS WINERY         025130005000         1860 HOWELL MOUNTAIN RD         UNKNWN         12,00           STERLING VINEYARDS         020150053000         1111 DUNAWEAL LN         PROD         1,500,00           STONY HILL VINEYARD         020300073000         PROD         8,70           STORYBOOK MOUNTAIN VINEYARD         017110019000         3835 STATE HIGHWAY 128         PROD         15,00           STREBLOW WINERY         022180015000         2849 SPRING MOUNTAIN RD         UNKNWN         25,00		
STELTZNER VINEYARDS         032400023000         5998 SILVERADO TRL         PROD         59,99           STEPHENS WINERY         025130005000         1860 HOWELL MOUNTAIN RD         UNKNWN         12,00           STERLING VINEYARDS         020150053000         1111 DUNAWEAL LN         PROD         1,500,00           STONY HILL VINEYARD         020300073000         PROD         8,70           STORYBOOK MOUNTAIN VINEYARD         017110019000         3835 STATE HIGHWAY 128         PROD         15,00           STREBLOW WINERY         022180015000         2849 SPRING MOUNTAIN RD         UNKNWN         25,00	O APPT	
STEPHENS WINERY         025130005000         1860 HOWELL MOUNTAIN RD         UNKNWN         12,00           STERLING VINEYARDS         020150053000         1111 DUNAWEAL LN         PROD         1,500,00           STONY HILL VINEYARD         020300073000         PROD         8,70           STORYBOOK MOUNTAIN VINEYARD         017110019000         3835 STATE HIGHWAY 128         PROD         15,00           STREBLOW WINERY         022180015000         2849 SPRING MOUNTAIN RD         UNKNWN         25,00	2 0110	Х
STERLING VINEYARDS         020150053000         1111 DUNAWEAL LN         PROD         1,500,00           STONY HILL VINEYARD         020300073000         PROD         8,70           STORYBOOK MOUNTAIN VINEYARD         017110019000         3835 STATE HIGHWAY 128         PROD         15,00           STREBLOW WINERY         022180015000         2849 SPRING MOUNTAIN RD         UNKNWN         25,00		
STONY HILL VINEYARD         020300073000         PROD         8,70           STORYBOOK MOUNTAIN VINEYARD         017110019000         3835 STATE HIGHWAY 128         PROD         15,00           STREBLOW WINERY         022180015000         2849 SPRING MOUNTAIN RD         UNKNWN         25,00		
STORYBOOK MOUNTAIN VINEYARD         017110019000         3835 STATE HIGHWAY 128         PROD         15,00           STREBLOW WINERY         022180015000         2849 SPRING MOUNTAIN RD         UNKNWN         25,00		
STREBLOW WINERY 022180015000 2849 SPRING MOUNTAIN RD UNKNWN 25,00		
SULLIVAN FAMILY FSTATE 030070010000 1090 GALLERON LN PROD 22 57		
SOLETANT TANDE LOTAL SOLUTION IN SOLUTION	O APPT	
SULPHUR SPRINGS WINERY 009350061000 2252 SULPHUR SPRINGS AVE PROD -		х

### Case 3:24-cv-06256 Document 1-3 Filed 09/05/24 Page 12 of 13

ame	ASMT	Street Address	Status			1 0''
		Street Address	Status	Production*	Tour_Tastg	In City
SUSCOL CREEK WINERY	057170018000	1055 SOSCOL FERRY RD	APVD	600,000	APPT	
SUTTER HOME WINERY	009120062000	100 ST HELENA HWY	PROD	3,247,000	NO	Х
SUTTER HOME WINERY	027130014000	277 ST HELENA HWY	PROD	200,000	PUB	
SWANSON VINEYARDS	027260001000	1271 MANLEY LN	PROD	42,500	APPT	
SWANSON WINERY	031040033000	7711 MONEY RD	APVD	100,000	APPT	
TAMBER BEY VINEYARDS	017160010000	1251 TUBBS LN	PROD	60,000	APPT	
TEACHWORTH WINERY	020400018000	4451 N ST HELENA HWY	PROD	5,000	PVT	
TEDESCHI WINERY	011390016000	2779 GRANT ST	PROD	4,760	NO	х
TERRA DEL LAGO	032510004000	1553 SAGE CANYON RD	APVD	15,000	APPT	
THE RANCH WINERY	030060025000	105 ZINFANDEL LN	PROD	12,520,000	NO	
THE TERRACES	030060018000	1450 SILVERADO TRL	PROD	20,000	APPT	
THE VINEYARDIST	020430006000	263 PETRIFIED FOREST RD	APVD	20,000	APPT	
THEOREM WINERY	020430007000	255 PETRIFIED FOREST RD	PEND	20,000	APPT	
TITUS VINEYARDS	021353013000		APVD	24,000	APPT	
TOAD HALL CELLARS	027100030000	1885 ZINFANDEL LN	UNKNWN	30,000	NO	
TOM EDDY WINERY	017110001000	3870 STATE HIGHWAY 128	PROD	48,000	APPT	
TREFETHEN VINEYARDS	036140062000	1160 OAK KNOLL	PROD	500,000	PUB	
TRES SABORES		1620 S WHITEHALL LN	PROD	20,000	APPT	
TRINCHERO NAPA VALLEY		3070 ST HELENA HWY	PROD	100,000	PUB	
TRUCHARD VINEYARDS		3234 OLD SONOMA RD	PROD	60,000	APPT	
TRUCHARD VINEYARDS WINERY		4062 OLD SONOMA RD	PEND	100,000	APPT	
TUDAL WINERY		1015 BIG TREE RD	PROD	3,500	APPT	
TULOCAY WINERY		1426 COOMBSVILLE RD	PROD	7,500	PVT	
TURLEY WINE CELLARS		3358 ST HELENA HWY	PROD	65,000	APPT	
TURNBULL WINE CELLARS		8210 ST HELENA HWY	PROD	250,000	APPT	
T-VINE CELLARS		810 FOOTHILL BLVD	PROD	5,950	PUB	х
TWO ROCKS WINERY		135 LONG RANCH RD	PROD	50,000	APPT	^
TWO SISTERS WINERY	017160053000	133 LONG NANCTIND	UNKNWN	15,000	APPT	
TWOMEY CELLARS		1183 DUNAWEAL LN	PROD	81,500	PUB	
V MADRONE WINERY		3199 N ST HELENA HWY	PROD	20,000	APPT	
V-12 WINERY		2001 SODA CANYON RD	APVD	22,500	APPT	
VAN DER HEYDEN VINEYARDS		4057 SILVERADO TRL	PROD	8,000	NO	
	009560019000	4037 SILVERADO INL		•	NO	.,
VAROZZA		4708 SILVERADO TRL	PROD	-	ADDT	Х
VENGE VINEYARDS			PROD	20,000	APPT	
VIADER VINEYARDS		1120 DEER PARK RD	PROD	32,000	PVT	
VILLA AMOROSA		4045 N ST HELENA HWY	PROD	250,000	PUB	
VILLA ANDRIANA/SUMMERS WINERY		1171 TUBBS LN	PROD	50,000	APPT	
VILLA HELENA		1455 INGLEWOOD AVE	PROD	20,000	NO	
VILLA RAGAZZI		7878 MONEY RD	PROD	20,000	TST APPT	
VINE CLIFF WINERY		7400 SILVERADO TRL	PROD	48,000	APPT	
VINEYARD 22		1156 DEER PARK RD	APVD	10,000	APPT	
VINEYARD 29	022200027000	2927 ST HELENA N HWY	PROD	48,500	APPT	

#### Case 3:24-cv-06256 Document 1-3 Filed 09/05/24 Page 13 of 13

			Cu	rrent Permitted		
Name	ASMT	Street Address	Status	Production*	Tour_Tastg	In City
VINEYARD 7 & 8	020300063000	4032 SPRING MOUNTAIN RD	PROD	19,200	APPT	
VIOLET VINEYARD	036150052000	1300 OAK KNOLL	UNKNWN	20,000	APPT	
VOLKER EISELE FAMILY ESTATE	025240014000	3080 LOWER CHILES VALLEY RD	PROD	20,000	APPT	
VON STRASSER WINERY	020400013000	1510 DIAMOND MOUNTAIN RD	PROD	25,000	APPT	
W H SMITH WINES	025060001000	1181 LAS POSADAS RD	PROD	20,000	NO	
WALLIS FAMILY ESTATE			APVD	30,000	APPT	
WAUG CELLARS	039640012000		PROD	30,000	APPT	
WERMUTH WINERY/RANCHO DE LAS FLORES	021030047000	3942 SILVERADO TRL	PROD	20,000	PUB	
WHISKEY RIVER RANCH VINEYARDS	018140036000	1844 POPE CANYON RD	PROD	360,000	APPT	
WHITE ROCK VINEYARDS	039680004000		PROD	20,000	TST APPT	
WHITEHALL LANE WINERY	027100012000	1565 ST HELENA HWY	PROD	200,000	PUB	
WHITFORD CELLARS	052450001000	4047 E THIRD AVE	PROD	20,000	NO	
WILLIAM COLE WINERY	022230015000	2849 N ST HELENA HWY	PROD	20,000	APPT	
WILLIAM HILL WINERY	039190050000	1761 ATLAS PEAK RD	PROD	720,000	APPT	
WINERY OF THE ROSES	033290006000	3705 MONTICELLO RD	UNKNWN	20,000	TST APPT	
WING CANYON VINEYARD	034030049000	3100 MT VEEDER RD	PROD	12,500	NO	
WOODBRIDGE WINERY	021072044000	563 CRYSTAL SPRINGS RD	PROD	19,000	NO	
WOOLLS RANCH WINERY	035010054000	1022 MT VEEDER RD	APVD	50,000	APPT	
YOUNG INGLEWOOD VINEYARDS	027120056000	1921 INGLEWOOD AVE	PROD	30,000	APPT	
YOUNG WINERY	018300021000	1803 AETNA SPRINGS RD	PROD	20,000	APPT	
YOUNTVILLE HILL WINERY	031130029000	7400 ST HELENA HWY	APVD	100,000	APPT	
ZAHTILA VINEYARDS	017230009000	2250 LAKE COUNTY HWY	PROD	5,000	APPT	
ZD WINES	030200005000	8383 SILVERADO TRL	PROD	70,000	PUB	

#### STATUS KEY

APVD: Approved winery, not producing PEND: Winery pending approval

#### **TOURS & TASTINGS KEY**

APPT: By appointment only

PVT: Private
TST APPT: Tasting by appointment only

<sup>\*</sup> Current permitted production reflects the amount of wine a winery is permitted to produce each year, expressed in GPY (gallons per year)

## Exhibit 4

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52	8 022150026000	3646 SMR VINEYARD	APVD	10456	10456	(	20000	20000 APPT		12 84	4368	584	27	4952	10	5	P14-00327				11150 x	20000	56.75	5 AW
		ABREU HOWELL MTN VINEYARDS	APVD	5144	5144 x	13200		20000 APPT		0 12	624	170	7	794	3	5	02113-UP		04/02/2003		18344 x	20000		2 AW:AC
	8 018120036000		PROD	8004	14509 x	6000		20000 APPT		32 150	7800	521	11	8321	10	25	P1200162-MOD		03/19/2003	09/01/2006	20509 x	20000		3 AW
		AETNA SPRING CELLARS ALKO RANCH, LLC	PROD	2500	2500	12000	2000	20000 TST A	PPT	0 0	0	0 864	0	0 004	1	10			x 04/01/1986		2500	100000		8 AW 5 AW
	6 022110007000		PROD PROD	20107 2000	20107 x 2000	12000	12000	12000 NO		2 4	208	240	12	864	0	15 5	P05-00235-MOD 01053-UP		09/03/2003 03/20/2002	09/01/2007 09/01/2008	32107 x 2000 x	100000	14.84	
		ALPHA OMEGA WINERY	PROD	6000	17419		50000	100000 PUB	4	00 0	50800		0	53600	22	65			07/24/1985	09/01/1986	17419 x	94000		
	3 020300015000	ALTA VINEYARD CELLAR	PROD	480	480	(	5000	5000 NO		0 4	208	0	0	208	4	6	x 003_U-387879		05/02/1979	09/01/1980	480	C	40.70	J AW
		ALTAMURA VINEYARDS	APVD	30232	30232	(	250000	250000 APPT		10 150		240	8	8040	6	21			12/17/2003		30232 x	250000		
		ALTAMURA WINERY	PROD	11800	11800 x	3115		50000 APPT		0 20	1040	0	0	1040	2	10	P13-00206		03/01/1995	10/28/1996	14915 x	50000		9 AW
	9 017140035000	AMIZETTA VINEYARDS	PROD PROD	5000 2700	5000 2700		20000 3750	20000 APPT 12000 NO		25 5	260	100	6	360	1	5	98583-UP		10/20/1999 x 05/01/1984	09/01/2002 09/01/1985	5000 x 2700	20000		7 AW 7 AW
		ANDRETTI WINERY	PROD	1230	15500		20000	100000 PUB		20 100	5200	0	0	5200	5	20	x 97220-MOD		06/01/1985		15500		52.98	
37	2 031220020000	ANNAPURNA WINERY	UNKNWN	5250	5250 x	11700		12000 APPT		20 60	3120		14	3680	3	10	02338-UP		11/20/2002	, , , , , ,	16950 x	12000		
	9 009670017000		PROD	0	0	(	0 0	0		0 0	0	0	0	0	0	0					0	C		4 St Helena
		ANTHEM WINERY AND VINEYARDS	PRODMD	1600	1680	(	30000	30000 NO		0 0	0	260	52	260	0	2	96006-UP		12/18/1996	10/01/1997	1680 x	30000		
		ANTICA NAPA VALLEY ARAUJO ESTATES WINERY	PROD PROD	47000 1460	47000 x 8703 x	36000 9700		450000 PVT 20000 APPT		20 100 18 126		573	0 15	5200 7125	20 13	30 11			09/01/1987 07/01/1988	10/01/1992 09/01/1992	83000 18403 x	20000	701.44 162.23	
		ARDENTE ESTATE WINERY	PRODMD	900	900	9700	8000	8000 NO		0 126	0552	0	12	) /125	13	11	97421-UP		08/19/1998	09/01/1992	900 x	8000		
		ARKENSTONE VINEYARDS	PROD	11067	15528 x	25000		60000 APPT		30 210	10920	708	18	11628	10	17	P12-00338-MOD		04/02/2003	09/01/2008	40528 x	60000		3 AW
	8 021320004000		PROD	800	800	(	2000	10000 NO		0 0	0	0	0	0	2	3			x 03/30/1988		800	C	160.00	
		ARROYO CREEK VINEYARDS	APVD	7424	7424 x	23050		125000 APPT		12 84	4368	2500	52	6868	7	10	P04-0457-MOD		04/21/2003		30474 x	125000		9 AW:AC
		ARROYO WINERY	PROD	710	9586	(	10000	20000 APPT		13 90	4700	280	2	4980	2	6	x P13-00259-VMM		11/01/1982	12/01/1982	9586 x	10000		
		ARROYO WINERY #2 ARTESA WINERY	PROD PROD	4714 121081	4714 121081		9520 0 450000	9520 TST AI 900000 PUB		0 0 50 1750	91000	11714	1673	0 102714	45	152	x 99211-UP		01/11/1989	09/01/1991	121081	C	132.77	0 Calistoga
		ASHES AND DIAMONDS	PROD	2400	38419		2000	100000 POB		00 2800		5616	236		22	52			07/01/1988	09/01/1991	38419 x	98000		
		ASTRALE E TERRA WINERY	PROD	1200	864		1000	20000 TST A		0 0	0 0	0	0	0 0	3		x P08-00582-UD		x 08/01/1988	09/01/1990	864	0		7 AW
17	9 017160052000	ATALON WINERY	PROD	1800	12100	(	1500	60000 APPT		10 20	1040	0	0	1040	4	6	x 96556-MOD		05/01/1978		12100	C	25.98	3 AP
		AUBERT WINERY	PROD	0	0	(	23800	23800		0 0	0	0	0	0	4	5					0	C		0 Calistoga
		AUBURNJAMES WINERY	PROD	5500	18554	(	40000	100000 APPT		48 336		2177	64	19649	5	14			07/16/1980	12/01/1980	18554 x	60000		7 AW
	1 020210010000 3 031070026000	AZALEA SPRINGS WINERY	UNKNWN PROD	8591 6330	8591 x 21552 x	3016 22946		12500 APPT 45000 APPT		20 125 50 250		560 860	14 16	7060 13860	2 10	12 30	00167-UP P12-00371-MOD		05/02/2001 02/21/2007	09/01/2014	11607 x 44498 x	12500 10000		1 AW
		BALDACCI FAMILY VINEYARDS	PRODMD	576	576 x	9240		20000 NO		0 0	13000	0	0	13800	0	6			07/01/1986	09/01/2014	9816	10000	28.72	
_		BALLENTINE WINERY	PROD	7400	7400	32.0	50000	50000 TST A	PPT	0 10	520	0	0	520	4	0	96661-MOD		12/08/1993	09/01/1995	7400 x	50000		
1	6 020300047000	BARNETT VINEYARDS	PROD	120	1800 x	3276	20000	20000 TST A	PPT	0 0	0	0	0	0	2	6	x P14-00080-VMM		09/01/1988	12/01/1988	5076	C	39.96	6 AW
		BARREL TEN QUARTER CIRCLE	PROD	96200	96200	(	44500000	44500000 APPT		10 70	3640		36	6280	94	75	98068-UP	x	01/20/1999	09/01/2003	96200	C		1 IP:AC
		BEAU VIGNE WINERY	PROD	1200	7580		8000	14000 APPT		10 80	4160	360	14	4520	4	8	x P15-00200 MOD		09/01/1984		7580 x	14000		6 AP
		BEAUCANON ESTATE BEAULIEU VINEYARDS	PROD PROD	2600 276250	2805 284940		70000 1190000	70000 NO 1800000 PUB	1	50 3150	163800	0	0	163800	86	10 165			04/14/1982 09/01/1903		2805 284940		94.23	-
		BEAUTIFUL DAY WINERY	PEND	23619	23619		30000	30000 APPT		75 350			53		10	15	P15-00202		09/01/1903	09/01/1903	23619 x	30000		
		BEHRENS FAMILY WINERY	PRODMD	2000	2000		10000	10000 NO		0 0	0	0	0	0	0	3	97433-UP		06/03/1998	09/01/2001	2000 x	10000		6 AW
10	1 036110030000	BELL WINE CELLARS	PROD	3848	11409	(	20000	60000 APPT	1	250	12020	1760	28	13780	15	14	x P13-00055-MOD		10/01/1980	09/01/1984	11409 x	40000		4 AP
	8 022032011000		PROD	3354	9994	(	40000	40000 APPT		0 4	208		0	208	3	5			02/21/1979		9994	C	42.61	
		BENNETT LANE WINERY	PROD	6556	17550		20000	50000 APPT		32 200			55		3	22	02638-MOD		12/11/1991	09/01/1996	17550 x	50000		
		BERINGER VINEYARDS BERINGER WINE ESTATES	PROD PROD	6000	0 x 5400	6660	0 4005000 20000	4005000 PUB 20000 TST A	PPT	0 2800	145600	0	0	145600	225	3	x SW-58889-MOD		18760901 x 07/22/1988	09/18/1976 09/01/1991	6660 5400		58.58 20.55	8 St Helena
	1 057152014000		PROD	13000	13000		310000	310000 NO		0 0	0	400	12	400	8	19	P05-0375-UP	х	12/15/2005		13000			9 GI:AC
		BIN TO BOTTLE II	PEND	20014	20014	(	250000	250000		0 0	0	0	0	0	24	0	P15-00278	x	,,	,	20014	C		1 GI:AC
		BLACK CAT VINEYARD	PROD	3350	3350	(	12500	12500 APPT		20 140			4	7400	3	8	P13-00254-UP	х	11/06/2013	09/14/2014	3350	C		8 GI:AC
		BLACK STALLION	PROD	43600	43600	(	100000	100000 PUB		350			0	18200	2	45			05/21/1980		43600	C	11.28	
-		BLANKIET WINERY BLOSSOM CREEK	PROD APVD	11583 5639	11583 x 5639	6098	3 12000 25000	12000 APPT 25000 APPT		0 10 10 50	520		0	520 2850	2	5	02410-UP P10-00049-UP		07/02/2003 11/15/2011	10/08/2007	17681 x 5639 x	12000 25000		5 AW 5 AW
		BOESCHEN WINERY	PROD	1360	1360 x	5000		10000 APPT		10 50			4	3680	1	12	P10-00049-0P P04-0212-MOD		07/17/2002	08/15/2006	6360 x	10000		7 AW
	2 027340054000		PROD	4402	4402 x	10400		20000 TST A		0 0	0	0	0	0	4	10			x 12/01/1984		14802	10000		9 AW
		BOUCHAINE VINEYARDS	PROD	32000	44485		225000	225000 PUB		50 1150	44850	7870	136	52720	24	35			08/03/1983		39588	C		8 AW:AC
		BOURASSA WINERY	PROD	9604	9604	(	60000	60000 APPT		15 45	2340	500	10	2840	4	49	P09-00053-UP	х	09/09/2009	09/01/2010	9604	C		7 GI:AC
		BRAGG VINEYARDS	PROD	0	0	(	0 0	0		0 0	0	0	0	0 7400	0	0	D40 00440 \ // ** *		00/05/0055	00/05/0015	0	1225		Calistoga
		BRAND NAPA VALLEY BRANDLIN / CUVAISON CARNEROS	PROD PRODMD	6800 34350	8968 x 35000 x	7700 25000		10000 APPT 155048 APPT		18 108 75 525		1870	19 0	7486	6 10	15 10	P10-00410-VMM P07-00871-MOD		08/05/2009 05/15/2002	09/25/2012 11/12/2004	16668 x	10000 155048		6 AW
		BRAVANTE WINERY	PRODIVID	8100	8100 x	2300		20000 APPT		4 20	1040		8	1260	10	5	03002-UP		05/15/2002		10400 x	20000		4 AW
		BREMER FAMILY WINERY	PROD	6780	6780 x	16136		15000 APPT		1 6	312		0	312	2	9			08/15/1979		22916	20000		5 AW
	5 011050030000		PROD	0	0	(	23800	23800 PUB		0 0	0	200	6	0	0	0			, ., .,		0	C		5 Calistoga
		BROMAN CELLARS	APVD	3648	3648 x	4375		20000 APPT		2 10			10	_	3	10	P10-00246		08/15/2007		8023 x	20000		7 AW
		BROWN ESTATE VINEYARDS	PROD	2704	2704 x	6000		50000 APPT		2 2	104	220	9	324	2	5	00363 ***		03/15/2001		8704 x	50000		
		BRYANT FAMILY WINERY	PROD	6276	9293 x	8000	8500	8500 APPT		20 30	1560	320	6	1880	2	6	00382-MOD		06/21/2000	11/21/2002	17293 x	8500		8 AW
		BRYSON ESTATE VINEYARD BUEHLER VINEYARDS	PROD PROD	1800	12187		9600	50000 TST A	PPT	0 0	0	0	0	0	2	4	x 00354-MOD		05/17/1978	09/01/1983	12187			Napa 6 AW
		BURGESS CELLARS	PROD	9172	17092		40000	60000 APPT		0 0	0	0	0	0	5	11			08/08/1972		17092			7 AW
. –		BURGESS NAPA CELLARS	PROD	14500	14500		75000	75000 NO		0 0	0	0	0	0	3	4	98238-UP		06/30/1999		14500 x	75000		

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511 0391900220000 CORONA WINERY APU						4000			0			4		2	6				00/01/2005				
90   275-00113000   COSENTINO WINERY   PROD   1175   12850   0   30000   30000   PROD   12500   0   12000   PROD   12500   0   12000   12000   PROD   12500   12500   PROD   12500   12500   PROD   12500   12500   PROD   12500   PROD   12500   PROD   12500   PROD   12500   PROD   12500   PROD   PROD   12500   PROD   12500   PROD   P						0						80		24	24				09/01/2005				
53  313  313  610274000   DALIA VALLE WINEYRARDS   PROD   2500   7070   0   5000   20000   AD   0   0   0   0   0   0   0   0   0						0			0			0		5					09/01/1990		0		
118   027440007000   DANA ESTATES   PROD   5346   8886   x   1900   20000   20000   APT   6   20   1040   240   4   1280   4   6   k   P07-00322   x   10001/1988   09/01/1989   228871   x   10000   26.54   AP   228   23890084000   DANIOUSH WINERY   PROD   21252   21252   0   2500   100000   PUB   10   400   20000   5280   428   2680   8   30   x   20301-MOD   01/57/200   30/01/1989   21252   x   100000   31.49   AP   20000   20000   APT   10   10000   20000   APT   A						0			20	112 5824	80	2	5904	10		·	/AR				14000		
340 021420007000 DANCING HARES VINEYARD PROD 4086 4086 x 4885 1500 15000 APPT 0 16 192 70 5 262 2 6 P09-00190 DANCING HARES VINEYY PROD 21252 21252 5 0 2500 100000 PUB 100 400 20000 PUB 100 400 40000 PUB 400000 PUB 40000 PUB 400000 PUB 40000 PUB 400000 PUB 400000 PUB 40000 PUB 400000 PUB 400000 PUB 400000 PUB 40000 PUB						10000			0	0 0	0	0	1200	3							10000		
225   339400084000   ARIOUSH WINERY   PROD   21252   21252   0   2500   100000   PUB   100   400   20800   5280   428   26080   8   30 x   02301-MOD   PIG-00017   2022 x   30000   31.49   AP   AP   2125   2125 x   100000   31.49   AP   2125   2125 x   30000   AP   AP   2125   AP   AP   2125   AP   AP   AP   AP   AP   AP   AP   A									0			5		2	6								
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54 032010072000 DAVID ARTHUR VINEYARDS PROD 1400 6900 x 6500 5500 30000 APPT 20 35 1820 1377 13 3197 4 19 x P09-0121-VMM 10/01/1984 09/01/1985 13400 x 30000 47.85 AW 479 057250023000 DAVID BUSEY WINERY APVD 18162 18162 0 50000 50000 NO 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0									24	150 7800	1414	54	9214	10	0	P16-00017					30000		
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549 009180017000 DAVIES FAMILY WINERY PROD 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0						6500			20	0 0	13//	13	3197	7			x		09/01/1985		30000		
417 02757004000 DEL BONDIO WINERY PROD 7000 7000 0 38000 38000 PVT 0 38000 3800 PVT 0 200 10400 1146 31 11546 4 20 P11-00226-VMM 08/12/2003 09/01/2008 19363 x 48000 10.00 AP 300 39320008000 DEL DOTTO FAMILY WINERY PROD 4200 x 15163 48000 4800 APPT 1 0 50 2600 500 10 3100 2 59 99418-X 07/13/1999 09/01/2004 9786 x 20000 6.65 CL 313 027160001000 DELECTUS (MILAT WINERY) PROD 1280 5340 0 20000 APPT 1 0 10 50 2600 500 1 0 3100 2 59 020440004000 DIAMOND CREEK VINEYARDS PROD 3000 9000 0 5000 10000 APPT 1 0 10 50 50 50 1 0 3000 20000 APPT 1 0 10 50 50 50 1 0 3000 APPT 1 0 10 50 50 50 1 0 3000 APPT 1 0 10 50 50 50 1 0 3000 APPT 1 0 10 50 50 50 1 0 3000 APPT 1 0 10 50 50 50 1 0 3000 APPT 1 0 10 50 50 50 1 0 3000 APPT 1 0 10 50 50 50 1 0 3000 APPT 1 0 10 50 50 50 1 0 3000 APPT 1 0 10 50 50 50 1 0 3000 APPT 1 0 10 50 50 50 1 0 3000 APPT 1 0 10 50 50 50 1 0 3000 APPT 1 0 10 50 50 50 1 0 3000 APPT 1 0 10 50 50 50 1 0 3000 APPT 1 0 10 50 50 50 1 0 3000 APPT 1 0 10 50 50 50 1 0 3000 APPT 1 0 10 50 50 50 1 0 3000 APPT 1 10 10 50 50 50 1 0 3000 APPT 1 10 50 50 50 50 50 50 50 50 50 50 50 50 50				0	0	0	0	0	0	0 0	0 0	0	0	0	0			3.,31,2003			0		
339 027160059000 DEL DOTTO FAMILY WINERY PROD 4200 4200 x 15163 48000 48000 APPT 0 200 10400 1146 31 11546 4 20 P11-00226-VMM 0 8/12/2003 09/01/2008 19363 x 48000 10.00 APPT 1 10 50 2600 500 10 3100 2 59 9418-X 0 07/13/1999 09/01/2004 9786 x 20000 6.65 CL 0 135 027160001000 DELECTUS (MILAT WINERY) PROD 1280 5340 0 0 20000 APPT 1 10 50 2600 500 1 10 3100 2 59 9418-X 0 07/13/1999 09/01/1986 5340 0 0 10.50 APPT 1 10 10 50 2600 500 1 10 3100 2 59 9418-X 0 07/13/1999 09/01/1986 5340 0 0 10.50 APPT 1 10 1 10 50 2000 APPT 1 10 1 10 2000 APPT 1 2000 APPT						15445			0			4		5	15				09/01/2003				
306 039320008000 DEL DOTTO WINERY PRODMD 7422 7422 x 2364 10000 20000 APPT 10 50 2600 500 10 3100 2 59 99418-X 07/13/1999 09/01/2004 9786 x 20000 6.65 CL  135 027160001000 DELECTUS (MILAT WINERY) PROD 1280 5340 0 0 20000 20000 PUB 20 140 7280 0 0 0 7280 1 8 x 02627-MOD 02/04/1986 09/01/1986 5340 0 0 10.50 APPT 10 10 50 500 10000 APPT 10 10 50 500 10 500 10000 APPT 10 10 50 500 10 500 10000 APPT 10 10 50 500 10000 APPT 10 10 50 500 10 500 10 50 50 50 50 50 50 50 50 50 50 50 50 50						0			0			0		1	4				00/04/2000				
135 027160001000 DELECTUS (MILAT WINERY) PROD 1280 5340 0 20000 PUB 20 140 7280 0 0 7280 1 8 x 02627-MOD 0 02/04/1986 09/01/1986 5340 0 10.50 APT 10 10 520 500 5 1020 5 5 x 97093-MOD 0 04/03/1972 09/01/1972 9000 0 69.86 AW 1540 1550 1550 1550 1550 1550 1550 1550									10					4									
58 020440004000 DIAMOND CREEK VINEYARDS PROD 3000 9000 0 5000 10000 APPT 10 10 520 500 5 1020 5 5 x 97093-MOD 04/03/1972 9000 0 69.86 AW 1540 10000 10000 54.69 AW 1540 10000						0						0		1							0		
509 024201036000 DIOGENES RIDGE WINERY APVD 3445 3445 x 5800 30000 APPT 15 90 4680 1020 41 5700 10 9 P13-00260-UP 02/19/2014 9245 x 30000 12.94 AW 61 047070007000 DOMAINE CARNEROS PROD 49060 72826 0 0 0 432000 PUB 450 1400 72800 1100 16 73900 42 144 x P13-00258 09/16/1987 09/01/1989 72826 0 0 132.04 AW	58 020440004000	DIAMOND CREEK VINEYARDS		3000	9000	0	5000		10	10 520	500	5	1020	5		x 97093-MOD		04/03/1972	09/01/1972	9000	0	69.86	6 AW
61 047070007000 DOMAINE CARNEROS PROD 49060 72826 0 0 0 432000 PUB 450 1400 72800 1100 16 73900 42 144 x P13-00258 09/16/1987 09/01/1989 72826 0 132.04 AW														2	10				07/09/1996				
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Case 3:24-cv-06256 Document 1-4 Filed 09/05/24 Page 4 of 9

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	DOMAINE CHARBAY WINERY DOMAINE MONTREAUX	PROD PROD	7500 7956	7500 7956	0	20000 10000	20000 APPT 20000 NO	0	0	0	0	0	0	0	1 x 6 x	P11-00274	X		/17/1980 /01/1986	09/01/1993 11/01/1987	7500 7956		0	10.56 AW 31.70 AP
	DOMINUS ESTATE WINERY	PROD	48000	48000	0	75000	125000 APPT	0	36	1872	1212	49 3	3084	14	40	04043-MOD			/17/1996	10/01/1997	48000	x	125000	61.60 AP
	DUCKHORN VINEYARDS	PROD	6500	32933	0	36000	160000 PUB	82	626	32552	5175		7727	42	40 x	98383-MOD			/04/1976	09/01/1975	32933		110000	10.67 AP
68 018180040000	DUNN VINEYARDS	PROD	1200	2050 x	6000	5000	20000 APPT	0	5	260	0	0	260	5	5 x	P12-00199			/01/1982	12/01/1982	8050	х	15000	39.00 AW
69 020120026000	DUTCH HENRY WINERY	PROD	2600	2600 x	4500	20000	20000 PUB	10	50	2600	0	0 2	2600	13	10 x	040338MOD		01/	/18/1984	05/01/1984	7100		0	9.29 AW
500 033160018000		APVD	8800	8800	0	30000	30000 APPT	16	112	5824	1452		7276	9	6	P13-00287-UD			/21/2011		8800		30000	13.16 AW
9 025180045000		PROD	2700	26099	0	20000	40000 APPT	15	20	1040	360		1400	6	9 x	009_00044-MOD		-	/01/1986	06/01/1986	26099		20000	40.00 AW
430 022260004000	EDGE HILL ESTATE WINERY	PROD PROD	12200 3398	13450 x 3398	5000	24000 15000	24000 APPT 15000 APPT	0	60	3120 416	315 130		3435 546	5	17	00259-UP P08-00235			/05/2001 /07/2006	09/05/2001 09/01/2009	18450 3398		24000 15000	23.40 AW 7.10 AW
	EHLERS ESTATE WINERY	PROD	4000	11350 x	11220	13000	25000 PUB	0	0	300	1105		1405	8	14	P06-00255			/20/1991	09/01/2009	22570		25000	13.83 AP
	EHREN JORDAN WINE CELLARS	PROD	5720	15000 x	13276	25000	25000 APPT	4	10	520	105		625	2	8	03486-UP			/07/2004	09/01/2005	28276		25000	10.13 AW
72 022080021000	EL MOLINO WINERY	PROD	2500	5500 x	0	3000	3000 NO	0	0	0	0	0	0	2	10 x	94313-MOD			/01/1987	09/01/1988	5500		0	7.14 AW
304 032540035000		PROD	2940	3040	0	15000	15000 NO	0	0	0	0	0	0	2	4	98359-UP		06/	/02/1999	09/01/2000	3040	x	15000	41.70 AW
	ELEVEN ELEVEN WINES	PROD	24200	24200	0	100000	100000 APPT	20	140	7280	345		7625	3	17	01255-UP			/30/2001	09/01/2010	24200		100000	11.65 AP
165 034160003000		PROD	1450	6650	0	600	60000 APPT	6	24	1248	0	0 1	1248	7	6 x	DOZ 00446 1100			/05/1985	09/01/1985	6650		60000	2.50 AP
427 031080018000 330 017210027000		PROD PROD	1529 3043	1529 7242	0	2500 20000	2500 NO 20000 APPT	0	0 56	0 2912	0 1460	26 4	0 4372	0	2	P07-00440-MODVMIN P11-00163-MOD			/01/2006 /20/2002	10/15/2007 09/01/2005	1529 x 7242 x		2500 20000	35.53 AP 18.76 AP
169 047230033000		PRODMD	40520	40520	0	76000	150000 PUB	200	740	38480	19725		8205	22	50 x	P09-00256			/17/1982	09/01/2003	40520	X .	20000	29.81 AW:AC
	FAIRVIEW ESTATES WINERY	PRODIVID	12000	20002 x	25000	45000	155048 PUB	300	600	31200	45625		6825	15	43 x	. 55 00250			/01/1959	09/01/1983	45002		0	14.59 AW
		PROD	0	0	0	0	0	0	0	0	0	0	0	0	0				02,2000	55, 52, 251 5	0		0	7.00 Napa
423 022250008000	FANTESCA ESTATE	PROD	4700	4700 x	6900	20000	30000 APPT	18	100	5200	1205	43 6	6405	8	13	P13-00080		12/	/05/2000	09/01/2002	11600	х	30000	52.56 AW
		PROD	13000	18000 x	39000	60000	175000 PUB	0	500	26000	21550		7550	30	48 x	99391-MOD		-	/01/1979	09/01/1982	57000		0	13.00 AP
	FARELLA PARK VINEYARDS	PROD	550	5200	0	8000	12500 APPT	4	4	208	50		258	2	4 x	P11-00194		-	/05/1985	12/01/1985	5200	х	4500	56.09 AW
	FARM COLLECTIVE WINERY	APVD	13865	13865	0	80000	80000 APPT	30	210	10920	1300		2220	10	32	P13-00331-UP	X		/18/2013		13865		10000	0.15 IP:AC
481 020150004000	FAVIA ERICKSON WINEGROWERS	APVD APVD	7085 16200	7085 16200	0	10000 30000	10000 APPT 30000 APPT	15	100	5200 2600	600 575		5800 3175	2	14	P15-00030 P08-00346-UP		-	/21/2011 /29/2009	05/19/2010	7085 x		10000 30000	6.35 AW 55.69 AP
	FLEURY FAMILY WINERY	PROD	18576	4230	0	20000	20000 APPT	0	0	1800	0		1800	0	10 x	P06-00340-0P		-	/01/1985	12/01/1985	4230		0	10.12 AP
		PRODMD	3620	23065 x	13500	3000	120000 APPT	65	455	23660	0		3660	8	18 x	99018-UP			/01/1978	09/01/1979	36565		0	203.00 AW
566 020320003000	FLYNVILLE WINE COMPANY	PEND	24000	24000	0	60000	60000 APPT	25	175	9100	750	15 9	9850	24	17	P15-00225					24000	х	60000	10.09 AW + AP
282 030190004000	FOLEY JOHNSON WINERY	PROD	7000	20616	0	10000	20000 APPT	50	350	18200	1700	56 19	9900	5	15	97138-X		11/	/20/1996	09/19/1999	20616		20000	39.78 AP
55 027540006000		PROD	3200	9700	0	3600	50000 PUB	50	350	18200	0		8200	4	16	P05-0225-UP-MODMINOR		-	/01/1996	09/01/1996	9700		50000	3.00 AP
		PROD	7569	7569	0	30000	30000 APPT	4	10	520	220	5	740	4	5	060113-UP			/05/2006	09/01/2008	7569	X	30000	26.44 AW
		PROD PEND	3000 2563	3000 2563	0	700 12000	700 APPT 12000 APPT	10	70	3640	400	11 4	4040	10	10	P16-00043		01/	/01/1984	12/01/1984	3000 2563	v	12000	20.26 St Helena 10.21 AP
	FRANCISCAN WINERY	PROD	52030	118694	0	185000	120000 PUB	500	3500	182000	36040		8040		156 x	98559-MOD		09/	/01/1973	09/01/1973	118694		0	19.73 AP
	FRANK FAMILY VINEYARDS	PROD	81000	102570	0	350000	564500 PUB	0	2050	106600	4040		0640	29	86 x	P13-00147-VMM		-	40901	09/01/1952	102570	x	214500	5.15 AP
515 030120016000	FRANK FAMILY VINEYARDS RUTHER	RF PEND	79393	82350	0	475000	475000 APPT	50	350	18200	1248	104 19	9448	24	22	P13-00371-UP					82350	х	475000	54.00 AP
82 022130023000		PROD	8820	30232	0	60000	60000 PUB	0	1800	93600	0	0 93	3600	12	198 x	P13-00135-MM			60901	09/01/1967	30232		0	3.11 AW
	FRISINGER VINEYARDS	PROD	576	1008 x	5000	1000	20000 NO	0	0	0	0	0	0	2	10 x		x		/01/1985	09/01/1986	6008		0	20.21 AW
	FROGS LEAP WINERY	PRODMD	23624	38568	0	240000	240000 APPT	50	350	18200	900	36 19	9100	19	38	P10-00157		05/	/18/1994	09/01/1996	38568	X	240000	38.92 AP
538 009030041000 408 027360018000		PROD PROD	15202	14302	0	5000	10000 APPT	10	25	1300	152	5 1	1452	5	6	0800096-UP		044	/20/2005	09/01/2010	14302	v	10000	14.47 St Helena 40.00 AW
	GAMBLE FAMILY VINEYARDS	PROD	32760	32760	0	50000	50000 APPT	30	300	15600	1410		7010	11	15	P13-00324-VMM			/01/2009	09/01/2010	32760		50000	11.17 AP
404 031110018000		UNKNWN	7400	7400	0	12000	12000 APPT	20	100	5200	550		5750	2	4	03155-UP			/19/2006	55, 25, 2525	7400		12000	1.96 AP
447 032010079000		PROD	1800	4205 x	4716	6000	20000 APPT	6	18	936	125		1061	2	10	P10-00116MMOD			/04/2008	09/01/2009	8921		20000	114.72 AW
336 031070012000		PROD	4420	4420	0	20000	20000 APPT	10	70	3640	480		4120	2	5	P05-0272UP-MODVMIN		-	/18/2002	11/06/2006	4420	х	20000	11.18 AW
467 057250029000		APVD	261000	261000	0	600000	600000 APPT	30		10400	9000		9400		227	P06-01532-UP	X	03/	/05/2008		261000		0	11.06 IP:AC
	GIRARD NAPA VALLEY GOOSECROSS CELLARS	PEND PROD	39604	39604 7151	0	200000 9000	200000 APPT 30000 APPT	42	294 350	15288 18200	1600 710		6888 8910		22 22 x	P14-00053 02571-UP		10	/28/1986	00/01/1000	39604 x		200000 10000	26.53 AP 11.31 AP
	GRACE FAMILY WINERY	PROD	3800 1500	2960	0	3000	7000 APPT	50 10	20	18200	\10		1040	10	22 X	96351-MOD			/28/1986 /03/1986	09/01/1988 09/01/1987	2660	X	10000	3.50 AW
574 039140006000		PEND	6773	6773	0	25000	25000 APPT	12	-	3640	155		3795	10	9	P15-00339		12/	33, 1300	03/01/130/	7773	х	25000	7.85 AW
	GREEN AND RED VINEYARD	PROD	732	2112 x	2600	960	2560 APPT	20	10	520	24		544	0	4 x			01/	/01/1987	12/01/1987	4712		14000	147.21 AW
90 027470033000	GRGICH HILLS CELLARS	PROD	5000	46083	0	50000	250000 APPT	572	4004	208208	20590	385 228	8798	44	59 x	P13-00423-MOD		05/	/04/1977	10/01/1977	46083	х	100000	13.24 AP
	GRIEVE FAMILY WINERY	APVD	6115	6115 x	8000	15000	15000 NO	0	0	0	100		100	4	6	P13-00431-VMM			/20/2007		14115		15000	59.66 AW
445 032400018000		APVD	1275	1275	0	2400	2400 APPT	4	28	1456	0	0 1	1456	2	4	P0601274			/04/2004	00/04/4	1275	X	2400	7.41 AP
91 052432006000		UNKNWN	541 7200	541	0	2000	2000 APPT 200000 APPT	0	0	0260	0	0	1760	0	6 x	D12 0016F			/17/1981	09/01/1981	541	v	100000	1.30 RC
151 031050053000	GROTH WINERY AND OAKCROSS VI	PROD	7200 1486	49480 1486	0	24000 700	3000 TST APPT	0	180	9360	5400	77 14	4760 0	24	38 x	P12-00165	,,		/21/1980 /01/1982	09/01/1983 09/01/1984	49480 1486	Α	100000	63.09 AP 10.27 AW
504 036150062000		APVD	4496	5000	0	30000	3000 IST APPT	20	140	7280	400	11 7	7680	4	13	P14-00014-VMM	X		/05/2012	03/01/1304	5000	x	30000	41.15 AP
287 039130002000		PROD	6800	6800	0	50000	50000 APPT	25		7800	725		8525	6	22	99477-MOD			/04/1998	09/01/2003	6800		50000	12.28 AP
	HAKANSON WINERY	UNKNWN	720	720	0	20000	20000 NO	0	0	0	0	0	0	1	20 x	SW-88889	х		/01/1988	04/12/1996	720		0	29.73 AW
70 027120061000		PROD	5228	179787	0	2805000	1260000 PUB	500	3500	182000	7380	171 189	9380	36	175 x	P11-00438-MOD			50901	09/01/1934	179787		0	32.91 AP
221 027490021000		PROD	10797	10797	0	20000	20000 TST APPT	0	0	0	0	0	0	4	8 x	USED LTR	x		/01/1988	10/01/1999	10797		0	80.17 AW
257 027360021000		PROD	37800	46462 x	19165	144000	144000 PUB	100	700	36400	0		6400	21	24 x	D11 00200 1100			/21/1981	09/01/1980	65627		0	21.40 AW
//910390 <u>4</u> 000 <u>4</u> 000	HARTWELL WINERY	PROD	8000	8000 x	5000	12000 20000	36000 APPT 20000 APPT	10	120 25	6240 1300	465 210		6705 1510	10	23	P11-00389-MOD 00291-UP			/21/1996 /06/2001	09/01/1998 09/01/2004	13000 x		36000 20000	29.81 AP 18.14 AP
	HDV	PRUD																						
342 039270020000	HDV HEITZ WINE CELLARS	PROD PROD	5100 10000	5100 20100 x	30000	90000	144000 PUB	30	60	3120	5240		8360	12	23 x	03499-MOD			80901	09/01/2004	50100		54000	157.18 AW

Case 3:24-cv-06256 Document 1-4 Filed 09/05/24 Page 5 of 9

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COUN	TY OF NAPA	December 2016		) t	t (sc			(GP)	Ę	*	*	*	/isit	per	e y						m D				<u>e</u>	75%		
Winery ID	Parcel number	Name	Status	Bldg Size, orig. (s	Bldg Size, curren	Has cave	Cave size (sq ft)	Production, orig (	Production, curre ermitted (GPY)*	Four and tasting	Visitors per week	Visitors per year	Marketing event v	Marketing events	Total# visitors pe	Employees	Parking spaces	pre-WDO winery		In AIASP	Small winery exer	Date approved	Date established	Total size (sq ft)	Subject to 75% ru	# GPY subject to	Parcel acres	
296	035120031000	HENDRY RANCH WINERY	PRODMD	23000	23000		0	59000	59000 APP1	T	0	20 1040	60	2	1100	4	- 6	5	99129-X			10/07/1998	09/01/2005	23000	х	59000	60.68 AP	
324	038190001000	HERMAN WINERY	APVD	15550	15550		0	50000	24000 APPT		4	10 520	450	18		4	17	,	P09-00272			02/06/2002		15550	x	24000	20.00 AP	
		HESS COLLECTION WINERY	PROD	89093	92369		0	480000	1000000 PUB		0	31720	3220	503	34940	35	56	5 x	P07-00603			06/04/1986	09/01/1932	92369	x	520000	249.68 AW	
		HESS COLLECTION WINERY	PROD	0	0		0	0	0	-	0	0 0	0	0	0	0	0	)	D00 00256 VAAOD			02/07/2007		0		0	17.51 America	an Canyo
	034200001000	HILLVIEW VINEYARD	APVD PROD	7700 2000	7700 33837		0	30000 20000	30000 APPT			112 5824 700 36400	1430 600	27	7254 37000	3U p	12	) _	P08-00256-VMOD			02/07/2007 06/10/1982	12/01/1982	7700 x		30000 300000	16.01 AP 67.00 AP	
		HOPPER CREEK WINERY	PROD	3300	3300		0	10000	20000 NO	'	0	0 0	000	0	37000	2		3 x		x		03/06/1984	09/01/1984	3300	^	0	8.00 AP	
		HOURGLASS WINERY	PROD	4700	4700 >	x	10400	30000	30000 APP1	т	10	22 1144	550	16	1694	2	9	)	P08-00148			04/18/2007	09/01/2008	15100	x	30000	15.00 AW	
		HOWELL AT THE MOON WINERY	PROD	2495	2495		0	20000	20000 APPT	Т	4	10 520	170	7	690	3	5	5	02114-UP			03/17/2004	06/29/2006	2495	x	20000	20.36 AW	
		HUDSON VINEYARDS WINERY	APVD	35223	35223 >		38240	80000	80000 APP1			480 24960	2528	82	27488	16	29	)	P14-00202			10/07/2015		73463		80000	166.82 AW	
		HUNNICUTT WINERY	PROD APVD	6087	11237 >	X	14100	60000 30000	60000 APP1			168 8736	2720 400	56	11456	4	18	3	P10-00398-VMM			12/03/2008	09/01/2009	25337		60000 30000	15.10 AW	
	047220013000	IDEOLOGY CELLARS	APVD	12552 8523	12552 8523		0	30000	30000 APP1			120 6240 105 5460	240	7	6640 5700	3 4	12	<u> </u>	P09-00025-UP P12-00440-UP			08/04/2010 11/06/2013		12552 x 8523 x		30000	12.27 AW 10.09 AP	
	052170042000		PROD	14200	15880 >	x	16500	50000	50000 APP1		20	50 2600	390	8	2990	2	10	)	A1999-003			05/09/2000	09/01/2005	32380		50000	45.98 AW	
		JAMES COLE WINERY	PROD	3333	3333		0	10000	10000 APPT	Т	20	72 3744	260	5	4004	2	10	)	02576-UP			06/04/2003	09/01/2004	3333	x	10000	10.67 AW	
		JARVIS VINEYARDS	PROD	20424	20424 >		51724	40000	40000 APP1			350 18200	0	0	18200	4	20	)	94294-MOD			01/22/1992	10/01/1992	72148		40000	124.00 AW	
		JERICHO CANYON WINERY	PROD	5200	7160 >	x	4100	20000	20000 APPT		10	15 780	120	4	900	2	5	5				01/16/2002	09/01/2007	11260		20000	131.05 AW	4
		JOEL GOTT WINES JOSEPH CELLARS	PROD PROD	13000 4702	13490 4941 >	,	15798	35000 30000	120000 APPT 30000 APPT		17 75 !	85 4420 525 27300	4560	0 106	4420 31860	9	22 28		P11-00218 P11-00221-VMM			05/07/1980 04/27/2010	10/01/1980 08/26/2013	13490 x 20739 x		85000 30000	10.00 AP 25.96 AW	
		JOSEPH PHELPS VINEYARDS	PROD	17000	63134	x	15/98	420000	420000 APP1			323 27300 300 41600	4560	100	41600	68	108		P13-00221-VIVIIVI			09/19/1973	08/26/2013	63134	x	30000	375.86 AW	
		JUDD'S HILL WINERY	PROD	7108	7108		0	30000	30000 APPT		8	28 1456	0	0	1456	2	5	5	03274-UP			10/15/2003	08/11/2005	7108	x	30000	20.05 AP	
425	031180047000	KAPCSANDY WINERY	PROD	11820	11820		0	20000	20000 APPT	Т	6	36 1872	1020	27	2892	2	5	5	04101-MOD			09/19/2001	09/01/2003	11820	x	20000	19.47 AP	
		KATES VINEYARD	PROD	1200	1200		0	20000	20000 NO		0	0 0	0	0	0	2	5	x		х		09/01/1986	09/01/1988	1200		0	4.15 AP	
		KATHRYN HALL WINERY	PROD	4600	4600 >		13240	18000	18000 APPT		15	105 5460	630	26	6090	2	13	3	00166-UP			07/18/2001	09/01/2006	17840		18000	40.05 AW	
		KEEVER WINERY KELHAM WINERY	PROD PROD	7474 1000	7474 > 16596	x	2800	10000 20000	10000 APPT		20 :	32 1664 140 7280	420 480	15	2084 7760	2	5 10		02587-UP P10-00177-UP			08/20/2003 09/17/1984	09/01/2006 09/01/1985	10274 x		10000 100000	21.11 AW 10.90 AP	
		KELLY FLEMING WINES	PROD	6305	6305 >	x	7000	12000	12000 APPT		8	60 3120	490	6	3610	4	6	5	P08-00538			10/04/2006	09/01/1983	13305		12000	83.14 AW	
		KENNEFICK RANCH WINERY	PEND	4740	4740		0	20000	20000 APPT		14	98 5096	350	11	5396	4	6	5	P16-00021				30, 52, 222	4740		20000	44.28 AW	
170	047240006000	KENT RASSMUSSEN WINERY CARNER	PROD	400	17162		0	1200	100000 APPT	Т	24	168 8736	1602	54	10338	10	12	2 x	P13-00181			01/01/1986	12/01/1986	17162	x	100000	11.55 AW:AC	
	033110075000		PRODMD	22500	29465 >	x	25000	85000	85000 APP1			75 3900	1550	27	5450	10	20		P12-00434-MOD			03/16/2005	09/01/2010	54465	x	85000	36.13 AW	
		KIEU HOANG WINERY	PROD	3200	28965		0	35500	240000 PUB		28	51 2652	0	0	2652	10	28	3 x	98503-MOD			04/04/1973	09/01/1974	28965		0	9.92 AW	
		KITCHAK WINERY KONGSGAARD WINERY	PROD PROD	2348 700	6020 700 >		7000	5000 12000	15000 APPT 12000 NO	ı	20	140 7280	680	26	7960	3	6	1	P13-00062-MOD 050110-UP			01/20/2010 06/15/2005	09/01/2011 06/23/2010	7700 x		15000 12000	20.07 AP 148.00 AW	
		KULETO VILLA VINEYARDS	PROD	17847	18299	^	7000	75000	75000 APP1	т	15	0 450	0	0	450	3	24	1	99207-MOD			10/07/1998	09/01/2000	18299		75000	105.95 AW	
		LA JOTA VINEYARD	PROD	4800	5000 >	x	5700	10000	20000 TST /		0	4 208	0	0	208	1		x	01035-MOD			11/01/1981	09/01/1982	10700		0	6.57 AW	
111	032230028000	LA VALLETTE WINERY	UNKNWN	1600	1600		0	20000	20000 NO		0	0 0	0	0	0	2	10	) x		х		07/01/1988	09/01/1989	1600		0	6.57 AW	
		LADERA WINERY	PROD	6500	20247 >		19000	31000	150000 APPT		70	60 3120	1140	30	4260	13	20	) x				05/01/1985	09/01/1985	39247		119000	13.99 AW	
		LAGIER MEREDITH WINERY	APVD	2850	2850		2860	5000	5000 APPT		4	20 1040	0	0	1040	1	5		03421-UP			01/21/2004		5710		5000	84.30 AW	
		LAIL VINEYARDS  LAIRD FAMILY ESTATES	APVD PROD	6800 63781	6800 > 147356	X	11000	12000 450000	12000 APPT 900000 APPT		200	10 520 500 31200	560 5360	14 110		2 47	64	1	02501-UP P14-00066			02/05/2003 08/19/1998	09/01/2001	17800 x		12000 900000	20.13 AW 40.06 AP	
		LARKMEAD VINEYARDS	PROD	18047	18047		0	36000	75000 APP1			31200 800 41600	1740	51		• • •			P14-000158			18950901	09/01/2001	18047		75000	18.00 AP	
		LAST RESORT WINERY	APVD	9839	9839		0	50000	50000 APP1			140 7280	720	12		3	14		00095-UP			05/16/2001	,.,	9839		50000	55.44 AW	
242	017230009000	LAURA MICHAEL WINES	PRODMD	600	600		0	5000	5000 APPT	Т	0	0 0	0	0	0	0	1	x	U-467980			06/01/1980	12/01/1980	600		0	3.23 AW	
	011050043000		PROD	0	0		0	30000	30000 PUB		0	0 0	100	4	0	0	0	)						0		0	1.00 Calistog	за
	057270008000	LIANA ESTATES WINERY	APVD PROD	3223 8000	3561 34511		0	18500 50000	18500 APPT 250000 APPT			135 7020 525 27375	200 3612	63	7220 30987	5	45 97		P14-00403 x	i i		05/06/2015 11/01/1979	09/01/1982	3561	v	125000	0.08 GI:AC 49.67 AW	
	030300005000		APVD	3200	3200		0	3000	3000 APP1		0	8 416	60	2	476	22	97	1	001_02169-MOD_AcaciaWines	.ı y		08/01/2008	03/01/1982	34511 x		3000	21.51 AW	
		LINDSTROM WINERY	APVD	0	0 >	x	5750	3500	3500 APP1		6	6 312	168	20		2	3	В	03341-UP			11/03/2004		5750		3500	20.00 AW	
513	030100016000	LMR RUTHERFORD ESTATE WINERY	APVD	15160	21504		0	100000	100000 APPT		50	330 17160	1400	32	18560	8	19	)	P13-00167-UP			07/16/2014		21504		100000	29.57 AP	
		LODESTONE VINEYARDS	APVD	9110	8752 >	x	7230	20000	20000 APP1			245 12740	390	8	13130	10	8	3	P14-00169-VMM			11/16/2011		15302		20000	42.10 AW	
	022140057000		PROD	16712	16712		0	50000	50000 APP1	Т	30	70 3640	720	24	4360	10	18	3 x	DOC 0427			09/01/1965	09/01/1970	16712	x	30000	72.55 AW	
		LONEN FAMILY WINERY LONGMEADOW RANCH WINERY	EXPIRD PROD	16500	16500 >	v	6100	16000	16000 PVT		0	0 0	144	12	144	3	6	5	P06-0127 97394-MOD			07/06/1994	09/01/1996	16500	v	16000	0.00 54.71 AW	
		LOUIS M MARTINI WINERY	PROD	105000	153762		0	2000000	2000000 PUB		250 10	694 88088	1000	4	89088	37	109	) X	P12-00202			09/01/1922	09/01/1923	153762	^	0	17.79 AP	
		LUNA VINEYARDS	PROD	4080	16480		0	50000	150000 APPT			420 21840	2860	77	24700	15	28	3 x	P09-00255-VMM			05/17/1978	09/01/1980	16480		0	28.11 AP	
		MADONNA ESTATE - MONT ST JOHN		5200	15280		0	50000	50000 PUB		0	50 2600	0	0	2600	6	26	x				05/01/1978	09/01/1983	15280		0	4.37 AW	
		MADRIGAL VINEYARDS	PROD	7352	7617		0	36000	36000 APP1		4	20 1040	170	7	1210	5	6	5	P07-00854-VMM			12/03/2003	09/01/2008	7617		36000	10.16 AP	
		MAHONEY VINEYARDS	APVD PROD	9410	9410	v	2000	30000 15000	30000 APPT		15 12	84 4368 30 1560	450 80	12	5910	2	14	1	P14-00242 040271-UP			05/18/2016	09/09/2010	9410		30000	10.05 AW 11.14 AW	
		MALDONADO WINERY MANSFIELD WINERY	APVD	3692 15688	3692 > 15688	^	2800	15000 20000	15000 APPT 20000 APPT			30 1560 120 6240	624	19	1640 6864	2	11		P09-00171-UP			11/17/2004 10/27/2009	09/09/2010	6492 x		15000 20000	2.00 AW	
		MARCIANO WINERY	PROD	10675	10675		0	20000	20000 APPT		15	75 3900	375	7	4275	3	9	)	P08-00423-UP			11/18/2009	03/25/2013	10675		20000	55.59 AW	
		MARIO PERELLI MINETTI	PROD	1500	6400		0	10000	20000 TST A		0	0 0	0	0	0	2	4	x		х		11/01/1986	09/01/1988	6400		0	8.80 AP	
		MARKHAM WINERY	PROD	34083	73983		0	30000	429000 PUB			450 23400	7000	81	30400	18	37	7 x	P14-00100 Major Mod			18740901	09/01/1978	73983		0	9.97 AP	
		MARTIN ESTATE	PROD	5420	5420		0	20000	20000 APPT		25	25 1300	312	16		1	5	5	99161-X			10/21/1998	09/01/2003	5420		20000	11.57 AP	
		MASKED MAN WINERY MATERRA WINERY	UNKNWN PROD	3040 20465	3040		0	8000 50000	8000 APPT 85000 APPT		4 18	10 520 40 2080	200 1100	7 26	720 3180	1	4 24	l I	03368-UP P15-00071-MOD			02/04/2004		3040		8000 85000	10.15 AP 50.00 AP	
		MAXVILLE LAKE WINERY	PROD	23662	26118 23662 >	x	14995	59000	59000 APP1			370 19240	3950	369		10	30		03224-MOD			01/07/2009 07/22/1998	09/01/2003	26118 x 38657 x		59000	247.45 AW	
		MAYACAMAS VINEYARDS	PROD	0	0		0	50000	5000 APP1		0	0 0	0	0	0	11		) X				18890901	09/01/2003	0		0	25.00 AW	
		MCKENZIE MUELLER WINERY	PROD	4400	24623		0	20000	96000 APP1		25	50 2600	0	0	2600	5	12		U-89-17			07/28/1989	03/03/1990	24623		0	50.00 AW	

Case 3:24-cv-06256 Document 1-4 Filed 09/05/24 Page 6 of 9

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WINERY DATA	ABASE LISTING			£							હ	ear	**								gle gr	
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41 034160008000 N	McVICAR WINFRY	PROD	1200	1731	0	20000	20000 APPT	12	84	624	300	10	924	7	6 x	SW188889	_ x	10/11/1988	10/01/1995	1200	20	000 7.51 AP
		PROD	6000	9520 x	15000	5000	48000 APPT	19	90	4680	1140	50	5820	4	6	P06-0208-UP		12/17/1997	09/01/2006	24520		000 14.70 AW
526 021352041000 N	MELKA WINERY	APVD	6359	6359	0	10000	10000 APPT	7	30	1560	160	3	1720	5	7	P14-00208		06/02/2015		6359	( 10	000 10.57 AW
	- <b>t</b> -	PROD	33630	33630	0	60000	60000 APPT	60	210	10920	1020	18	11940	10	20	P13-00260-UP		02/05/2014		33630	60	20.89 AP
	MERRYVALE VINEYARDS	PROD	20000	20000	0	190000	190000 PUB	0	570	29640	0	0	29640	24	0			09/01/1933	09/01/1987	20000		0 3.30 St He
329 021420045000 N 134 022080024000 N		PROD UNKNWN	4580 670	4580 x 670	6947	20000 800	20000 APPT 800 NO	25	125	6500	130	10	6630	4	10 5 x	00227-UP	.,	03/06/2002 09/01/1988	09/01/2005 09/01/1990	11527 670	20	000 52.58 AW 0 29.80 AW
		PROD	17500	19500 x	22000	120000	300000 PUB	0	0	68000	1760	70	69760	12	35 x	96089-MOD	×	05/20/1987	09/01/1996	41500	( 180	000 13.50 AW
76 025380021000 N		PROD	2650	11921 x	5511	3300	15000 APPT	15	75	3900	420	14	4320	3	9 x	P10-00123-MOD		10/05/1988	09/01/1989	17432		700 17.78 AW
138 036170036000 N	MONTICELLO CELLARS (CORLEY FAM	PROD	11500	11500	0	60000	100000 PUB	12	84	4368	0	0	4368	6	40 x	U-328283		08/05/1981	09/01/1980	11500		0 81.28 AP
444 022200031000 N	MORLET FAMILY ESTATE	PROD	2697	4121 x	5000	20000	20000 APPT	12	25	1300	185	8	1485	6	6	P10-00375-MOD		01/02/2008	09/01/2012	9121		000 10.18 AW
		PEND	7770	7770 x	6681	20000	20000 APPT	0	0	0	740	22	0	4	10	P15-00038				0	20	000 50.50 AW
139 032150061000 N		PROD	5300	7600 x	15500	100000	100000 PUB	100	600	31200	0	0	31200	2	49 x	02040-MOD		04/01/1987	09/01/1987	23100	400	0 21.09 CL
576 032500033000 N 140 034100017000 N		PEND PROD	8791 2240	8791 x 3300	64695	100000 6000	100000 APPT 20000 APPT	80	320	16640 104	1846	/8	18486 104	21	28 0 x	P13-00320 U-767172		08/07/1972	12/01/1972	73486 3300	100	000 41.76 AW 0 20.44 AW
		UNKNWN	2860	2860	0	10000	10000 NO	0	0	0	110	5	110	2	3	0-767172 03485-UP		06/21/2006	09/01/2008	2860	( 10	0 20.44 AW 000 45.93 AW
142 030200030000 N		PROD	136700	140834	0	500000	850000 PUB	0	2900	150800	4450	137	155250	87	91 x	P14-00168		07/15/1987	09/01/1988	140834		
		APVD	5120	5120 x	7440	36000	36000 APPT	20	50	2600	140	4	2740	3	5	P09-00099-MOD		06/21/2006	, , , , , , ,	12560		000 10.81 AW
332 025110066000 N		PROD	25130	26130 x	42000	48000	48000 APPT	6	20	1040	4540	266	5580	13	18	00501-UP		03/20/2002	09/01/2005	68130	48	000 63.70 AW
144 031090017000 N		PROD	11525	80955	0	1000000	4000000 APPT	90	340	17680	500	3	18180	35	45 x	00241-MOD		18770901	09/01/1933	80955		0 11.00 AP
310 024040035000 N		PROD	8150	8150 x	7132	25000	35000 APPT	15	35	1820	300	7	2120	2	5	03297-MOD		01/19/2000	09/01/2001	15282		000 12.71 AW
375 031070028000 N		PROD PROD	4092	4092 x	3356	10000	10000 APPT 130000 APPT	10	24	1248	80	6	1328	1	4	P04-0281-MOD		02/05/2003	07/11/2013	7448	( ) 10	000 10.08 AP
146 022180056000 N		PROD	12097 8000	19800 x 8000 x	14400 6800	18000 10000	40000 APPT	0	50	2600	0	0	2600	0	28 x 4 x	97397-UP		05/01/1979 10/06/1982	12/01/1979 09/01/1983	34200 14800		0 43.69 AW 0 29.31 AW
148 025290005000 N		PROD	0	0	0800	12000	12000 PUB	0	100	5200	0	0	5200	0	0 x			18900901	09/01/1920	0		0 161.72 AW
		PROD	53936	62565	0	125000	125000 APPT	75	350	18200	4550	161	22750	6	45	02126-MOD		08/18/1999	09/01/2006	62565	125	
103 027210042000 N	NIEBAUM COPPOLA ESTATE HWY 29	PROD	67771	74879 x	18400	10000	250000 PUB	0	3391	176332	0	0	176332	78	143 x	P07-00770		18790901	09/01/1933	93279	240	000 81.81 AW
	NIEBAUM COPPOLA ESTATE NIEBAUI	PROD	9500	30090	0	25000	50000 APPT	20	15	780	1170	41	1950	8	25 x	93486-UP		08/16/1978	12/01/1978	30090		78.76 AW
		APVD	21052	21052	0	50000	50000 APPT	20	140	7280	244	8	7524	3	10	P0601202-UP		08/01/2007		21052	50	000 80.92 AW
153 032030039000 0		PROD	2354	2354	0	3000	5000 TST APPT	0	0	0	0	0	0	2	10 x		X	07/23/1985	12/01/1985	2354		0 133.90 AW
	OBRIEN FAMILY VINEYARD O'CONNELL FAMILY WINERY	PROD PEND	4200 27280	4200 27280	0	20000 90000	20000 NO 90000 APPT	120	410	21320	3000	0	24320	24	6 x	P15-00053		07/01/1982	12/01/1982	4200 27280	, 00	0 26.93 AP 000 11.84 AP
222 032400023000		PROD	1800	17680 x	8160	2000	59999 PUB	120	24	47684	7800	96	55484	14	28 x	P12-00141-MOD		09/01/1980	09/01/1983	25840		999 49.26 AW
		PROD	19237	19237 x	15000	25000	25000 APPT	10	70	3640	720	12	4360	4	12	112 00141 11100		10/03/2001	09/01/2004	34237		000 40.00 AW
155 031020007000 C		PROD	60000	131906	0	82000	250000 APPT	200	1450	26000	2850	35	28850	78	122 x	P14-00177		01/01/1990	09/07/1992	131906	168	000 49.17 AP
311 018060070000 C	O'SHAUGHNESSY WINERY	PROD	7917	6891 x	11600	15000	15000 APPT	20	7	365	80	4	445	3	6	98405-UP		02/16/2000	09/01/2005	18491	15	000 63.31 AW
115 018200026000 C		PROD	1548	9155	0	1800	50000 APPT	30	180	9360	325	9	9685	10	0 x	P13-00141-MOD		03/01/1987	09/01/1988	9155		000 37.61 AW
381 032030068000 C		PROD	10805	12363	0	18000	18000 APPT	35	245	12740	390	8	13130	4	9	P08-00300-MOD		06/04/2003	09/01/2007	12363		000 161.10 AW
355 033010065000 P 361 018070070000 P		APVD APVD	56057	56057	6000	100000	100000 APPT 120000 APPT	20	/0	3640	1490 1440	24	5130 4560	16	27	00256-UP 00337-UP		04/17/2002		56057 38646		
334 025080041000 P		PROD	32646	32646 x 0 x	6000 2470	120000 5000	5000 NO	70	60	3120	1440	24	4560	0	35	01075-UP		11/20/2002 06/05/2002	09/01/2003	2470		000 149.71 AW 000 10.01 AW
343 049270019000 P		PROD	0	0 x	55000	35000	35000 APPT	50	350	18200	130	3	18330	3	30	P11-00424-MOD		06/20/2001	11/12/2002	55000		000 122.12 AW
308 022150008000 P		PROD	3293	3613	0	10000	10000 APPT	2	14	728	100	3	828	0	8	99439-UP		07/07/1999	09/01/2002	3613		000 17.11 AW
156 020150052000 P	PAOLETTI ESTATES WINERY	PROD	2408	3604 x	6400	16000	16000 APPT	10	10	520	30	3	550	2	0	96377-MOD		01/20/1993	09/01/1995	10004	16	000 17.87 AP
157 027540003000 P		PRODMD	1200	4616	0	6000	30000 APPT	10	15	780	30	1	810	4	6 x	99380-MOD		06/15/1988	09/01/1990	4616		000 26.25 AP
		PROD	22865	32909	0	156000	200000 APPT	50	350	18200	7625	257	25825	38	40	P08-00671-MOD		08/15/2001	09/01/2006	32909		000 45.56 AP
564 046351016000 P 344 057190020000 P		PEND PROD	17625 12800	17625 12800	0	60000 20000	60000 APPT 20000 PVT	30 10	210	10920 3640	400 100	4	11320 3740	10	12 44	P15-00128 01275-UP	v	09/25/2002	09/01/2004	17625 12800	60	000 90.03 AW 0 1.07 IP:AC
	PEJU PROVINCE WINERY	PROD	9431	26866	0	60000	120000 PVT	10	450	23400	480	12	23880	16	44 40 x	01275-0P 040432MOD	^	06/20/1984	12/01/1984	26866	60	0 1.07 IP:AC 000 30.00 AP
523 030250004000 P		APVD	2100	2100 x	1000	5000	5000 APPT	10	8	416	50	2	466	5	2	P04-0499-UP		08/17/2005	12,01,1304	3100		000 16.55 AP
368 031170008000 P		PROD	4780	4780	0	20000	20000 APPT	20	50	2600	320	14	2920	2	4	02409-UP		04/08/2003	11/08/2006	4780		000 47.69 AP
358 033370029000 P		PROD	800	800 x	2080	4800	4800 NO	0	0	0	0	0	0	0	1	02066-UP		05/01/2002	09/01/2004	2880		18.83 AW
		PROD	3360	3360	0	10000	10000 APPT	4	28	1456	110	9	1566	2	4	P0601426-UP		08/25/2009	09/01/2011	3360	( 10	000 22.84 AW
241 022150033000 P		PROD	5000	5000	0	1000	20000 TST APPT	0	0	0	0	0	0	3	3 x		х	09/01/1983	09/01/1985	5000		0 22.37 AW
160 035460022000 P		PROD	2580	2580	0	5000	5000 TST APPT	0	0	0	0	0	0	2	6 x	02205 HD	х	11/26/1986	09/01/1991	2580		0 5.78 AW
403 032530019000 P 161 030210002000 P		UNKNWN PROD	6534 3000	6534 x 3000	6779	16000 20000	16000 APPT 20000 APPT	0	40 30	2080 1560	1048	90	3128 1560	3	9 6 x	02285-UP U-427980		08/17/2004 05/21/1980	09/01/1982	13313 3000	16	000 114.38 AW 0 23.19 AW
162 039040034000 P		PROD	17700	35896 x	31830	120000	300000 PUB	119	833	43316	12640	112	55956	30	69 x	99420-MOD		05/21/1980	09/01/1982	67726	6 60	0 23.19 AW 000 50.31 AP
260 031050028000 P		PROD	7574	7574	0	25000	25000 PUB	20	140	7280	0	0	7280	5	30 x			09/01/1973	09/18/1981	7574		0 57.43 AP
164 018310004000 P		PROD	4836	4836	0	5000	20000 PUB	0	20	1040	0	0	1040	4	0 x	U-777172		07/17/1972	12/01/1972	4836		0 36.41 AW
348 045310037000 P	PORTER VINEYARDS	PROD	3000	3000 x	21000	12000	12000 APPT	0	0	120	0	0	120	1	4	P05-0425-VMM		07/17/2002	09/01/2007	24000	( 12	000 19.18 AW
166 027130016000 P		PROD	1940	3352	0	4000	8500 APPT	6	42	2184	0	0	2184	4	7 x	99060-MOD		09/01/1979	09/01/1979	3352		0 1.00 RC
	PRIDE MOUNTAIN VINEYARDS	PROD	5400	5400 x	14000	50000	50000 APPT	20	20	1040	1060	49	2100	5	6	96038-UPX		10/19/1994	02/14/2001	19400		000 22.27 AW
		PROD	16000	39925	0	85000	180000 PUB	25	65	3380	3600	36	6980	12	36 x	P13-00246-VMM		01/01/1987	12/01/1987	39925		000 60.65 AP
415 030060061000 C		PROD PROD	30430	30430 x 8050	17000	180000	180000 APPT 20000 APPT	100	500 70	26000	570	13	26570	12	36 6 v	P14-00252-VMM U-258586		12/06/2000	09/01/2002	47430	180	000 17.66 AP 0 42.39 AP
505 057190023000 R	•	PROD	8050 40818	70418	0	20000 160000	600000 PUB	10 20	70 50	3640 2600	600	3	3640 3200	40	6 x 88 x	P14-00212-VMM	x	04/16/1986 10/07/1987	09/01/1997 09/01/1988	8050 70418		0 42.39 AP 0 7.22 IP:AC
		PRODMD	49250	125179	0	50000	750000 PUB	400	2800	145600	9170	493	154770	26	81 x	P10-00093		05/02/1984	09/01/1985	125179	750	000 59.90 AP
	RAZI WINERY	PROD	1600	4600	0	20000	20000 APPT	15	50	2600	0	0	2600	0	0 x			08/03/1988	09/01/1989	4600		0 14.55 AP

Case 3:24-cv-06256 Document 1-4 Filed 09/05/24 Page 7 of 9

			7				Cusc 5.	Z+ CV 00	0250 DUCL	IIIICIIL 1-4	Tiloc	1 09/05/	Z <del>4</del> 1	agc	7 01 3							
WINERY DA	TABASE LISTING			£						Sī	year	år *					u l			rule		1
COUNTY OF NAPA	A   December 2016		d ft)	bs) ;		(GPY)	ŧ		* *	isito	per	ar ye					npti:			le 75%		A
Winery ID Parcel number	Name	Status	Bldg Size, orig. (s	Bldg Size, current	Has cave Cave size (sq ft)	Production, orig (	Production, curre permitted (GPY) *	Tour and tasting	Visitors per week	Marketing event v	Marketing events	Total # visitors pe	Employees	Parking spaces	pre-WDO winery	In AIASP	Small winery exer Date approved	Date established	Total size (sq ft)	Subject to 75% ru # GPY subject to 7	Parcel acres	Zoning
286 05714001500		PROD	52365	56215	C	200000	800000 APP	-			74		21	75	P12-00409-MOD		11/19/1997		56215 x	3700000		AW:AC
	0 REFUGE WINERY 0 REGUSCI WINERY	APVD PROD	18875 2980	18875 2980	0	50000	50000 APP		24 868 451 3 10 5	36 3370 20 0	115	5 48506 5 520	10	25 10	P14-00108-VMM 95550-UP		06/06/2012 05/15/1996		18875 x 2980 x	50000 25000	13.23 162.62	
	0 REID FAMILY VINEYARDS	PROD	0	0		0 23000	0	•	0 0	0 0	(	0 0	0	0	33330-OF		03/13/1990	03/01/1990	0	0		1 Napa
492 03209002400	0 RELIC WINERY	PROD	8641	8641 x	2458	20000	20000 APP	T :	20 120 41	80 278	11	1 4458	4	6	P14-00203-UP		12/14/2010	08/19/2015	11099 x	20000	10.31	1 AW
	0 RENTERIA WINERY	APVD	13731	13731 x	11166		18000 APP		0 56 29		7	7 3304	3	6	04046-UP		07/20/2005		24897 x	18000	55.12	
	0 REVANA WINERY 0 REVERIE ON DIAMOND MOUNTAIN	PROD PROD	6624 5237	6624 5237 x	4710	15000 5000	15000 APP		8 40 20 20 100 52		12 18		3	5	P04-0449-MODVMIN P13-00027 / P15-00141		04/03/2002 06/21/1999		6624 x 9947 x	15000 5000	10.93 39.83	
	0 REYNOLDS WINERY	PRODMD	7800	7800	(	20000	20000 APP			40 100	3	3740	2	6	99386-UP		06/27/2000		7800 x	20000	13.45	
	0 RIPE PEAK WINERY	PROD	405	405 x	1600		1500 APP		8 28 14	56 400	11	1 1856	2	4	P07-00136		03/16/2005	09/01/2006	2005 x	1500		7 AW
	0 ROBERT BIALI VINEYARDS	PROD PROD	500 19706	500 19706		1000	5000 TST 40000 APP		0 0 4 10 5	0 0	(	0 720	1	6 10	X D04 0360 MOD	>	08/01/1983 04/21/2003	12/01/1981	500 19706 x	40000	40.00 10.84	
	0 ROBERT CRAIG WINERY	PROD	10944	12600		20000	25000 APP			20 200 12 168	2	2 720 3 480	4	5	P04-0260-MOD A1998-013		04/07/1999	09/01/2006 09/01/2005	19706 x 12600 x	25000	20.19	
	0 ROBERT FOLEY VINEYARDS	PROD	0	1760 x	12350		50000 APP		10 60 31		14		4	6	P14-00085 MOD		04/04/2007	09/01/2008	14110 x	30000	13.04	
	0 ROBERT KEENAN WINERY	PROD	6890	10006	C	50000	50000 APP	Т	35 245 127		21		10	6	x P12-00438-MOD		09/01/1974	09/01/1977	10006	0	147.39	
	0 ROBERT MONDAVI CARNEROS WINI 0 ROBERT MONDAVI WINERY	PROD	18248 101130	19640 200877		0 1200000	340000 NO 3000000 PUB		0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0	0 100 00 19560	474	2 100 4 228860	331	10 382	99012-MOD x 98071-MOD		06/02/1993 09/01/1930	09/01/1993 0 09/01/1966	19640 x 195377 x	340000 1400000	308.25 93.76	
	0 ROBERT SINSKEY VINEYARDS	PROD	13000	9000 x	10685		65000 PUB				1472		10	30			02/04/1987		19685 x	41000	11.82	
	0 ROBINSON FAMILY VINEYARDS	PROD	1086	1086 x	2100		15000 APP			16 180	8	3 596	0	5	02327-UP		11/20/2002		3186 x	15000	20.00	
	0 ROCCA FAMILY WINERY	APVD	11770	11770	(	20000	20000 APP		32 224 116		213		8	11	P10-00149-UP	x	01/05/2013		11770	0		IP:AC
	0 ROCKY RIDGE WINERY 0 ROGERS WINERY	APVD APVD	18280 4998	18280 x 4998	16600	35000	35000 APP		8 40 20 20 120 62	970 40 300	28 10		4	9	P05-0056 P10-00337-UP		12/07/2005		34880 x 4998 x	35000 30000	20.00 52.93	AW:AC
	0 ROMBAUER VINEYARDS	PROD	10000	46610 x	26340		450000 APP				51		18	26			05/01/1982	12/01/1982	72950 x	450000	31.85	
	0 ROMBAUER VINEYARDS AIRPARK 1	PROD	91759	91759	C	0	880000 NO		0 0	0 0	C	0 0	30	56	P08-00101-UP	x	05/27/2008	09/27/2010	91759	0		IP:AC
	0 ROMBAUER VINEYARDS AIRPARK 2	APVD	29655	0	(	120000	120000 NO		0 0	0 0	(	0 0	5	25		х	08/12/2014		0	0	_	IP:AC
	0 ROUND HILL CELLARS (RUTHERFORD 0 ROUND POND WINERY	PROD	28325 18267	29685 33755	(	144000 20000	1000000 APP		0 1500 780 50 360 187		30	78000 31020	27 12	25 43			10/19/1983		29685 33755 x	100000	46.23	7 AW
	0 ROY ESTATE VINEYARDS	APVD	10525	10525 x	6500		12000 APP		10 40 20		12		2	5	P050122-MOD		05/01/2002		17025 x	12000		3 AW
	0 RUDD ESTATE WINERY	PROD	5000	10088 x	22000		75000 APP	T :	30 250 130	702	33	3 13702	15	10	x 02361-MOD		03/19/1980		32088 x	40000		5 AP
	0 RUSTRIDGE WINERY	PROD	2000	2000	(	5000	5000 TST		0 0	0 0	(	0 7000	2	2		>	01/01/1985		2000	0	349.39	
	0 RUTHERFORD GROVE 0 RUTHERFORD HILL WINERY	PROD PROD	6200 28800	7900 72522 x	38100	35000 420000	35000 PUB 640000 PUB			00 0 4955	721	7800 1 52955	46	9 80			10/01/1976	09/01/1977 1 12/01/1976	7900 110622 x	50000	29.14	7 AP
	0 SABINA VINEYARDS	PROD	400	1600	30100	1800	8000 NO		0 0	0 0	(	0 0	2	9			01/01/1984		1600	0		AW
	0 SADDLEBACK CELLARS	PROD	2400	4000	C	5000	8000 APP			28 0	C	728	1	3	x U-428384-MOD		03/21/1984		4000	0	16.96	
	0 SAGE VINEYARDS	UNKNWN	10797	10797	0	15000	15000 APP	Т	8 48 24	96 484	27	7 2980	3	4	P04-0512		03/07/2007	7	10797 x	15000		5 AW
188 04721200200	0 SAINT HELENA WINERY 0 SAINTSBURY	PROD PROD	6300	13150		60000	135000 APP	т	12 24 12	48 250		9 1498	6	13	x P07-00446		07/20/1983	08/01/1983	13150 x	45000		St Helena 3 AW
	0 SALVESTRIN WINERY	PROD	0	0	0	0	0		0 0	0 0	C	0 0	0	0			31,723,233	33, 32, 2333	0	0		St Helena
	0 SAM JASPER WINERY	PEND	17093	17093	C	20000	20000 APP			20 550	23		3	17	P15-00077				17093 x	20000	10.23	
190 03026003500	0 SATTUI WINERY 0 SAWYER CELLARS	PROD APVD	4200 3743	37650 3743		20000	96000 PUB 10000 APP		8 56 29		437 11		59	331	x P05-0184-MOD P14-00353	v	02/01/1973	09/01/1975	37650 3743	0		5 AW 5 IP:AC
	0 SCHRAMSBERG VINEYARDS WINERY		15600	40645 x	54071		180000 APP		6 672 349		42		39	46		Α	18620901	09/01/1973	94716 x	60000		AW
	0 SCHWEIGER VINEYARDS	PROD	3820	15664	C	20000	20000 APP	Т	8 48 24		3	3 2621	1	12			09/21/1994		15664 x	20000		4 AW
	0 SCIAMBRA WINERY	PROD	4209	5159	(	10000	10000 NO		0 0	0 0	(	0 0	2	6	P05-0433-MOD		10/21/1992		5159 x	10000		AW
	0 SCREAMING EAGLE WINERY 0 SEARS WINERY	PROD PRODMD	2750 4400	22333 x 4765 x	16000 3600		20000 TST 20000 NO	APPI	5 15 7 0 0	0 0	(	780	5	10 6		,	07/01/1988 06/10/1988		38333 8365 x	11000	73.13 65.18	B AP B AW
	0 SEAVEY VINEYARD	PRODIVID	2450	12085	3000	300	20000 NO	APPT	15 6 3	12 50	1	1 362	2	10			08/01/1988	09/01/1989	12085	0	143.42	
	0 SEQUOIA GROVE VINEYARDS	PROD	5500	31350	(	50000	150000 PUB		15 600 312		22		28	40			02/07/1979	09/01/1980	31350 x	100000	24.26	
	0 SEVEN STONES WINERY 0 SHACKFORD WINERY	PROD PROD	1158	2062		1000	1900 APP	Т	0 6 3	12 218	10	530	2	5	P10-00372		04/07/2004		2062 x	1900		AW
	0 SHAFER VINEYARDS	PROD	2210 8050	2210 33630 x	8900		200000 APP	Т	0 105 37	50 1720	29	5470	2	20	02299-UP x 99025-UP		07/02/2003		2210 x 42530 x	10000 150000	10.00 8.50	D AW
	O SHED CREEK WINERY	PEND	2604	4213	0	5000	5000 APP			60 400	11		10	24			2 ., 20, 237	22,22,23	4170 x	5000	287.37	
	0 SHERWIN FAMILY VINEYARDS	PROD	4600	5008	C	150	6500 TST			08 220	9	428	2	3			09/01/1988		5008 x	5900		5 AW
	0 SHIFFLETT ESTATE WINERY 0 SHUTTERS WINERY	PROD APVD	3000 9034	3000 9034 x	11600	40000 50000	40000 APP		20 56 29 18 40 20	12 510 80 1000	1 <sup>2</sup>		2	5 14	03331-UP P10-00222-UP		12/03/2003 06/16/2010		3000 x 20634 x	40000 50000	46.20 13.36	
	0 SIGNORELLO WINERY	PROD	2320	9034 x 2320	11000	20000	20000 APP		18 40 20 20 120 62		12		4	15			05/16/2010		20634 X 2320	50000	56.59	
	0 SILENUS VINTNERS	PROD	1076	13740	C	12000	72000 APP	Т	70 490 254	80 1680	18	3 27160	11	50			06/29/1977	09/01/1981	13740 x	60000	10.00	
	O SILVER OAK WINE CELLARS	PROD	11000	75000	C	18000	210000 PUB				312		50	79			06/01/1983		75000 x	162000	22.54	
	0 SILVERADO HILL VINEYARD LLC 0 SILVERADO VINEYARDS	PROD PROD	6950 43970	27454 65030		50000	200000 APP 360000 PUB		70 490 254 00 250 130		126 271		24 16	54 27			06/06/1979 12/03/1980	0 10/01/1979 0 09/01/1981	27454 x 65030 x	150000 120000	35.68 11.50	
	0 SIMONE WINERY	UNKNWN	3000	3000		5000	5000 NO		0 0	0 0	(	0 0	0		X 37223-WOD	)	x 08/01/1988		3000	0		AP AP
105 02712000800	0 SINEGAL ESTATE WINERY	PROD	4400	7025 x	13200		60000 PUB		21 120 62	40 780	56	7020	3	8	x P13-00261		08/14/1982	09/01/1983	20225 x	60000	30.00	
207 03406004400		PROD	12745	12745		4000	2377 APP		0 0	0 0	(	0 0	0	0			09/01/1973	09/01/1979	0	30000	67.77	
	0 SLEEPING GIANT 0 SLEEPING LADY WINERY	APVD PEND	12745 6572	12745 6572		30000	30000 APP		10 85 44 20 140 72		10	3212 7580	10	12 6	P15-00284 P15-00423				6963 x 6572 x	30000 30000	11.41 103.83	
	0 SLOAN WINERY	PROD	1225	3700 x	5593		15000 NO		0 0	0 0		0	0	1	02166-MOD		01/23/1993	09/01/1991	9293 x			3 AW
	0 SMITH FAMILY WINERY	PROD	1500	1500	C	7500	7500 APP			40 15	1	1 1055	2	3	98389-UP		06/16/1999		1500 x	7500		2 AW
	0 SMITH MADRONE VINEYARDS 0 SNOWDEN VINEYARDS	PROD UNKNWN	3200 8025	3200 8025 x	18900	18000	18000 APP			20 0 60 0		520	4	2	x U-87374 01261-UP		10/01/1973		3200 26925 x	30000	78.70 160.06	
328 02518005700	O SINOWDEN VINEYARDS	UNKNWN	8025	8025 X	18900	30000	30000 APP	1	0 5 2	.00	(	260	4	4	01201-UP		03/06/2002		20925 X	30000	160.06	AVV

Case 3:24-cv-06256 Document 1-4 Filed 09/05/24 Page 8 of 9

			7				Case 3.24	1 002			<u> </u>	*		390								O	
	DATABASE LISTING			£		5				S S	yea	ear *					ion					"rail	
COUNTY OF	NAPA   December 2016		sq ft	ıt (sc		(GP)	t *	*	* *	visit	s per	e. Y					m Tu				<u>e</u>	75%	
J V D		10	Size, orig. (	Size, currer ave	size (sq ft)	ıction, orig	ted (GPY)	rs per day *	rs per week	sting event	sting events	# visitors p	oyees	ng spaces	DO winery	use permit	winery exe	approved	established	size (sq ft)	ct to 75% ru	subject to	a cres
Wine	Name	Status	Bldg	Bldg .	Cave	Produ	Prodt permii Tour	Visito	Visito	Marke	Marke	Total	Empl	Parki	pre-M	Last u	·   _	Date	Date	Total	Subje	# GP)	Parce Zonin
	063000 SODARO WINERY 004000 SODHANI WINERY	PROD APVD	3620	4900 0 x	0 7150	20000 12000		0	0	0 148	13	148	2	2 2	2 x	02234-MOD P14-00402UP / P16-00111VW		02/01/1983 06/16/2016	12/01/1983	4900 7150		20000 12000	21.30 AW 11.14 AW
	026000 SOMERSTON WINERY	PROD	33142	34477 x	18045			8	56 29:	12 496	8	3408	12	2 28	*  3	P10-00168-VMM		06/16/2016	08/01/2010	52522		150000	261.63 AW
546 0580300	053000 SONOMA WINE COMPANY	PROD	0	0	0	0	0	0	0	0 0	0	0	0	0	)					0		0	6.34 American Canyo
	030000 SPELLETICH FAMILY WINE CO. 045000 SPELLETICH WINERY	PROD PROD	7300	7300	0	60000	0 60000 NO	0	0	0 0	0	0	0	0 0	)	P08-00475-UP x		10/15/2009	04/21/2000	7300		0	8.28 Napa 2.22 IP:AC
	016000 SPENCE VINEYARDS	PROD	756	756	0	5000		0	0	0 64	4	64	0	) 5	5	P07-00091		10/15/2008	04/21/2009 09/01/2010	756	x	5000	10.13 AW
	026000 SPOTTSWOODE WINERY	PROD	0	0	0	0	25000 APPT	0	20 10	40 0	0	1040	6	5 3	3			18840901	09/01/1982	0		0	26.90 St Helena
	020000   SPRING MOUNTAIN VINEYARDS 058000   SPRING MOUNTAIN VINEYARDS #2	PROD PROD	14000 8550	14000 x	19660	15000 1000		0	0	0 0	0	0	6	5 10 L 10		99210-MOD SW-208889	v	18730901	09/01/1968	33660 8550		0	233.35 AW 270.20 AW
	013000 ST CLEMENT VINEYARDS #2	PROD	3300	8550 6600	0	24000		0	490 254	80 0	0	25480	13	3 16		95653-UP	X	11/01/1988 11/09/1964	12/01/1990 09/01/1975	6600		0	3.97 AW
212 0301900	019000 ST SUPERY VINEYARDS AND WINER	RY PROD	93750	93750	0	450000		0	0	0 0	0	0	20	126	5 x	P11-00396		09/03/1986	09/01/1988	93750		0	54.34 AP
	047000 ST. CLAIR-BROWN WINERY 064000 STAGLIN WINERY	PROD PROD	22602	0	28483	24000	0 36000 APPT	10	0 100 520	0 0 00 740	0	5940	0	0 0	)	P08-00053		06/03/1000	00/01/2001	0	.,	0 36000	0.31 Napa 10.05 AP
	040000 STAGS LEAP WINE CELLARS	PROD	23603 2500	28108 x 57120 x	34860			50	100 520 350 1820		153	25425	86	5 118	*   3   x	P13-00356-UP/P13-00357-VAR		06/02/1999 03/21/1973	09/01/2001 06/01/1973	56591 88108		120000	40.22 AP
	034000 STAGS LEAP WINE WINERY (DOUM		3664	20739 x	3200			40	280 145		0	14560	4	1 0	) x	P12-00110-MOD		07/11/1973	12/01/1973	23939		0	10.17 AW
	024000 STAG'S LEAP WINERY (DOUMANI 5 003000 STAR HILL WINERY	) PROD UNKNWN	15000 800	64689 x 800	23500	60000 1900		4	10 5	20 260	25	780	12	2 20	5 x	U-91-18 U-348586		11/20/1991	09/01/1993	88189		315000	107.55 AW 4.71 AW
	016000 STAR HILL WINERY	UNKNWN	2800	2800	0	30000		0	20 10	40 0	0	1040	4	1 8	3 x	U-348380		05/01/1986 10/17/1984	12/01/1986 09/01/1985	800 2800		0	1.44 AP
545 0472400	035000 STARMONT (MERRYVALE)	PROD	0	0	0	0	0	0	0	0 0	0	0	0	0	)					0		0	35.79 Napa
	005000 STEPHENS WINERY 053000 STERLING VINEYARDS	UNKNWN PROD	13516 73314	13516	41000	12000 730000		25	60 31		14 547	3680	3	3 10 5 222	)	02357-UP		02/05/2003 09/01/1964	00/01/1060	13516		12000 770000	33.80 AW 84.80 AP
	073000 STONY HILL VINEYARD	PROD	73314	120362 x 0	41000	8700		0	0 2500 4 2	08 0	0	256700 208	6		z x O x	P12-00031		09/01/1964	09/01/1969 09/01/1953	161362 0	X	0	153.76 AW
231 0171100	019000 STORYBOOK MOUNTAIN VINEYARI	PROD	3440	2975 x	5400		15000 APPT	0	0	0 240	6	240	1	L 4	1 x	P06-01067UP		09/05/1979	09/18/1983	8375		0	90.78 AW
	015000 STREBLOW WINERY 010000 SULLIVAN FAMILY ESTATE	UNKNWN	360	360 5894	0	2000 22500		0	0	0 0 64 0	0	0	1		2 x 3 x	D00 00370	х	09/01/1984	09/01/1985	360		0	33.00 AW 26.17 AP
	061000 SULPHUR SPRINGS WINERY	PROD PROD	5000	0	0	22500	0 ZZSUU APPT	0	0	0 0	0	364 0	0	0 0	s x	P09-00278		01/01/1979	09/01/1983	5894 0		0	12.91 St Helena
	015000 SUMMERS WINERY	PROD	570	13948	0	20000	100000 APPT	20	140 723	80 240	8	7520	3	3 14	1 x	P14-00232		11/02/1983	09/01/1984	13948	х	80000	25.30 AP
	021000 SUMMIT LAKE VINEYARDS	PROD APVD	2500	2500 73838	0	3000 200000		25	0	0 0 00 2600	0	7000	2	2 4	1 x	D00 00101	х	03/01/1984 05/03/2006	09/01/1985	2500 73838		0	20.72 AW 10.32 GI:AC
	018000 SUSCOL CREEK WINERY 062000 SUTTER HOME WINERY	PROD	61281 292000	292000	0	3247000		0	100 520	0 2600	208	7800 0	80	) 55		P09-00101 x		09/01/1948	09/01/1984	292000		0	49.74 St Helena
	014000 SUTTER HOME WINERY	PROD	41000	41000	0	200000		0	3500 1820	00 0	0	182000	101	1 76	5			09/01/1946	09/01/1946	41000		0	1.44 AP
	001000 SWANSON VINEYARDS	PROD	3984	8480	0	4000		20	100 520		0	5200	4	1 13		03216-MOD		01/05/1977	09/01/1987	8480		100000	1.32 AP
	033000 SWANSON WINERY 010000 TAMBER BEY VINEYARDS	APVD PROD	47419 16640	46100 26372	0	100000 60000		200	1400 728 140 72		119 3	103634 8640	30 4	70	1	P14-00032-UD P12-00233-UP		05/16/2012 03/20/2013	09/01/2013	46100 26372		100000 60000	73.99 AP 22.41 AP
577 0390400	016000 TAYLOR FAMILY VINEYARDS	APVD	2000	2000	0	15000	15000 APPT	17	119 613		11	6563	2	2 5	5	P15-00291				2560		15000	21.15 AP
	018000 TEACHWORTH WINERY	PROD	800	800	0	5000 4760		2	2 1	04 48	2	152	0	) 6	5	99258-UP		07/19/2000	11/14/2001	800	Х	5000	10.00 AW
	016000 TEDESCHI WINERY 006000 TENCH WINERY	PROD APVD	6779	6779 x	6245			14	98 52	64 150	3	5414	10	) 15	5	P15-00001 & P15-00002 VAR				12635	x	42840	2.46 Calistoga 60.86 AP
	012000 THE CAVES AT SODA CANYON	PROD	0	0 x	16000			20	70 36			4960	4	1 6	5	P13-00048-MOD		08/02/2006	09/05/2013	16000		30000	10.00 AW
	0025000 THE RANCH WINERY	PROD	79500	242606	0	700000		0		80 2450	33		85		5 x	P07-0016		07/01/1984	09/01/1985	242606		0	70.40 AP
	018000 THE TERRACES 006000 THE VINEYARDIST	PROD PROD	1964 5700	1964 5700 x	7500	20000 20000		15	10 5: 20 10	20 0 40 300	10	520 1340	2	2 5	5 X	U-338788 P13-00214-VMM		09/07/1988 08/25/2006	09/01/1989	1964 13200		20000	21.19 AW 40.00 AW
	007000 THEOREM WINERY	APVD	2208	23458	0	20000		15	105 54			5680	5	5 15	5 x	P13-00019-MOD		01/01/1985	12/01/1985	23925		20000	41.45 AW
	013000 TITUS VINEYARDS	PROD	18452	18452	0	24000		40	210 1093			12620	11	1 21	1	P13-00367-UP		05/07/2014	00/44/2042	32921		24000	31.77 AP
	001000 TOM EDDY WINERY 062000 TREFETHEN VINEYARDS	PROD PROD	10200 17600	10200 x 52500	21437	48000 160000		0	20 104 800 416			1349 46700	14	/ 8 1 48	3 x	00175-UP P13-00146-VMM		05/02/2001 18860901	08/14/2012 09/01/1973	31637 52500		48000 200000	14.59 AW 40.87 AP
	024000 TRES SABORES	PROD	2150	2150 x	780			4		08 0	0	208	1	1 3	3 x	01157-MOD		06/01/1988	09/11/1991	2930		0	24.70 AW
	010000 TRINCHERO NAPA VALLEY	PROD	3300	35211 x	2296			0	930 483		11		14		2 x	P05-0329_MODMAJOR		09/16/1981	12/01/1981	37507		52000	21.03 AW
	021000 TRUCHARD VINEYARDS 001000 TRUCHARD VINEYARDS WINERY	PROD PEND	1632 47800	1632 x 47800	8438	13000 100000		35 60	100 520 210 1093				6	10 13	) x	P14-00330		07/01/1986	09/01/1990	10070 47800		100000	9.95 AW 11.52 AW
	011000 TUDAL WINERY	PROD	1248	1248	0	1000		0	0	0 0	0	0	0		5 x	U-47879		11/01/1975	09/01/1979	1248		0	7.55 AP
	002000 TULOCAY WINERY	PROD	1160	1160	0	2400		0	0	0 0	0	0	2		1 x	03350-CLN		05/21/1975	09/01/1976	1160		0	1.07 RC
	010000 TURLEY WINE CELLARS 002000 TURNBULL WINE CELLARS	PROD PROD	1800 1500	13171 40543	0	3000 2500		15 350	75 390 400 2080			3963 21890	4	1 12	2 x 1 x	98211-MOD 98327-MOD		09/01/1981 07/18/1979	09/01/1985 12/01/1979	13171 40543	Y	235000	6.70 AP 21.64 AP
	019000 T-VINE CELLARS	PROD	0	0	0	5950		0	0	0 0	0	0	0	0 0		30327 1000		07/10/1373	12/01/13/3	0	^	0	0.42 Calistoga
	026000 TWO ROCKS WINERY	PROD	6950	6950 x	20682			6		80 920	13		4	1 7	7	P06-01228		01/21/2004		27632		50000	46.66 AW
	053000 TWO SISTERS WINERY 046000 TWOMEY CELLARS	UNKNWN PROD	9040 2600	9040 18940	0	15000 20000		205	10 53 530 275	20 130 00 200		650 27700	2	1 18	3 x	P11-00423VMM P12-00159		05/05/2004 09/01/1973	09/01/2012 09/01/1973	9040 18940		15000 48500	10.16 AP 17.00 AP
	025000 V MADRONE WINERY	PROD	6461	6461	0	20000		203	90 468		12		3	3 15		P08-00099-MOD		05/07/2008	09/01/1973	6461		20000	7.85 AW
	011000 V-12 WINERY	APVD	1800	1800 x	7000	36000	22500 APPT	16	36 18	72 300	5	2172	3	3 11	1	P13-00219-VAR		02/09/2009		8800	х	22500	42.38 AW
	019000 VAROZZA 043000 VENGE VINEYARDS	PROD PROD	6400	0 19298 x	9000	20000	0 20000 APPT	20	0 140 72	0 0 80 180	0	7460	0	0	5	P13-00047-MM		12/02/2009	09/01/2010	0 28298	Y	20000	34.43 St Helena 12.37 AP
	038000 VIADER VINEYARDS	PROD	4714	4714 x	14100			0		88 36		324	4	1 12	2	P05-0179		05/22/1992	09/01/2010	18814		32000	45.84 AW
93 0325100	004000 VILLA DEL LAGO	PROD	0	4877 x	2500	7200	15000 APPT	20	30 15	60 320	6	1880	2	2 10	) x	03383-MOD		06/01/1988	09/01/1993	7377		15000	44.85 AW
	016000 VILLA HELENA 001000 VILLA RAGAZZI	PROD PROD	1500 916	5012 916	0	6000 20000		15	20 10	40 70 0 0	2	1110	1		2 x 4 x	99539-MOD	v	10/01/1983 05/01/1982	09/01/1984 09/01/1984	5012 916		14000	4.47 AP 25.33 AP
400 0320800	023000 VIN ROC WINERY	PROD	2000	2000 x	2000			0	8 4:	16 0	0	416	2	2 4	1	04004-UP	^	05/01/1982	03/01/1304	4000		18000	32.31 AW
264 032030	027000 VINE CLIFF WINERY	PROD	4424	7780 x	15000	10000	48000 APPT	0	0 4	00 1916	134	2316	8	3 21	1 x	98323-UP		09/01/1988	09/01/1989	22780	x	38000	99.59 AW

## Case 3:24-cv-06256 Document 1-4 Filed 09/05/24 Page 9 of 9

							Ousc 0.2	T 00 002		Journ	CITE	1 1100	1 00/00	<i>1</i> <del>-</del> - 1	ugc	0 01 0							
	ABASE LISTING   December 2016		sq ft)	nt (sq ft)		(GPY)	* *	**	***	* *	visitors	s per year	er year ***					emption	_	ule	75% rule		
Winery ID	Мате	Status	Bidg Size, orig. (	Bldg Size, currer	Has cave	Production, orig	Production, curripermitted (GPY)	Visitors per day	Visitors per weel	Visitors per year	Marketing event	Marketing events	Total # visitors p	Employees	Parking spaces	pre-WDO winery	In AIASP	Small winery exe	Date established	Total size (sq ft)	# GPY subject to	Parcel acres	Zoning
495 021420015000	VINEYARD 22	APVD	1565	1565 >	x 100	50 10000	10000 APPT	50	350	18200	270	9	18470	2	9	P11-00307-UD		12/01/201	0	11615 x	10000	22.61	AW
456 022200027000	VINEYARD 29	PROD	17804	17804 >	x 140	38 48500	48500 APPT	C	30	1560	660	17	2220	4	5	P11-00122		02/21/200	1 09/01/2002	31842 x	48500	24.64	AW
333 020300063000	VINEYARD 7 AND 8	PROD	7713	9013 >	x 53	00 19200	19200 APPT	15	105	5460	320	8	5780	6	6	P11-00309		03/20/200	2 10/30/2006	14313 x	19200	39.66	AW
379 036150052000	VIOLET VINEYARD	UNKNWN	5666	5666		0 20000	20000 APPT	10	12	624	560	14	1184	2	4	03004-UP		05/21/200	3	5666 x	20000	13.52	AP
249 025240014000	VOLKER EISELE FAMILY ESTATE	PROD	2400	2400		0 5000	20000 NO	C	0	0	0	0	0	0	10	x		o1/24/199	09/24/1990	2400	0	275.89	AW
265 020400013000	VON STRASSER WINERY	PROD	2400	4400 >	x 67	00 2500	25000 APPT	40	20	1040	440	18	1480	4	2	x 99270 MOD / 99464 UP		10/15/197	09/01/1980	11100 x	21500	35.81	AW
350 025060001000	W H SMITH WINES	PROD	798	798 >	x 47	30 20000	20000 NO	C	0	0	148	13	148	2	4	02057-UP		05/15/200	09/01/2004	5528 x	20000	41.64	AW
486 020450020000	WALLIS FAMILY ESTATE	APVD	11711	11711		0 30000	30000 APPT	18	108	5616	225	3	5841	4	27	P08-00197-UP		04/21/201	)	11711 x	30000	0.00	AW
267 021030047000	WERMUTH WINERY/RANCHO DE LAS	PROD	375	775		0 20000	20000 PUB	30	100	5200	0	0	5200	0	8	x U-698687		07/21/198	09/01/1983	775	0	7.44	AW
474 030260016000	WHEELER FARMS WINERY	APVD	21242	31085		0 50000	50000 APPT	32	224	11648	1452	52	13100	3	6	P14-00283-MM		09/16/200	9	25242 x	50000	11.66	AP
6 018140036000	WHISKEY RIVER RANCH VINEYARDS	PROD	12537	12537 >	x 180	00 180000	360000 APPT	12	50	2600	275	21	2875	9	28	P11-00463		10/18/199	09/01/1996	30537 x	360000	80.09	AW
252 039680004000	WHITE ROCK VINEYARDS	PROD	0	0 >	x 60	00 5000	20000 TST AP	PT C	0	0	0	0	0	2	4	x		03/30/198	7 06/01/1987	6000	0	15.00	AW
269 027100012000	WHITEHALL LANE WINERY	PROD	7600	34227		0 10000	200000 PUB	250	600	31200	4800	60	36000	7	35	x 99149-MOD		09/20/197	09/01/1980	34227	0	25.28	AP
270 052450001000	WHITFORD CELLARS	PROD	3600	4291 >	x 14	14 20000	20000 NO	C	0	0	0	0	0	2	5	x P08-0100-MODVMIN		07/01/198	09/01/1983	5705	0	43.36	AW
565 027460013000	WHL WINERY	APVD	8578	8578		0 10000	10000 NO	C	0	0	0	0	0	10	2	P15-00215				8578 x	10000	19.97	AP
382 022230015000	WILLIAM COLE WINERY	PROD	5040	5040 >	x 40	00 20000	20000 APPT	5	10	520	185	8	705	2	6	02307-UP		10/16/200	09/01/2004	9040 x	20000	5.72	AW
271 039190050000	WILLIAM HILL WINERY	PROD	16000	102490 >	x 300		720000 APPT	100	250	13000	0	0	13000	8	80	x P05-0180		07/01/198	7 09/01/1990	132490 x	385000	158.96	AW
273 033290006000	WINERY OF THE ROSES	UNKNWN	4500	4500		0 20000	20000 TST AP	PT C	0	0	0	0	0	2	0	x	1	c 06/01/198	2 12/01/1982	4500	0	11.15	AW
107 034030049000	WING CANYON VINEYARD	PROD	1600	1600		0 12500	12500 NO	C	0	0	0	0	0	0	0	U-90-20		03/20/199	1 09/01/1992	0 x	12500	78.79	AW
	WOODBRIDGE WINERY	PROD	0	0 >	x 109		19000 NO	C	0	0	0	0	0	2	2	P04-0551		09/18/200	7 08/03/2006	10985 x	19000	40.00	
	WOOLLS RANCH WINERY	APVD	18303	20882		0 50000	50000 APPT	60	350	18200	4640	76		10	19	P13-00187-UP		11/06/201		20882 x	50000	236.66	
	YOUNG INGLEWOOD VINEYARDS	PROD	10941	10575		0 30000	30000 APPT	16	112	5824	1745	28		6	10	P10-00392-VMM		07/07/201		10575 x	30000	16.00	
300 018300021000		PROD	10340	8384		0 20000	20000 APPT	1	. 2	104	0	0	104	1	12			10/21/199	07/01/1999	8384 x	20000	99.88	
	YOUNTVILLE HILL WINERY	PEND	14019	14019	x 355		100000 APPT	C	_	21840	3400	56		19	37					49607 x	100000	8.17	
		APVD	5264	5264		0 30000	30000 APPT	25	175	9100	400	11	9500	5	10			11/16/201		5264 x	30000	10.50	
	ZAPOLSKI - RUDD WINERY	APVD	34510	0		0 120000	0 NO	C	0	0	0	0	0	6	28	P13-00031-UD	x	02/20/200		34510	0	2.56	
277 030200005000	ZD WINES	PROD	6600	22956		0 25000	70000 PUB	50	200	10400	60	6	10460	10	21	x		08/01/197	09/01/1979	22956 x	20000	5.75	AP

# Exhibit 5

Case 3:24-cv-06256 Document 1-5 Filed 09/05/24 Page 2 of 9 - UP - APP SMALL WINERY

File	No.:	

# NAPA COUNTY CONSERVATION, DEVELOPMENT AND PLANNING DEPARTMENT 1195 Third Street, Room 210 . Napa, California 94559 . (707) 253-4416

# APPLICATION FOR SMALL WINERY USE PERMIT EXEMPTION Please fill in all appropriate information Items in ( ) are County Requirements for Use Permit Exemption

Address: 2000 Summit Lake Drive, Angwin, Cal 94508 No. Street City, State Zip Coc Status of Applicant's Interest in Property:	osed Winery Name: Summit Lake Vineyards Assessor's Parcel No .: 1	8-200-21
Property Owner's Name:    Came	icant's Name: Robert J. Brakesman Telephone No.: 965-3	2488 (office) 3617
Address:  No. Street City State  Telephone No.:  No. Street City State  Tourishing Features: (Check the appropriate spaces)  CRUSHING FERMENTATION STORAGE/AGING POTTLING/PACKING  Thuck SHIPPING VIA: CRS.; ADMINISTRATIVE: (NO) TOURS/PUBLIC TASTING  OTHER:  CALLONS OF WINE TO BE PRODUCED: INITIAL OR CURRENT PRODUCTION 3000 GAL/YEAR  (NOT TO EXCEED 20,000 GAL.)  ULTIMATE PRODUCTION CAPACITY 12000 GAL/YEAR  HOURS OF OPERATION 8 A.M. TO 5 P.M. DAYS OF OPERATION 3 765  NUMBER OF SHIFTS: / EMPLOYEES PER SHIFT: 3 FULL TIME / PART TIME 2  (Currently)  NUMBER OF SHIFTS: / TOTAL EMPLOYEES PER SHIFTS: 3 FULL TIME / PART TIME 2  (Proposed) (Proposed)	ess: 2000 Summit Lake Drive, Angwin, Cal No. Street State	94508 Zip Code
Address:  No. Street City State	us of Applicant's Interest in Property:	
No. Street City State  I. Operating Features: (Check the appropriate spaces)  CRUSHING FERMENTATION STORAGE/AGING POTTLING/PACKING  SHIPPING VIA: PS.; ADMINISTRATIVE: (NO) TOURS/PUPLIC TASTING  OTHER:  GALLONS OF WINE TO BE PRODUCED: INITIAL OR CURRENT PRODUCTION 3000 GAL/YEAR (NOT TO EXCEED 20,000 GAL.)  ULTIMATE PRODUCTION CAPACITY 12000 GAL/YEAR  HOURS OF OPERATION 8 A.M. TO 5 P.M. DAYS OF OPERATION 3 105  NUMBER OF SHIFTS: 1 EMPLOYEES PER SHIFT: 3 FULL TIME 1 PART TIME 2  (Currently)  NUMBER OF SHIFTS: 1 TOTAL EMPLOYEES PER SHIFTS: 3 FULL TIME 1 PART TIME 2  (Proposed)  (Proposed)	erty Owner's Name:	
Operating Features: (Check the appropriate spaces)  CRUSHING FERMENTATION STORAGE/AGING BOTTLING/PACKING  SHIPPING VIA: U.S.; ADMINISTRATIVE: (NO) TOURS/PURLIC TASTING  OTHER:  GALLONS OF WINE TO BE PRODUCED: INITIAL OR CURRENT PRODUCTION 3000 GAL/YEAR (NOT TO EXCEED 20,000 GAL.)  ULTIMATE PRODUCTION CAPACITY 12000 GAL/YEAR  HOURS OF OPERATION B A.M. TO 5 P.M. DAYS OF OPERATION 3 105  NUMBER OF SHIFTS: / EMPLOYEES PER SHIFT: 3 FULL TIME / PART TIME 2  (Currently)  NUMBER OF SHIFTS: / TOTAL EMPLOYEES PER SHIFTS: 3 FULL TIME / PART TIME 2  (Proposed)  (Proposed)	No. Street City State	
ULTIMATE PRODUCTION CAPACITY /2000 GAL/YEAR  HOURS OF OPERATION 8 A.M. TO 5 P.M. DAYS OF OPERATION 3/65  NUMBER OF SHIFTS: / EMPLOYEES PER SHIFT: 3 FULL TIME / PART TIME 2  (Currently)  NUMBER OF SHIFTS: / TOTAL EMPLOYEES PER SHIFTS: 3 FULL TIME / PART TIME 2  (Proposed)  (Proposed)	✓ CRUSHING ✓ FERMENTATION ✓ STORAGE/AGING ✓ BOTTLING/PACKING  → SHIPPING VIA: W.S.; ✓ ADMINISTRATIVE: (NO) TOURS/PUBLIC TASTING	FOR COUNTY USE ONLY YES NO
(Proposed) (Proposed)	ULTIMATE PRODUCTION CAPACITY 1200 GAL/YEAR OURS OF OPERATION 8 A.M. TO 5 P.M. DAYS OF OPERATION 3 765 OURBER OF SHIFTS: / EMPLOYEES PER SHIFT: 3 FULL TIME / PART TIME 2	
TEN WILLY	UMBER OF SHIFTS: / TOTAL EMPLOYEES PER SHIFTS: 3 FULL TIME / PART TIME 2 (Proposed)  O. VISITORS ANTICIPATED: PER DAY PER WEEK 2	

	Case 3:24-cv-06256 Document 1-5 Filed 09/05/24 Page 3 of 9		1
		FOR CO USE O YES	
2.	Building Features: (Wood, stucco or rock facing required on any non-historic structures).		
	FLOOR AREA: EXISTING STRUCTURES SQ. FT. NEW CONSTRUCTION 2500 SQ. FT.		
	TYPE OF CONSTRUCTION: wood frame		
	TYPE OF EXTERIOR WALL FACING: wood siding (printed orstained)		
	TYPE OF ROOF: asphalt shingles		
	MAX. HEIGHT (FT.): EXISTING STRUCTURES PROPOSED STRUCTURES 21 CH (Height 35')		
	COMPLIANCE WITH THE U.S. SECRETARY OF INTERIOR'S "STANDARDS FOR REHABILITATION" AND ASSOCIATED "GUIDELINES FOR REHABILITATING HISTORIC STRUCTURES" NA X YES NO	<u>/</u>	
	EXISTING STRUCTURES OR IMPROVEMENTS TO BE REMOVED: may remove an old word shed		
	TYPE OF SHIELDS TO BE INSTALLED  ON EXTERIOR LIGHTS:  DOWNWORD FACILITY REQUIRED.	/	
	WIDTH OF FIRE CLEAR ZONE AROUND WINERY TO BE MAINTAINED:  (Not less than 100 ft. is located with County designated high fire risk area).	✓	-
	METHOD OF DOMESTIC WASTE DISPOSAL: Reptic		
	METHOD OF INDUSTRIAL WASTE DISPOSAL: 50 ids spread in vineyards to 1950 ME	5 /	
•	Site Characteristics: lignids in septic tank of BULDING. PERMIT.		
	PARCEL ACREAGE: (Not less than 4 AC.)	<u> </u>	
	ZONING DISTRICT INVOLVED: (AW, AP, and WR ONLY)	<u>/</u>	
	WINERY COMPLEX SETBACK FROM CENTERLINE OF NEAREST PUBLIC ROAD:  (Not less than 400 ft. Silverado Trail and State Highways or 200 ft. other public roads). Summit Loke Drive 450+FT.	V	
	ROAD FRONTAGE SEPARATION BETWEEN PROPOSED WINERY:  (Not less than 2,000 ft. with 1,000 ft. corridor). 2000 ft.	<u></u>	
	OISTANCE BETWEEN PROPOSED WINERY & NEAREST OFF-SITE RESIDENCE:  (Not less than 500 ft.)	<u>/</u>	·
	MINIMUM DISTANCE BETWEEN THE PROPOSED WINERY COMPLEX INCLUDING SEWAGE SYSTEM AND ACCESS ROAD AND THE TOP OF THE BANK OF THE ORDINARY HIGH WATER CHANNEL OF THE NEAREST RIVER OR STREAM NOT COVERED BY COUNTY FLOOD PLAIN MANAGEMENT ORDINANCE.  (Not less than50 ft.)	<i>'</i>	
i	NAME OF NEAREST RIVER OR STREAM: /	<del>-</del>	<del></del>

Case 3:24-cv-06256 Document 1-5 Filed 09/05/24 Page 4 of	Case 3:24-cv-06256	Document 1-5	Filed 09/05/24	Page 4	4 of 9
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4.

5.

6.

	FOR COUNTY USE ONLY YES NO
Access and Parking:	
PUBLIC ROAD FOR ACCESS TO WINERY: Sammit Lake Drive	<u></u>
(Small wineries requiring access by means of the following roadways shall not be eligible for use permit exemption.	
<ol> <li>State Highway Route 29 between Yountville and St. Helena (Lodi Lane) and all dead-end roads extending from that section of highway;</li> </ol>	
(2) State Highway 121 west of the City of Napa;	
(3) American Canyon Road west of Flosden Road;	
(4) Flosden Road).	,
PARKING SPACES: EXISTING SPACES:	
PROPOSED SPACES: 4	
Building Site Requirements:	
MONTH DURING WHICH WINERY CONSTRUCTION RELATED GROUND DISTURBING ACTIVITIES WILL OCCUR:  (April through October ONLY unless catch basin installed).  April—June	<u> </u>
NUMBER OF DEBRIS CATCH BASINS TO BE INSTALLED:	<u> </u>
TYPE OF EROSION CONTROL MEASURES INSTALLED TO DISCHARGE ALL CONCENTRATED RUN-OFF AT NON-EROSIVE VELOCITIES:	<u> </u>
TYPE OF GRASS MIXTURE TO BE USED IN AREAS  DISTURBED BY WINERY CONSTRUCTION:  DATE BY WHICH DISTURBED AREAS WILL BE RESEEDED:  October	<u>/</u> _
DATE BY WHICH DISTURBED AREAS WILL BE RESEEDED: October	
Landscaping Requirements:	
a. INDICATE ON THE PLOT PLAN THE NAMES AND LOCATIONS OF THE PLANT MATERIALS TO BE PLANTED TO SCREEN WINERY STRUCTURES, PARKING LOTS, AND OUTDOOR WORK AND STORAGE AREAS FROM VIEW FROM SURROUNDING PROPERTIES AND ROADWAYS.	
b. PROPOSED METHOD OF LANDSCAPE MAINTENANCE: drip irrigation	
FOR EXISTING VINEYARD.	<u></u>

Case 3.24-CV-00230 Document 1-3 Filed 09/03/24 Fage 3.019	.
	NAPA COUNTY USE ONLY
	YES NO
7. Environmental Considerations:	
1. DOES THE PROPOSED SMALL WINERY BUILDING OR RELATED FACILITIES LIE WITHIN AN "ENVIRONMENTALLY SENSITIVE AREA":	
No a. A DESIGNATED FLOODWAY	
No b. A RECOGNIZED ACTIVE EARTHQUAKE FAULT ZONE	
No c. AN AREA THREATENED BY LANDSLIDES	
No d. THE EXTENDED CLEAR ZONE OF A HELIPORT OR AIRPORT	
No e. AN ARCHAEOLOGICALLY SENSITIVE AREA	
No f. THE HABITAT AREA OF A RARE AND/OR ENDANGERED PLANT OR ANIMAL	
2. DOFS THE PROPOSED SMALL WINERY LIE WITHIN:	
probablyes. A HIGH FIRE RISK HAZARD AREA	
Nob. A RECOGNIZED HISTORIC STRUCTURE	
CERTIFY THAT THE ABOVE STATEMENTS ARE CORRECT AND THAT THE PLANS SUBMITTED ARE Roberted Brakesman	ACCURATE:
SIGNATURE OF APPLICANT SIGNATURE OF PROPERTY (if different from appl	- · · · · · <del>· -</del> · ·
(i) different from appr	reality
Teb 20, · 1984	198
DATE	
FOR COUNTY USE ONLY	
DATE FILED: # 23,1984 ACCEPTABLE PLOT PLAN SUBMITTED: YES	NO
FILE NO:TOPOGRAPHIC SITE LOCATION MAP SUBMITTED: YES	NO
TES	INO



Napa County Conservation, Development & Planning Department SMALL WINERY USE PERMIT EXEMPTION NO .: 18-200-21

### FINDINGS

ASSESSOR'S PARCEL	_ NO. (S):	1.8	3-200.	- 21					
THIS APPLICATION	does/does	not	QUALIFY	FOR A	SMALL	WINERY	USE	PERMIT	EXEMPTION
				BY:	Conse	tutive ryation ryant	<u>ع</u> Dev	<u> </u>	mdall nt and
				DATE	:	3/1/	84		

☐ Failure to active this application within one year of the Planning Department determination shall invalidate this application and a new application will be required.

cc: BUILDING INSPECTION DEPARTMENT

# TOPOGRAPHIC SITE LOCATION INFORMATION

U.S. GEOLOGICAL SURVEY QUADRANGLE TITLE: ST HELENA QUADRANGLE FILE NO. Cooksley Lake Inspiration int Lake Whitehead 32 Newton Lake - Crville Lake Henne 36 pring Angwin LEGEND Existing Proposed Parcel Boundary ---- ---Structure ---E3 Septic System ----Well-Spring -Reservoir -Road -Parking Lot or ------Outdoor Storage Area

The following additional information shall be required to support a request for a small winery use permit exemption:

- 1) An accurate, scaled plot plan showing:
  - a) The location of the proposed winery buildings, parking areas, outdoor storage and work areas, sewage disposal systems and access roads on the subject parcel.
  - b) The distances specified in Section 3 of the Small Winery Use Permit Exemption Application.
  - c) The location of any debris catch basins or erosion control measures installed.
  - d) Landscaping requirements specified in Section 6 of the Small Winery Use Permit Exemption Application.
- 2) A front building elevation.
- 3) A topographic site location map indicating the location of the proposed winery building, access road, and sewage disposal system.

# SUMMIT LAKE VINEYARDS

2000 SUMMIT LAKE DRIVE, ANGWIN, CALIFORNIA 94508 (707)965-3617

SMALL WINERY USE PERMIT EXEMPTION APPLICATION

This application for use permit exemption is to establish a small winery with an ultimate capacity in the range of 10,000 to 12,000 gal/year. The winery will be located on a parcel of 20+ acres in a low population area zoned AW.

The winery will not conduct public tours, and will not attract the public by offering wine tasting etc. There should be little impact on the area and only a small increase in traffic for deliveries etc. The winery will be set back 400+ft. from Summit Lake Drive and landscaping trees will be planted to reduce roadway visibility.

The winery will conform to Napa County design criteria for small wineries

#### CONTENTS:

- 1) Application for Small Winery Use Permit Exemption
- 2) Topographic site location map
- 3) County parcel map
- 4) Parcel plot plan
- 5) Enlarged parcel plot plan
- 6) Front building elevation



Napa County Conservation,
Development & Planning Department

Sincerely,

Robert J. Brakesman

Feb 23,1984

# Exhibit 6

( )	WINERY D	ATABASE LISTING	COUNTY	OF NAPA	February	2019																
	E	BASIC INFORMATION			FACILI	TY DAT	<b>A</b>	T	PRODUCT	TION DATA	I		TA	STING & VISIT	TATION		*	EMPLO	YEES &	KEY	DATES	
Winery ID	Parcel number	Name	Status	Bidg Size, orig. (sq ft)	Bldg Size, current (sq ft)	Has cave	Cave size (sq ft)	Total size (sq ft)	Production, orig (GPY)	Production, current permitted (GPY) *	Tour and tasting	Visitors per day **	Visitors per week **	Visitors per year **	Marketing event visitors	Marketing events per year	Total # visitors per year **	Employees	Parking spaces	Date approved	Date established	Zoning
528		3646 SMR VINEYARD	APVD	10,456	10,456		-	11,150	20,000	20,000	APPT	12	84	4,368	584	27 7	4,952	10	5	3/2/2016	0/44/0007	AW
347 378	018120036000	ABREU VINEYARDS ADAMVS	PROD PROD	5,144 8,004	5,144 14,509	X X	13,200 6,000	18,344 20,509	20,000	20,000	APPT APPT	32	12 150	624 7,800	170 521	11	794 8,321	3 10	5 25	4/2/2003 3/19/2003	9/11/2007 9/1/2006	AW:AC AW
2	018300022000	AETNA SPRING CELLARS	PROD	2,500	2,500		-	2,500	2,000	20,000	TST APPT	-	-	-	-	-	-	1	10	4/1/1986	6/1/1986	AW
383 326		ALKO RANCH, LLC ALLORA WINERY	PROD PROD	20,107 2,000	20,107 2,000	Х	12,000	32,107 2,000	100,000 12,000	100,000 12,000	NO APPT	- 2	- 4	- 208	864 240	- 12	864 448	- 5	15 5	9/3/2003 3/20/2002	9/1/2007 9/1/2008	AW AP
585		ALOFT WINERY	PEND	8,730	2,000	Х	28,106	36,836	50,000	12,000	APPT	20	140	7,300	1,510	12 30	8,810	10	11	3/20/2002	9/1/2006	AW
168		ALPHA OMEGA WINERY	PROD	6,000	17,419		-	17,419	50,000	100,000	PUB	400		50,800	2,800	-	53,600	22	65	7/24/1985	9/1/1986	AP
3 388		ALTA VINEYARD CELLAR ALTAMURA VINEYARDS	PROD PROD	480 30,232	480 30,232		-	480 30,232	5,000 250,000	5,000 250,000	NO APPT	- 10	4 150	208 7,800	- 240	- 8	208 8,040	4	6 21	5/2/1979 12/17/2003	9/1/1980 7/30/1999	AW AP
5		ALTAMURA WINERY	PROD	11,800	11,800	х	3,115	14,915	50,000	50,000	APPT	-	20	1,040	-	-	1,040	2	10	3/1/1995	10/28/1996	AW
309		AMICI CELLARS	PROD	5,000	5,000		-	5,000	20,000	20,000	APPT	25	5	260	100	6	360	1	3	10/20/1999	9/1/2002	AW
7 127		AMIZETTA VINEYARDS ANDRETTI WINERY	PROD PROD	2,700 1,230	2,700 15,500		-	2,700 15,500	3,750 20,000	12,000 100,000	NO PUB	- 20	- 100	- 5,200	-	-	- 5,200	3 5	5 20	5/1/1984 6/1/1985	9/1/1985 12/1/1985	AW AP
372		ANNAPURNA WINERY	UNKNWN	5,250	5,250	Х	11,700	16,950	12,000	12,000	APPT	20	60	3,120	560	14	3,680	3		11/20/2002	12, 1, 1000	AP
280		ANTHEM WINERY AND VINEYARD		1,600	1,680		-	1,680	30,000	30,000	NO	-	-	-	260	52	260	-		12/18/1996	10/1/1997	AW
12 99		ANTICA NAPA VALLEY ARAUJO ESTATES WINERY	PROD PROD	47,000 1,460	47,000 8,703	X X	36,000 9,700	83,000 18,403	450,000 20,000	450,000 20,000	PVT APPT	20 18	100 126	5,200 6,552	- 573	- 15	5,200 7,125	20 13	30 11	9/1/1987 7/1/1988	10/1/1992 9/1/1992	AW AP
289		ARDENTE ESTATE WINERY	PROD	900	900	^	-	900	8,000	8,000	NO	-	-	-	-	-	-	-	4		9/1/2001	AW
487	017110049000		APVD	6,000	6,000	Χ	5,000	11,000	25,000	25,000	APPT	10	50	2,600	250	7	2,850	2		11/15/2011		AW
359		ARKENSTONE VINEYARDS	PROD	11,067	15,528	Х	25,000	40,528	48,000	60,000	APPT	30	210	10,920	708	18	11,628	10	17	4/2/2003	9/1/2008	AW
98 363		ARNS WINERY ARROYO CREEK VINEYARDS	PROD APVD	800 7,424	800 7,424	x	23,050	800 30,474	2,000 125,000	10,000 125,000	NO APPT	12	84	4,368	2,500	- 52	6,868	2 7	3 10	3/30/1988 4/21/2003	9/1/1990	AW AW:AC
46		ARTESA WINERY	PROD	121,081	121,081	X	-	121,081	450,000	900,000	PUB	250	1,750	91,000	11,714	1,673	102,714	45	152	1/11/1989	9/1/1991	AW
232		ASHES AND DIAMONDS	PROD	2,400	38,419		-	38,419	2,000	100,000	APPT	400	2,800	145,600	5,616	236	151,216	22	52	7/1/1988	9/1/1989	AP
133 179		ASTRALE E TERRA WINERY ATALON WINERY	PROD PROD	1,200 1,800	864 12,100		-	864 12,100	1,000 1,500	20,000	TST APPT APPT	10	20	- 1,040	-	-	1,040	3	7 6	8/1/1988 5/1/1978	9/1/1990 12/1/1978	AW AP
143		AUBURNJAMES WINERY	PROD	5,500	18,554		-	18,554	40,000	100,000	APPT	48	336	17,472	2,177	64	19,649	5	14	7/16/1980	12/1/1980	AW
371		AZALEA SPRINGS WINERY	UNKNWN	8,591	8,591	Х	3,016	11,607	12,500	12,500	APPT	20	125	6,500	560	14	7,060	2	12	5/2/2001		AW
443 37	031070026000	B CELLARS BALDACCI FAMILY VINEYARDS	PROD PROD	6,330 576	21,552 7,474	X X	22,946 18,644	44,498	10,000 20,000	45,000 40,000	APPT APPT	80 100	450 700	23,400 36,400	2,235	71 34	25,635	16 10	30 16	2/21/2007 7/1/1986	9/1/2014 9/1/1989	AP AP
14		BALLENTINE WINERY	PROD	7,400	7,474	Х	10,044	26,118 7.400	50.000	,	TST APPT	-	10	520	1,420 -	-	37,820 520	4	-	12/8/1993	9/1/1995	AP AP
16	020300047000	BARNETT VINEYARDS	PROD	120	1,800	Х	3,276	5,076	20,000	20,000	TST APPT	-	-	-	-	-	-	2	6	9/1/1988	12/1/1988	AW
301		BARREL TEN QUARTER CIRCLE	PROD	96,200	96,200		-	96,200	44,500,000	44,500,000	APPT	10	70	3,640	2,640	36	6,280	94	75	1/20/1999	9/1/2003	IP:AC
251 121		BEAU VIGNE WINERY BEAUCANON ESTATE	PROD PROD	1,200 2,600	7,580 2,805		-	7,580 2,805	8,000 70,000	14,000 70,000	APPT NO	10	80	4,160 -	360	14	4,520 -	4	8 10	9/1/1984 4/14/1982	12/1/1984 4/14/1986	AP AP
17		BEAULIEU VINEYARDS	PROD	276,250	285,637		-	285,637	1,190,000	1,800,000	PUB	550	3,850	200,200	12,850	206	213,050	86	129	9/1/1903	9/1/1903	AP
563		BEAUTIFUL DAY WINERY	APVD	24,471	24,471		-	23,619	30,000	30,000	APPT	40	385	20,020	1,300	28	21,320	10	13	5/3/2017	0/4/0004	AP
290 101		BEHRENS FAMILY WINERY BELL WINE CELLARS	PROD PROD	2,000 3,848	7,319 11,409		-	2,000 11,409	10,000 20,000	20,000	APPT APPT	32 100	224 250	11,648 12,020	340 1,760	8 28	11,988 13,780	15	8 14	6/3/1998 10/1/1980	9/1/2001 9/1/1984	AW AP
18	022032011000		PROD	3,354	9,994		-	9,994	40,000	44,000		60	300	15,600	1,760	56	17,360	8		2/21/1979	9/1/1980	AP
258		BENNETT LANE WINERY	PROD	6,556	17,550		-	17,550	20,000	50,000	APPT	32	200	10,400	2,495	55	12,895	3		12/11/1991	9/1/1996	AP
589 213		BERGMAN FAMILY WINERY BERINGER WINE ESTATES	APVD PROD	7,081 6,000	7,081 5,400		-	5,174 5,400	8,000 20,000	8,000 20,000	NO TST APPT	-	-	-	-	-	-	3 2		12/20/2018 7/22/1988	9/1/1991	AW AP
471		BIN TO BOTTLE	PROD	13,000	13,000		-	13,000	310,000	310,000	NO	-	-	-	400	12	400	8		12/15/2005	1/1/2008	GI:AC
569	057152012000	BIN TO BOTTLE II	PROD	48,250	48,250		-	48,250	250,000	250,000		-	-	-	-	-	-	24	45	2/22/2017	7/6/2006	GI:AC
508 4		BLACK CAT VINEYARD BLACK STALLION	PROD PROD	3,350 43,600	3,350 43,600		-	3,350 43,600	12,500 100,000	12,500 100,000	APPT PUB	20 50	140 350	7,280 18,200	120	4	7,400 18,200	3 2	8 45	11/6/2013 5/21/1980	9/14/2014 9/1/1985	GI:AC AP
370		BLANKIET WINERY	PROD	11,583	11,583	Х	6,098	17,681	12,000	12,000		-	10	18,200 520	-	-	18,200 520	2			10/8/2007	AW
345	021200004000	BOESCHEN WINERY	PROD	1,360	1,360	Х	5,000	6,360	20,000	10,000	APPT	10	70	3,640	40	4	3,680	1	12	7/17/2002	8/15/2006	AW
92		BOND ESTATES	PROD	4,402	4,402	Х	10,400	14,802	6,000	,	TST APPT	-	- 4 450	-	- 7.070	- 126	-	4		12/1/1984	9/1/1988	AW
21 478		BOUCHAINE VINEYARDS BOURASSA WINERY	PROD PROD	32,000 9,604	44,485 9,604		-	39,588 9,604	225,000 60,000	225,000 60,000	PUB APPT	250 15	1,150 45	44,850 2,340	7,870 500	136 10	52,720 2,840	24 4	35 49	8/3/1983 9/9/2009	8/3/1985 9/1/2010	AW:AC GI:AC
595		BOYD FAMILY VINEYARDS	APVD	4,600	4,600		-	4,600	30,000	30,000	APPT	15	40	2,080	11	400	2,480	3	7		5/1/2010	AP
477		BRAND NAPA VALLEY	PROD	6,800	7,988	Х	7,700	15,688	10,000	10,000		18	108	5,616	1,870	19	7,486	6	15		9/25/2012	AW
357 502		BRANDLIN / CUVAISON CARNERO BRASSWOOD NAPA VALLEY	PRODMD	34,350	37,860 24,370	X X	25,000 16,500	62,860 40,870	34,000 50,000	155,048 50,000	APPT APPT	180 25	1,260 175	65,520 9,100	4,240 1,400	38 50	69,760 10,500	45 14		5/15/2002 6/6/2012	11/12/2004 8/26/2014	AW AW
395		BRAVANTE WINERY	PRODINID	24,370 8,100	24,370 8,100	X	2,300	10,400	20,000	20,000	APPT	25 4	20	1,040	220	8	1,260	3		5/19/2004	9/1/2008	AW
56	021400002000	BREMER FAMILY WINERY	PRODMD	6,780	6,780	Х	16,136	22,916	15,000	15,000	APPT	1	6	312	-	-	312	2	9	8/15/1979	9/1/1979	AW
437		BROMAN CELLARS	PROD	3,648	3,648	X	4,375	8,023	20,000	20,000	APPT	2	10	520	195	10	715	3		8/15/2007	9/4/2008	AW
322	025290030000	BROWN ESTATE VINEYARDS	PROD	2,704	2,704	Х	6,000	8,704	50,000	50,000	APPT	2	2	104	220	9	324	2	5	3/15/2001	9/1/2003	AW

Winery ID	Parcel number	Лате	Status	Bidg Size, orig. (sq ft)	Bidg Size, current (sq ft)	Has cave	Cave size (sq ft)	Total size (sq ft)	Production, orig (GPY)	Production, current permitted (GPY) *	Tour and tasting	Visitors per day **	Visitors per week **	Visitors per year **	Marketing event visitors	Marketing events per year	Total # visitors per year ***	Employees	Parking spaces	Date approved	Date established	Zoning
349		BRYANT FAMILY WINERY	PROD	6,276	9,293	Х	8,000	17,293	8,500	8,500	APPT	20	30	1,560	320	6	1,880	2	6	6/21/2000	11/21/2002	AW
22		BUEHLER VINEYARDS	PROD	1,800	12,187		-	12,187 17,092	9,600	,	TST APPT APPT	-	-	-	-	-	-	2	4	5/17/1978	9/1/1983	AW
23 305		BURGESS CELLARS BURGESS NAPA CELLARS	PROD PROD	9,172 14,500	17,092 14,500		-	14,500	40,000 75,000	60,000 75,000	NO	-	-	-	-	-	-	3	11 4	8/8/1972 6/30/1999	9/1/1943 9/1/2001	AW AP
274		CADE AT THIRTEENTH	PROD	6,500	20,822	Х	19,000	39,822	31,000	150,000	APPT	70	60	3,120	1,140	30	4,260	13	20	5/1/1985	9/1/1985	AW
431	024331001000		PROD	12,203	12,203	Х	14,290	26,493	30,000	30,000	APPT	15	75	3,900	750	15	4,650	6	11	5/3/2006	9/1/2007	AW
24	027010030000		PROD PROD	26,220	26,220		-	26,220	59,000	59,000	NO	- 726	2 240	160 450	20.614	-	-	6	12	9/16/1981	9/1/1982	AW
25 409		CAKEBREAD CELLARS CALDWELL WINERY	PRODMD	11,230 -	61,173	Х	18,438	61,173 18,438	250,000 25,000	500,000 25,000	APPT APPT	736 -	3,240 40	168,459 2,080	38,614 270	732 13	207,073 2,350	64	117 6	5/3/1978 12/15/2004	9/1/1979 5/5/2011	AP AW
571		CALISTOGA ARTISAN VILLAGE	APVD	9,144	-		-	9,144	48,000	48,000	APPT	40	240	12,480	384	8	12,864	16	20	3/19/2008	0/0/2011	AP
448		CALLA LILY ESTATE AND WINERY	PROD	6,870	7,630		-	7,630	16,000	16,000	APPT	15	75	3,900	430	9	4,330	3	20	5/7/2008	9/1/2010	AW
568		CANARD WINERY	PROD	3,005	3,005		-	3,005	10,000	10,000	APPT	10	70	3,640	240	8	3,880	3	4	5/4/2016	4/4/2016	AP
128 159		CANDLESTICK RIDGE VINEYARD CARDINALE WINERY	APVD PROD	3,356 11,400	3,018 172,060		-	3,018 172,060	20,000 50,000	20,000	NO APPT	120	500	26,000	600	- 6	26,600	2 16	6 54	7/6/1988 7/2/1980	9/1/1988 9/1/1981	AW AP
476		CARVER SUTRO WINERY	APVD	3,265	3,265	Х	6,700	9,965	20,000	20,000	APPT	20	120	6,240	370	10	6,610	3	8	7/15/2009	3/1/1301	AW
29		CASA NUESTRA	PROD	1,000	3,420		-	3,420	5,000	5,000	APPT	30	100	5,200	225	3	5,425	7	3	9/1/1979	9/1/1980	AP
259		CASTELLO DI AMOROSA	PROD	96,244	119,460	Х	30,000	149,460	250,000	250,000	PUB	200	600	31,200	-	-	31,200	6	100	1/6/1988	3/1/2004	AW
512 558		CASTELLUCCI FAMILY WINERY CASTLEVALE WINERY	APVD PEND	12,376 16,000	12,376 16,000	х	1,900	12,376 -	30,000	30,000	APPT APPT	50 18	210 126	10,920	830 760	19 40	11,750	10	10	5/6/2014		AP AW
352		CAVUS VINEYARDS	PROD	-	-	×	1,650	1,650	2,500	2,500	NO	-	-	-	-	-	-	1	2	7/3/2002	9/1/2004	AW
30		CAYMUS VINEYARDS	PROD	24,455	85,370		-	85,370	110,000	110,000	PUB	450	3,150	163,800	4,350	64	168,150	49	124	9/1/1971	9/1/1971	AP
494		CEJA VINEYARDS	PROD	21,603	31,758		-	31,758	45,000	45,000	APPT	24	168	1,176	4,485	56	5,661	12	23	6/16/2010	9/1/2011	AW:AC
354 559		CELANI FAMILY VINEYARDS CHANTICLEER WINERY	PROD APVD	2,150 6,900	2,150 6,900	v	8,900	2,150 15,800	10,000 10,000	10,000 10,000	NO APPT	- 10	- 70	3,640	300	- 10	3,940	- 2	1 6	7/3/2002 9/7/2016	9/1/2003	AP AP
32		CHAPPELLET WINERY	PROD	19,636	53,136	Х	0,900	53,136	59,445	150,000	PUB	40	280	14,560	585	12 9	15,145	24	26	9/1/2016	9/1/1969	AW
402		CHATEAU 15 WINERY	PROD	2,828	2,828	Х	11,338	14,166	20,000	20,000	APPT	4	36	1,872	460	14	2,332	4	9	3/2/2005		AW
34		CHATEAU BOSWELL	PROD	7,200	7,200	Х	10,860	18,060	48,000	48,000	PUB	30	210	10,920	-	-	10,920	4	10	12/9/1980	9/1/1982	AW
35 36		CHATEAU CHEVALIER WINERY CHATEAU CHEVRE WINERY	PROD UNKNWN	3,500 2,310	3,500 2,310		-	3,500 2,310	24,500 5,000	24,500	APPT TST APPT	-	-	-	-	-	-	4	10 6	8/1/1973 8/1/1978	12/1/1973 9/1/1979	AW AP
38		CHATEAU MONTELENA WINERY	PROD	14,000	18,162	Х	25,900	44,062	125,000	128,000	PUB	-	-	-	-	-	-	20	40	18820901	18860901	AP
39		CHATEAU POTELLE	PROD	4,800	5,790			5,790	6,000	48,000	PUB	36	250	13,000	-	-	13,000	4	20	3/1/1976	9/1/1978	AW
429		CHECKERBOARD VINEYARDS	PROD	8,498	8,498	Χ	19,000	27,498	15,000	15,000	APPT	22	75	3,900	200	7	4,100	2	5	3/15/2006	9/1/2007	AW
42 460		CHIMNEY ROCK VINEYARDS CIMAROSSA WINERY	PROD PROD	14,000 5,875	48,500 5,875	X	2,500	48,500 8,375	59,250 10,000	145,000 10,000	PUB APPT	100	350 40	18,200 2,080	6,106 400	149 11	24,306 2,480	18 3	23	2/26/1986 12/17/2008	9/1/1989 3/26/2010	AW AW
393		CLARK CLAUDON VINEYARD	UNKNWN	6,277	6,277	X	4,100	10,377	20,000	20,000	APPT	4	8	416	220	7	636	3	5	1/18/2006	3/20/2010	AW
8		CLIFF LEDE VINEYARDS	PROD	4,700	26,430	Х	31,300	57,730	30,000	120,000	PUB	145	1,015	52,780	1,355	18	54,135	24	42	4/4/1979	9/1/1979	AP
44		CLOS DU VAL WINE CO	PROD	15,000	62,882		-	62,882	36,000	350,000	PUB	175	900	46,800	4,496	94	51,296	33	55	8/15/1973	9/1/1974	AW
45 312		CLOS PEGASE INC COLGIN PARTNERS WINERY	PROD PROD	24,100 16,556	24,100 18,686	Х	19,000	43,100 18,686	55,000 20,000	200,000 20,000	PUB APPT	- 10	725 25	37,700 1,300	- 175	- 5	37,700 1,475	10		11/21/1984 7/19/2000	9/1/1986 9/1/2004	AP AW
47		COMBS BROTHERS CELLARS	UNKNWN	900	900		-	900	2,000	10,000	NO	-	-	1,300	-	-	-	-		12/1/1985	9/1/1986	AP
48	030120032000	CONN CREEK WINERY	PROD	10,000	30,055		-	30,055	260,000	850,000	PUB	-	500	26,000	20,520	-	46,520	15	36	5/16/1979	9/1/1980	AP
497		CONTINUUM WINERY	PROD	2,750	28,019	Х	21,758	49,777	6,600	28,000	APPT	2	14	728	450	6	1,178	16		3/7/2001	9/1/2002	AW
229 385		COOK FAMILY WINERY COQUEREL FAMILY WINERY	PROD PROD	600 12,741	2,789 12,741		-	2,789 12,741	6,500 75,000	20,000 75,000	TST APPT APPT	- 25	34 175	1,747 9,100	2,140	- 67	1,747 11,240	4 6	15 17	10/1/1988 9/3/2003	9/1/1990	AW AP
407		CORBETT VINEYARDS	UNKNWN	8,243	8,243	Х	4,000	12,243	30,000	30,000	APPT	-	10	520	140	4	660	2		8/18/2004		AW
288		CORISON WINERY	PROD	9,480	9,480		-	9,480	20,000	20,000	APPT	25	10	520	106	8	626	3		7/22/1998	9/1/2005	AP
511		CORONA WINERY	APVD	31,428	31,428		-	31,428	100,000	100,000	APPT	48	280	14,560	2,428	80	16,988	24		10/16/2013	0/1/1000	AP
49 57		COSENTINO WINERY DAKOTA SHY WINERY	PROD APVD	11,755 551	12,850 6,060		-	12,850 6,060	30,000 1,000	30,000 14,000	PUB APPT	20	350 112	18,200 5,824	- 80	- 2	18,200 5,904	5 10	29 14	6/1/1987 1/21/2016	9/1/1990	AP AW
53		DALLA VALLE VINEYARDS	PROD	2,500	7,070		-	2,849	5,000	20,000	NO	-	-	-	-	-	-	3		6/10/1985	9/1/1988	AW
118	027440007000		PROD	5,346	8,886	х	19,000	27,886	20,000	20,000	APPT	6	20	1,040	240	4	1,280	4	6	10/1/1988	9/1/1989	AP
340		DANCING HARES VINEYARD	PROD	4,086	4,086	Χ	4,885	8,971	15,000	15,000	APPT	-	16	192	70	5	262	2		1/15/2003	9/1/2010	AW
225 582		DARIOUSH WINERY DARMS LANE WINERY	PROD PEND	21,252 11,251	21,252 11,251	Х	- 11,771	21,252 23,022	25,000 30,000	100,000 30,000	PUB APPT	100 24	400 150	20,800 7,800	5,280 1,414	428 54	26,080 9,214	8 10	30	1/9/1980	9/1/1989	AP AP
582		DARMS LANE WINERY	PEND	11,251	11,251	X	11,771	23,022	30,000	30,000	APPT	24	150	7,800	1,414	54	9,214	10	-			AP
172		DAVIANA WINERY	PROD	4,840	4,840	Х	1,200	6,040	10,000	20,000	NO	-	-	-	-	-	-	1		11/2/1984	9/1/1985	AW
54		DAVID BUSBY WINERY	PROD	1,400	6,900	Х	6,500	13,400	5,500	30,000	APPT	20	35	1,820	1,377	13	3,197	4	19	10/1/1984	9/1/1985	AW
479 337		DAVID BUSBY WINERY DAVIS ESTATES	APVD PRODMD	18,162 6,306	18,162 26,445	х	- 15,445	18,162 41,890	50,000 30,000	50,000 30,000	NO APPT	-	- 168	- 8,736	300	- 4	9,036	7 5	26 15	7/1/2009 8/7/2002	9/1/2003	IP:AC AW
417		DEL BONDIO WINERY	PROD	7,000	7,000		-	7,000	38,000	38,000	PVT	-	3	156	-	-	156	1	4	3/7/2001	3, 1/2000	AP
339		DEL DOTTO FAMILY WINERY	PROD	4,200	4,200	х	15,163	19,363	48,000	48,000	APPT	-	200	10,400	1,146	31	11,546	4	20	8/12/2003	9/1/2008	AP
306		DEL DOTTO WINERY	PRODMD	7,422	7,422	Χ	2,364	9,786	10,000	20,000	APPT	10	50	2,600	500	10	3,100	2		7/13/1999	9/1/2004	CL
135 58		DELECTUS (MILAT WINERY) DIAMOND CREEK VINEYARDS	PROD PROD	1,280 3,000	5,340 9,000		-	5,340 9,000	20,000 5,000	20,000 10,000	PUB APPT	20 10	140 10	7,280 520	500	- 5	7,280 1,020	1 5	8 5	2/4/1986 4/3/1972	9/1/1986 9/1/1972	AP AW
00		J J		0,000	3,000			0,000	5,000	. 5,555				020	000		.,020	- 0		., 0, .012	C, .,	

Winery ID	Parcel number	<b>Лате</b>	Status	Bidg Size, orig. (sq ft)	Bidg Size, current (sq ft)	Has cave	Cave size (sq ft)	Total size (sq ft)	Production, orig (GPY)	Production, current permitted (GPY) *	Tour and tasting	Visitors per day **	Visitors per week **	Visitors per year **	Marketing event visitors	Marketing events per year	Total # visitors per year ***	Employees	Parking spaces	Date approved	Date established	Zoning
59		DIAMOND MOUNTAIN WINERY	PROD	1,408	1,408	Х	1,540	2,948	10,000	10,000	APPT	25	25	1,300	222	16	1,522	2		7/20/1994	7/9/1996	AW
509 61		DIOGENES RIDGE WINERY DOMAINE CARNEROS	APVD PROD	3,445 49,060	3,445 72,826	Х	5,800	9,245 72,826	30,000	30,000 432,000	APPT PUB	15 450	90 1,400	4,680 72,800	1,020 1,100	41 16	5,700 73,900	10 42	9 144	2/19/2014 9/16/1987	9/1/1989	AW AW
62		DOMAINE CHANDON	PROD	113,396	326,074		-	326,074	250,000	1,980,000	PUB	150	1,050	54,600	13,582	29	68,182	178	255	10/2/1974	9/1/1975	AP
63	022150024000	DOMAINE CHARBAY WINERY	PROD	7,500	7,500		-	7,500	20,000	20,000	APPT	-	´-	´-	-	-	´-	-	1	10/17/1980	9/1/1993	AW
64		DOMAINE MONTREAUX	PROD	7,956	7,956		-	7,956	10,000	20,000	NO	-	-	-	-	-	-	2		11/1/1986	11/1/1987	AP
65 67		DOMINUS ESTATE WINERY DUCKHORN VINEYARDS	PROD PROD	48,000 6,500	48,000 32,933		-	48,000 32,933	75,000 36,000	125,000 160,000	APPT PUB	82	36 626	1,872 32,552	1,212 5,175	49 167	3,084 37,727	14 42	40 40	7/17/1996 8/4/1976	10/1/1997 9/1/1975	AP AP
68		DUNN VINEYARDS	PROD	1,200	2,050	х	6,000	8,050	5,000	20,000	APPT	-	20	1,040	-	-	260	3	5	3/1/1982	12/1/1982	AW
69	020120026000	DUTCH HENRY WINERY	PROD	2,600	2,600	Х	4,500	7,100	20,000	20,000	PUB	10	50	2,600	-	-	2,600	13	10	1/18/1984	5/1/1984	AW
500		EAGLE EYE WINERY	APVD	8,800	8,800		-	8,800	30,000	30,000	APPT	16	112	5,824	1,452	53	7,276	9	6	9/21/2011	0/4/4000	AW
9 318		EAGLES TRACE EDGE HILL ESTATE WINERY	PROD PROD	2,700 12,200	26,099 13,450	Х	5,000	26,099 18,450	20,000 24,000	40,000 24,000	APPT APPT	15 -	20 60	1,040 3,120	360 315	16 7	1,400 3,435	6 5	9 17	2/1/1986 9/5/2001	6/1/1986 9/5/2001	AW AW
430		EEDEN VINEYARDS	PROD	3,398	3,398	^	-	3,398	15,000	15,000	APPT	4	8	416	130	5	546	2	5	6/7/2006	9/1/2009	AW
71		EHLERS ESTATE WINERY	PROD	4,000	11,350	х	11,220	22,570	13,000	25,000	PUB	-	-	300	1,105	41	1,405	8		11/20/1991	9/1/1992	AP
405		EHREN JORDAN WINE CELLARS	PROD	5,720	15,000	х	13,276	28,276	25,000	25,000	APPT	4	10	520	105	5	625	2	8	7/7/2004	9/1/2005	AW
72 304		EL MOLINO WINERY ELAN VINEYARDS	PROD PROD	2,500 2,940	5,500 3,040	Х	-	5,500 3,040	3,000 15,000	3,000 15,000	NO NO	-	-	-	-	-	-	2	10	7/1/1987 6/2/1999	9/1/1988 9/1/2000	AW AW
341		ELEVEN ELEVEN WINES	PROD	24,200	24,200		-	24,200	100,000	100,000	APPT	20	140	7.280	345	9	7,625	3	•	11/30/2001	9/1/2010	AP
584		ELLMAN FAMILY WINERY	WTHDRN	7,781			-	7,781	30,000	30,000	APPT	15	70	3,640	665	27	4,305	9	7			AW
165		ELYSE WINERY	PROD	1,450	6,650		-	6,650	600	60,000	APPT	6	24	1,248	-	-	1,248	7	6	6/5/1985	9/1/1985	AP
427	031080018000		PROD	1,529	1,529		-	1,529	2,500	2,500	NO APPT	- 0	-	-	1 460	-	4 272	- 2	2 9	2/1/2006	10/15/2007	AP AP
330 169	017210027000	ETUDE WINERY	PRODMD PROD	3,043 40,520	7,242 40,520		-	7,242 40,520	20,000 76,000	20,000 300,000	PUB	8 350	56 2,450	2,912 127,400	1,460 19,685	26 1,130	4,372 147,085	3 22		2/20/2002 11/17/1982	9/1/2005 9/1/1983	AW:AC
51		FAIRVIEW ESTATES WINERY	PROD	12,000	20,002	х	25,000	45,002	45,000	155,048	PUB	300	600	31,200	45,625	730	76,825	15	43	9/1/1959	9/1/1970	AW
423		FANTESCA ESTATE	PROD	4,700	4,700	х	6,900	11,600	20,000	30,000	APPT	18	100	5,200	1,205	43	6,405	8	13	12/5/2000	9/1/2002	AW
74		FAR NIENTE WINERY	PROD	13,000	18,000	Х	39,000	57,000	60,000	175,000	PUB	- 4	500	26,000	21,550	832	47,550	30	48	2/1/1979	9/1/1982	AP
75 518		FARELLA PARK VINEYARDS FARM COLLECTIVE WINERY	PROD PROD	550 13,865	5,200 13,865		-	5,200 13,865	8,000 80,000	12,500 80,000	APPT APPT	4 30	210	208 10,920	50 1,300	13	258 12,220	2 10	4 32	6/5/1985 12/18/2013	12/1/1985 5/22/2014	AW IP:AC
573		FAVIA ERICKSON WINEGROWERS		7,085	7,085		-	7,085	10,000	10,000	APPT	15	100	5,200	600	18	5,800	2		9/21/2011	0,22,2011	AW
481		FISHER WINERY	PROD	16,200	16,200		-	16,200	30,000	30,000	APPT	10	50	2,600	575	23	3,175	3		10/29/2009	11/18/1998	AP
122		FLEURY FAMILY WINERY	PROD	18,576	4,230		-	4,230	20,000	20,000	APPT	-	-	1,800	-	-	1,800	-	10	5/1/1985	12/1/1985	AP
78 566		FLORA SPRINGS WINE CO FLYNNVILLE WINE COMPANY	PROD APVD	3,620 26,200	23,065 26,200	Х	13,500	36,565 26,200	3,000 40,000	120,000 40,000	APPT APPT	100 25	700 175	36,400 9,100	14,310 150	317 6	50,710 9,250	20 20	38 17	11/1/1978 9/26/2017	9/1/1979	AW AW + AP
282		FOLEY JOHNSON WINERY	PROD	7,000	20,616		-	20,616	10,000	20,000	APPT	50	350	18,200	1,700	56	19,900	5		11/20/1996	9/19/1999	AP
55	027540006000		PROD	3,200	9,700		-	9,700	3,600	50,000	PUB	50	350	18,200	-	-	18,200	4	16	9/1/1996	9/1/1996	AP
436		FONTANELLA WINERY	PRODMD	7,569	7,569		-	7,569	30,000	30,000	APPT	4	10	520	220	5	740	4	5	7/5/2006	9/1/2008	AW
581 116		FORTUNATI WINERY FRANK FAMILY VINEYARDS	PROD PROD	1,727 81,000	1,727 102,570		-	1,727 102,570	12,000 350,000	12,000 564,500	APPT PUB	10	70 2,050	3,640 106,600	400 4,040	11 118	4,040 110,640	29	86	2/22/2017 18840901	8/19/2015 9/1/1952	AP AP
515		FRANK FAMILY VINEYARDS RUTHE		79,393	82,350		-	82,350	475,000	475,000	APPT	400	2,800	145,600	7,728	340	146,000	24	22	10040001	3/1/1302	AP
82	022130023000	FREEMARK ABBEY	PROD	8,820	30,232		-	30,232	60,000	60,000	PUB	-	1,800	93,600	-	-	93,600	12	198	18860901	9/1/1967	AW
83		FRISINGER VINEYARDS	PROD	576	1,008	Х	5,000	6,008	1,000	20,000	NO	-	-	-		-	-	2		11/1/1985	9/1/1986	AW
84 408	030090033000	FROGS LEAP WINERY	PROD PROD	23,624 15,202	38,568 14,302		-	38,568 14,302	240,000 5,000	240,000 10,000	APPT APPT	300 10	1,100 25	57,200 1,300	5,740 152	104 5	62,940 1,452	33 5		5/18/1994 4/20/2005	9/1/1996 9/1/2010	AP AW
472		GAMBLE FAMILY VINEYARDS	PROD	32,760	32,760		-	32,760	50,000	50,000	APPT	30	300	15,600	1,410	34	17,010	11		4/1/2009	9/25/2013	AP
404	031110018000	GAMBLE WINERY	UNKNWN	7,400	7,400		-	7,400	12,000	12,000	APPT	20	100	5,200	550	12	5,750	2	4	7/19/2006		AP
447		GANDONA WINERY	PROD	1,800	7,994	Х	4,716	12,710	6,000	20,000	APPT	12	72	3,744	700	13	4,444	5	14		9/1/2009	AW
336 467		GARGIULO WINERY GATEWAY WINERY	PROD APVD	4,420 261,000	8,573 261,000		-	4,420 261,000	20,000 600,000	20,000 600,000	APPT APPT	10 30	70 200	3,640 10,400	480 9,000	12 36	4,120 19,400	2 65	227	9/18/2002 3/5/2008	11/6/2006	AW IP:AC
524		GIRARD NAPA VALLEY	APVD	39,604	39,604		-	39,604	200,000	200,000	APPT	42	294	15,288	1,600	9	16,888	25		5/10/2016		AP
86	031180035000	GOOSECROSS CELLARS	PROD	3,800	7,151		-	6,511	9,000	30,000	APPT	50	350	18,200	710	15	18,910	10	22	10/28/1986	9/1/1988	AP
87		GRACE FAMILY WINERY	PROD	1,500	2,960		-	2,660	3,000	7,000	APPT	10	20	1,040	-	-	1,040	1	4		9/1/1987	AW
574 89		GRASSI WINERY GREEN AND RED VINEYARD	APVD PROD	7,403 732	7,403 2,112	Х	2,600	7,773 4,712	25,000 960	25,000 2,560	APPT APPT	12 20	70 10	3,640 520	155 24	3 12	3,795 544	10	9	2/1/2016 1/1/1987	12/1/1987	AW AW
90		GRGICH HILLS CELLARS	PROD	5,000	46,083	^	2,000	46,083	50,000	250,000	APPT	572	4,004	208,208	20,590	385	228,798	44	59	5/4/1977	10/1/1977	AP
451		GRIEVE FAMILY WINERY	PROD	6,115	6,115	Х	8,000	14,115	15,000	15,000	NO	-		-	100	3	100	4		9/20/2007	12/31/2014	AW
91		GRIGGS WINERY	UNKNWN	541	541		-	541	2,000	2,000	APPT	-	-	-	-	-	-	-		6/17/1981	9/1/1981	RC
151 112	031050053000 022150015000	GROTH WINERY AND OAKCROSS	PROD PROD	7,200 1,486	49,480 1,486		-	49,480 1,486	24,000 700	200,000	APPT TST APPT	-	180 -	9,360	5,400	77 -	14,760 -	24 1		5/21/1980 10/1/1982	9/1/1983 9/1/1984	AP AW
504		H and L WINERY	PROD	4,496	5,000		-	5,000	30,000	30,000	APPT	20	140	7,280	400	- 11	7,680	4	13		JIII 1304	AP
287		HAGAFEN CELLARS	PROD	6,800	6,800		-	6,800	50,000	50,000	APPT	25	150	7,800	725	12	8,525	6	22	3/4/1998	9/1/2003	AP
154		HAKANSON WINERY	UNKNWN	720	720		-	720	20,000	20,000	NO	-	-	-	- 7.000	- 474	-	1	20	8/1/1988	4/12/1996	AW
70 586	027120061000	HALL WINERY HARD SIX CELLARS WINERY	PROD PEND	5,228 3,539	179,787 -	х	- 7,135	179,787 10,674	2,805,000 20,000	1,260,000	PUB APPT	500 16	3,500 80	182,000 4,160	7,380 375	171 5	189,380 4,535	36 4	175 6	18850901	9/1/1934	AP AW
300	320100017000	THE STATE OF THE S	LLIND	0,000	_	^	7,100	10,014	20,000		7411	10	00	7,100	010	9	7,000		U			7 LV V

Winery ID	Parcel number	<b>Л</b> ате	Status	Bldg Size, orig. (sq ft)	Bidg Size, current (sq ft)	Has cave	Cave size (sq ft)	Total size (sq ft)	Production, orig (GPY)	Production, current permitted (GPY) *	Tour and tasting	Visitors per day **	Visitors per week **	Visitors per year **	Marketing event visitors	Marketing events per year	Total # visitors per year ***	Employees	Parking spaces	Date approved	Date established	Zoning
221		HARLAN ESTATE I	PROD	10,797	10,797		-	10,797	20,000		TST APPT	-	-	-	-	-	-	4	8	9/1/1988	10/1/1999	AW
257		HARLAN ESTATE II	PROD	37,800	46,462	Х	19,165	65,627	144,000	144,000	PUB	100	700	36,400	-	-	36,400	21		10/21/1981	9/1/1980	AW
279		HARTWELL WINERY	PROD	8,000	8,000	Х	5,000	13,000	12,000	36,000	APPT	24	120	6,240	465	8	6,705	10	23	8/21/1996	9/1/1998	AP
342 95	039270020000	HEITZ WINE CELLARS	PROD PROD	5,100 10,000	5,100 20,100	Х	30,000	5,100 50,100	20,000 90,000	20,000 144,000	APPT PUB	10 30	25 60	1,300 3,120	210 5,240	52	1,510 8,360	2 12	8 23	6/6/2001 18980901	9/1/2004 9/1/1961	AP AW
588		HEITZ WINE CELLARS 2	PROD	6,000	6,000	^	-	6,000	10,000	10,000	NO	-	-	5,120	5,240	-	-	-	5	6/6/1979	1/16/2018	AP
108		HELENA VIEW - JOHNSTON VINEY		1,200	1,200		-	1,200	2,000	,	TST APPT	-	-	-	-	-	-	-	4	7/1/1987	9/1/1989	AW
296		HENDRY RANCH WINERY	PRODMD	23,000	23,000		-	23,000	59,000	59,000	APPT	-	20	1,040	60	2	1,100	4	6	10/7/1998	9/1/2005	AP
324	038190001000	HERMAN WINERY	APVD	15,550	15,550		-	15,550	50,000	24,000	APPT	4	10	520	450	18	970	4	17	2/6/2002		AP
97		HESS COLLECTION WINERY	PROD	89,093	92,369		-	92,369	480,000	1,000,000	PUB	-	610	31,720	3,220	503	34,940	35	56	6/4/1986	9/1/1932	AW
442		HILLVIEW VINEYARD	APVD	7,700	7,700		-	7,700	30,000	30,000	APPT	16	112	5,824	1,430	27	7,254	6	9	2/7/2007	10/1/1000	AP
100 131		HONIG CELLARS HOPPER CREEK WINERY	PROD PROD	2,000 3,300	33,837 3,300		-	33,837	20,000 10,000	300,000 20,000	APPT NO	100	700	36,400	600	8	37,000	30	12	6/10/1982 3/6/1984	12/1/1982 9/1/1984	AP AP
438		HOURGLASS WINERY	PROD	3,300 4,700	4,700	Y	10,400	15,100	30,000	30,000	APPT	- 10	- 22	- 1,144	- 550	- 16	1,694	2		4/18/2007	9/1/1984	AW
346		HOWELL AT THE MOON WINERY	PROD	2,495	2,495		-	2,495	20,000	20,000	APPT	4	10	520	170	7	690	3	5	3/17/2004	6/29/2006	AW
525	047070016000	HUDSON VINEYARDS WINERY	APVD	35,223	35,223	Х	38,240	73,463	80,000	80,000	APPT	120	480	24,960	2,528	82	27,488	16	29	10/7/2015		AW
459	021410019000	HUNNICUTT WINERY	PROD	6,087	11,237	х	14,100	25,337	60,000	60,000	APPT	32	168	8,736	2,720	56	11,456	4	18	12/3/2008	9/1/2009	AW
491	047220013000		PRODMD	12,552	12,552		-	12,552	30,000	30,000	APPT	20	120	6,240	400	11	6,640	3	12	8/4/2010		AW
510		IDEOLOGY CELLARS	PROD	8,523	8,523		-	8,523	30,000	30,000	APPT	15	105	5,460	240	7	5,700	4	12	11/6/2013	9/8/2006	AP
313 376		JAMES COLE WINERY	PROD PROD	14,200 3,333	15,880 3,333	Х	16,500	32,380	50,000 10,000	50,000 10,000	APPT APPT	20 20	50 72	2,600 3.744	390 260	8 5	2,990 4,004	2	10 10	5/9/2000 6/4/2003	9/1/2005 9/1/2004	AW AW
106		JARVIS VINEYARDS	PROD	20,424	20,424	Y	51,724	72,148	40,000	40,000	APPT	50	350	18,200	200		18,200	4	20	1/22/1992	10/1/1992	AW
323		JERICHO CANYON WINERY	PROD	5,200	7,160	X	4,100	11,260	20,000	20,000	APPT	10	15	780	120	4	900	2	5	1/16/2002	9/1/2007	AW
114		JOEL GOTT WINES	PROD	13,000	13,490		-	13,490	35,000	120,000	APPT	17	85	4,420	-	-	4,420	9	22	5/7/1980	10/1/1980	AP
485	020180058000	JOSEPH CELLARS	PROD	4,702	4,941	х	15,798	20,739	30,000	30,000	APPT	75	525	27,300	4,560	106	31,860	6	28	4/27/2010	8/26/2013	AW
226		JOSEPH PHELPS VINEYARDS	PROD	17,000	72,984		-	72,984	420,000	420,000	APPT	200	800	41,600	-	-	41,600	68	108		9/1/1975	AW
384		JUDD'S HILL WINERY	PROD	7,108	7,108		-	7,108	30,000	30,000	APPT	8	28	1,456	-	-	1,456	2		10/15/2003	8/11/2005	AP
425 109		KAPCSANDY WINERY KATES VINEYARD	PROD PROD	11,820 1,200	11,820 1,200		-	11,820	20,000 20,000	20,000	APPT NO	- 6	36 -	1,872 -	1,020 -	27 -	2,892	2	5	9/19/2001 9/1/1986	9/1/2003 9/1/1988	AP AP
316		KATHRYN HALL WINERY	PROD	4,600	4,600	¥	13,240	17,840	18,000	18,000	APPT	15	105	5,460	630	26	6,090	2		7/18/2001	9/1/2006	AW
377		KEEVER WINERY	PRODMD	7,474	7,474	X	2,800	10,274	10,000	10,000	APPT	8	32	1,664	420	15	2,084	2	5	8/20/2003	9/1/2006	AW
197	030260029000	KELHAM WINERY	PROD	1,000	16,596		-	16,596	20,000	100,000	APPT	20	140	7,280	480	6	7,760	6	10	9/17/1984	9/1/1985	AP
439		KELLY FLEMING WINES	PROD	6,305	6,305	х	7,000	13,305	12,000	12,000	APPT	8	60	3,120	490	6	3,610	4	6	10/4/2006	9/1/2010	AW
579		KENNEFICK RANCH WINERY	PEND	4,740	4,740		-	4,740	20,000	20,000	APPT	14	98	5,096	350	11	5,396	4	6			AW
170		KENT RASSMUSSEN WINERY CARI		400	17,162		-	17,162	1,200	100,000	APPT	24	168	8,736	1,602	54	10,338	10	12	1/1/1986	12/1/1986	AW:AC
391 28		KENZO WINERY KIEU HOANG WINERY	PROD PROD	22,500 3,200	29,465 28.965	Х	25,000	54,465 28,965	85,000 35.500	85,000 240,000	APPT PUB	25 28	75 51	3,900 2.652	1,550 -	27	5,450 2.652	10 10	20 28	3/16/2005 4/4/1973	9/1/2010 9/1/1974	AW AW
484		KITCHAK WINERY	PROD	2.348	6.020		-	6.020	5.000	15.000	APPT	20	140	7.280	680	26	7.960	3	6	1/20/2010	9/1/2011	AP
421		KONGSGAARD WINERY	PROD	700	700	Х	7,000	7,700	12,000	12,000	NO	-	-	-	-	-	-	6	~	6/15/2005	6/23/2010	AW
294		KULETO VILLA VINEYARDS	PROD	17,847	18,299		-	18,299	75,000	75,000	APPT	15	-	450	-	-	450	3		10/7/1998	9/1/2000	AW
113		LA JOTA VINEYARD	PROD	4,800	5,000	х	5,700	10,700	10,000		TST APPT	-	4	208	-	-	208	1		11/1/1981	9/1/1982	AW
111			UNKNWN	1,600	1,600		-	1,600	20,000	20,000	NO	- ,	-	-	-	-	-	2	10		9/1/1989	AW
390 373		LAGIER MEREDITH WINERY LAIL VINEYARDS	PROD APVD	2,850 6,800	2,850 6,800	X X	2,860 11,000	5,710 17,800	5,000 12,000	5,000 12,000	APPT APPT	4 8	20 10	1,040 520	560	- 14	1,040 1,080	1 2	5	1/21/2004 2/5/2003	10/25/2017	AW AW
295		LAIRD FAMILY ESTATES	PROD	63,781	147,356	X	11,000	147,356	450,000	900,000	APPT	200	600	31,200	5,360	110	36,560	47	64	8/19/1998	9/1/2001	AVV
406		LARKMEAD VINEYARDS	PROD	18,047	18,047		-	18,047	36,000	75,000		100	800	41,600	1,740	51	43,340	25	25	18950901	9/1/2006	AP
490	018300017000	LAST RESORT WINERY	APVD	9,839	9,839		-	9,839	50,000	50,000	APPT	20	140	7,280	720	12	8,000	3		5/16/2001		AW
242		LAURA MICHAEL WINES	PROD	600	600		-	600	5,000	5,000	APPT	12	84	4,368	255	7	4,623	1	11	6/1/1980	12/1/1980	AW
555		LEAF AND VINE	APVD	3,223	3,561		-	3,561	18,500	18,500	APPT	30	135	7,020	200	6	7,220	5	45	5/6/2015	04:::25=	GI:AC
1		LIANA ESTATES WINERY	PROD	8,000	34,511		-	34,511	50,000	250,000	APPT	75	525	27,375	3,612	63	30,987	22		11/1/1979	9/1/1982	AW
446 410	030300005000	LIEFF WINERY LINDSTROM WINERY	APVD PROD	3,200	3,200	v	5,750	3,200 5,750	3,000 3,500	3,000 3,500	APPT APPT	- 6	8 6	416 312	60 168	2 20	476 480	2	4	8/1/2008 11/3/2004	10/19/2009 1/23/2009	AW AW
513		LMR RUTHERFORD ESTATE WINEF		- 15,160	33,453	Х	5,750	21,504	100,000	100,000	APPT	50	330	17,160	1,400	32	18,560	8		7/16/2014	5/10/1995	AVV
501		LODESTONE VINEYARDS	APVD	9,110	8,752	х	7,230	15,302	20,000	20,000	APPT	35	245	12,740	390	8	13,130	10		11/16/2011	3, 13, 1333	AW
276	022140057000		PROD	16,712	16,712		-	16,712	50,000	50,000	APPT	30	70	3,640	720	24	4,360	10	18		9/1/1970	AW
572	032540037000	LONEN FAMILY WINERY	EXPIRD	-	-		-	· -	-	-		-	-	-	-	-	-	-	-			
119		LONGMEADOW RANCH WINERY	PROD	16,500	16,500	х	6,100	16,500	16,000	16,000	PVT	-	-	-	144	12	144	3	6		9/1/1996	AW
123		LOUIS M MARTINI WINERY	PROD	105,000	153,762		-	153,762	2,000,000	2,000,000	PUB	250	1,694	88,088	1,000	4	89,088	37	109	9/1/1922	9/1/1923	AP
124		LUNA VINEYARDS	PROD	4,080	16,480		-	16,480	50,000	150,000	APPT	60	420	21,840	2,860	77	24,700	15	28	5/17/1978	9/1/1980	AP
137 369		MADONNA ESTATE - MONT ST JOI MADOROM WINERY	PROD PROD	5,200 2,210	15,280 2,210		-	15,280 2,210	50,000 10,000	50,000 10,000	PUB NO	-	50 -	2,600	-	-	2,600	- 6	26 -	5/1/1978 7/2/2003	9/1/1983	AW AP
360		MADRIGAL VINEYARDS	PROD	7,352	7,617			7,617	36,000	36,000	APPT	4	20	1,040	170	7	1,210	- 5		12/3/2003	9/1/2008	AP
527		MAHONEY VINEYARDS	APVD	9,410	9,410		-	9,410	30,000	30,000	APPT	15	84	4,368	450	12	5,910	2		5/18/2016	1. 1,2000	AW
412		MALDONADO WINERY	PROD	3,692	3,692	Х	2,800	6,492	15,000	30,000		12	30	1,560	80	3	1,640	3		11/17/2004	9/9/2010	AW

Winery ID	Parcel number	Name	Status	Bidg Size, orig. (sq ft)	Bidg Size, current (sq ft)	Has cave	Cave size (sq ft)	Total size (sq ft)	Production, orig (GPY)	Production, current permitted (GPY) *	Tour and tasting	Visitors per day **	Visitors per week **	Visitors per year **	Marketing event visitors	Marketing events per year	Total # visitors per year ***	Employees	Parking spaces	Date approved	Date established	Zoning
445		MALK FAMILY VINEYARDS	APVD	1,275	1,275		-	1,275	2,400	2,400	APPT	4	28	1,456	-	-	1,456	2	4			AP
480 483		MANSFIELD WINERY MARCIANO WINERY	APVD PROD	15,688 10,675	15,688 10,675		-	15,688 10,675	20,000 20,000	20,000	APPT APPT	20 15	120 75	6,240 3,900	624 375	19 7	6,864 4,275	2		10/27/2009 11/18/2009	3/25/2013	AW AW
129		MARIO PERELLI MINETTI	PROD	1,500	6,400		-	6,400	10,000		TST APPT	-	-	-	-	- '	-,210	2		11/1/1986	9/1/1988	AP
130		MARKHAM WINERY	PROD	34,083	73,983		-	73,983	30,000	429,000	PUB	350	450	23,400	7,000	81	30,400	18		18740901	9/1/1978	AP
293 389		MARTIN ESTATE MASKED MAN WINERY	PROD UNKNWN	5,420 3,040	5,420 3,040		-	5,420 3,040	20,000 8.000	20,000 8,000	APPT APPT	25 4	25 10	1,300 520	312 200	16 7	1,612 720	1	5 4	10/21/1998 2/4/2004	9/1/2003	AP AP
461		MATERRA WINERY	PROD	20,465	26,118		-	26,118	50,000	110,000	APPT	18	40	2,080	200	2	2,280	4	24	1/7/2009		AP
291		MAXVILLE LAKE WINERY	PROD	23,662	23,662	Х	14,995	38,657	59,000	165,000	APPT	75	325	16,900	3,600	68	20,500	20	50	7/22/1998	9/1/2003	AW
132		MAYACAMAS VINEYARDS	PROD	-	-		-	-	50,000	5,000	APPT	-	-	-	-	-	-	11	-	18890901	9/1/1944	AW
141 41		MCKENZIE MUELLER WINERY McVICAR WINERY	PROD PROD	4,400 1,200	24,623 1,731		-	24,623 1,200	20,000 20,000	96,000 20,000	APPT APPT	25 12	50 84	2,600 624	300	10	2,600 924	5 7	12 6	7/28/1989 10/11/1988	3/3/1990 10/1/1995	AW AP
284		MEADOWOOD LANE WINERY	PROD	6,000	9,520	Х	15,000	24,520	5,000	48,000	APPT	19	90	4,680	1,140	50	5,820	4		12/17/1997	9/1/2006	AW
526		MELKA WINERY	PROD	6,359	6,359		-	6,359	10,000	10,000	APPT	7	30	1,560	160	3	1,720	5	7	6/2/2015	5/11/2012	AW
521 329	021040017000 021420045000	MENDING WALL WINERY MERUS WINES	PROD PROD	33,630 4,580	33,630 4,580	v	- 6,947	33,630 11,527	60,000 20,000	60,000 20,000	APPT APPT	60 25	210 125	10,920 6,500	1,020 130	18 10	11,940 6,630	10	20 10	2/5/2014 3/6/2002	9/1/2005	AP AW
134		METZGER VINEYARDS	UNKNWN	670	670	٨	- 0,347	670	800	800	NO	-	-	-	-	-	-	-	5	9/1/1988	9/1/1990	AW
152		MINER FAMILY WINERY	PROD	17,500	19,500	Х	22,000	41,500	120,000	300,000	PUB	-	-	68,000	1,760	70	69,760	12	35	5/20/1987	9/1/1996	AW
76	025380021000		PROD	2,650	11,921	х	5,511	17,432	3,300	15,000	APPT	15	75	3,900	420	14	4,320	3	9	10/5/1988	9/1/1989	AW
138 444		MONTICELLO CELLARS (CORLEY F MORLET FAMILY ESTATE	PROD PROD	11,500 2,697	11,500 4,121	Х	5,000	11,500 9,121	60,000 20,000	100,000 20,000	PUB APPT	12 12	84 25	4,368 1,300	- 185	- 8	4,368 1,485	6	40 6	8/5/1981 1/2/2008	9/1/1980 9/1/2012	AP AW
139		MOSS CREEK WINERY	PROD	5,300	7,600	X	15,500	23,100	100,000	100,000	PUB	100	600	31,200	-	-	31,200	2	49	4/1/1987	9/1/1987	CL
576	032500033000	MOUNTAIN PEAK WINERY	PROD	14,458	14,458	х	33,424	47,882	100,000	100,000	APPT	60	275	14,300	275	3	14,575	21	26	8/22/2017	2/5/2018	AW
140		MT VEEDER WINERY	PROD	2,240	3,300		-	3,300	6,000	20,000	APPT	-	2	104	-		104	-	-	8/7/1972	12/1/1972	AW
392 142		MT. VEEDER SPRINGS WINERY MUMM NAPA VALLEY	UNKNWN PROD	2,860 136,700	2,860 140,834		-	2,860 140,834	10,000 500,000	10,000 850,000	NO PUB	-	2,900	150,800	110 4,450	5 137	110 155,250	2 87	3 91	6/21/2006 7/15/1987	9/1/2008 9/1/1988	AW AP
441		NAPA CUSTOM CRUSH / CAVES AT		-	2,400	Х	16,000	18,400	30,000	60,000	APPT	20	140	7,280	1,320	18	8,600	4	6	8/2/2006	9/5/2013	AW
434		NAPA HARVEST WINERY	APVD	5,120	5,120	Х	7,440	12,560	36,000	36,000	APPT	20	50	2,600	140	4	2,740	3		6/21/2006		AW
332 144		NAPA VALLEY RESERVE NAPA WINE CO	PROD PROD	25,130 11,525	26,130 80,955	Х	42,000	68,130 80,955	48,000 1,000,000	48,000 4,000,000	APPT APPT	6 90	20 340	1,040 17,680	4,540 500	266 3	5,580 18,180	13 35	18 45	3/20/2002 18770901	9/1/2005 9/1/1933	AW AP
310	024040035000		PROD	8,150	8,150	Х	7,132	15,282	25,000	35,000	APPT	15	35	1,820	300	7	2,120	2	5	1/19/2000	9/1/2001	AW
375	031070028000	NEMEREVER WINERY	PROD	4,092	4,092	Х	3,356	7,448	10,000	10,000	APPT	10	24	1,248	80	6	1,328	1	4	2/5/2003	7/11/2013	AP
146		NEWTON VINEYARD	PROD	12,097	19,800	Х	14,400	34,200	18,000	130,000	APPT	60	50	2,600	-	-	2,600	8	28	5/1/1979	12/1/1979	AW
187 148		NEYERS VINEYARDS WINERY NICHELINI VINEYARDS	PROD PROD	8,000	8,000	Х	6,800	14,800	10,000 12,000	40,000 12,000	NO PUB	-	100	5.200	-	-	5,200	-	4	10/6/1982 18900901	9/1/1983 9/1/1920	AW AW
307		NICKEL AND NICKEL WINERY	PROD	53,936	62,565		-	62,565	125,000	125,000	APPT	75	350	18,200	4,550	161	22,750	6	45	8/18/1999	9/1/2006	AP
103		NIEBAUM COPPOLA ESTATE HWY	PROD	67,771	74,879	х	18,400	93,279	10,000	250,000	PUB	-	3,391	176,332	-	-	176,332	78	143	18790901	9/1/1933	AW
149		NIEBAUM COPPOLA ESTATE NIEBA	-	9,500	30,090		-	30,090	25,000	50,000	APPT	20	15	780	1,170	41	1,950	8	25	8/16/1978	12/1/1978	AW
449 153		NORMAN ALUMBAUGH WINERY OAKVILLE RANCH	APVD PROD	21,052 2,354	21,052 2,354		-	21,052 2,354	50,000 3,000	50,000 5,000	APPT TST APPT	20	140	7,280	244	8 -	7,524 -	3	10 10	8/1/2007 7/23/1985	12/1/1985	AW AW
50		OBRIEN FAMILY VINEYARD	PRODMD	4,200	4,200		-	4,200	20,000	20,000	NO	-	-	-	-	-	-	2	6	7/1/1982	12/1/1982	AP
553		O'CONNELL FAMILY WINERY	PEND	27,280	27,280		-	27,280	90,000	90,000		120	410	21,320	3,000	30	24,320	24	44	0/4/4000	0/4/4005	AP
222 319		ODETTE WINERY OLNEY FAMILY WINERY	PROD PROD	1,800 19,237	17,680 19,237	X X	8,160 15,000	25,840 34,237	2,000 25,000	59,999 25,000	PUB APPT	12 10	24 70	47,684 3,640	7,800 720	96 12	55,484 4,360	14	28 12	9/1/1980 10/3/2001	9/1/1983 9/1/2004	AW AW
416		ONE HOPE WINERY	PROD	15,006	17,063	^	-	17,063	20,000	20,000	APPT	20	100	5,200	1,595	38	6,795	9		3/16/2005	10/28/2015	AP
155	031020007000	OPUS ONE WINERY	PROD	60,000	131,906		-	131,906	82,000	250,000	APPT	200	1,450	26,000	2,850	35	28,850	78	122	1/1/1990	9/7/1992	AP
311		O'SHAUGHNESSY WINERY	PROD	7,917	6,891	Х	11,600	18,491	15,000	15,000	APPT	20	7	365	80	4	445	3		2/16/2000	9/1/2005	AW
115 381		OUTPOST WINES OVID VINEYARDS	PROD PROD	1,548 10,805	9,155 12,363		-	9,155 12,363	1,800 18,000	50,000 18,000	APPT APPT	30 35	180 245	9,360 12,740	325 390	9 8	9,685 13,130	10 4	- 9	3/1/1987 6/4/2003	9/1/1988 9/1/2007	AW AW
355		PAHLMEYER WINERY	PROD	56,057	56,057		-	56,057	100,000	100,000	APPT	20	70	3,640	1,490	7	5,130	16		4/17/2002	12/1/2010	AW
361		PALISADES WINERY	APVD	32,646	32,646	х	6,000	38,646	120,000	120,000	APPT	70	60	3,120	1,440	24	4,560	9		11/20/2002		AW
334		PALLADIAN ESTATE	PROD PROD	-	-	X	2,470	2,470 55,000	5,000	5,000	NO APPT	-	- 2F0	- 18 200	48 130	2	48 18,330	- 2	6		9/1/2003	AW
343 308		PALMAZ WINERY PALOMA VINEYARD	PROD	3,293	3,613	Х	55,000	3,613	35,000 10,000	35,000 10,000	APPT	50 2	350 14	18,200 728	130 100	3	18,330	- 3	30 8	6/20/2001 7/7/1999	11/12/2002 9/1/2002	AW AW
156		PAOLETTI ESTATES WINERY	PROD	2,408	3,604	Х	6,400	10,004	16,000	16,000	APPT	10	10	520	30	3	550	2	-	1/20/1993	9/1/1995	AP
157		PARADIGM WINERY	PRODMD	1,200	4,616		-	4,616	6,000	30,000	APPT	10	15	780	30	1	810	4		6/15/1988	9/1/1990	AP
317 564		PARADUXX VINEYARDS PAUL HOBBS - NATHAN COOMBS V	PRODMD	22,865 19,250	32,909 19,250		-	32,909 19,250	156,000 60,000	200,000	APPT APPT	50 30	350 210	18,200 10,920	7,625 300	257 4	25,825 11,220	38 9		8/15/2001 10/5/2017	9/1/2006	AP AW
344	057190020000		PROD	12,800	12,800		-	12,800	20,000	20,000	PVT	10	70	3,640	100	1	3,740	2		9/25/2002	9/1/2004	IP:AC
158		PEJU PROVINCE WINERY	PROD	9,431	26,866		-	26,866	60,000	120,000	APPT	-	450	23,400	480	12	23,880	16	40	6/20/1984	12/1/1984	AP
523		PELOSI WINERY	APVD	2,100	2,100	Х	1,000	3,100	5,000	5,000	APPT	10	8	416	50	2	466	5		8/17/2005	44/0/0000	AP
368 185		PERATA WINERY PESTONI FAMILY	PROD PROD	4,780 6,200	4,780 7,900		-	4,780 7,900	20,000 35,000	20,000 35,000	APPT PUB	20 20	50 150	2,600 7,800	320	14 -	2,920 7,800	2		4/8/2003 10/1/1976	11/8/2006 9/1/1977	AP AP
358		PHELAN WINERY	PROD	800	800	х	2,080	2,880	4,800	4,800	NO	-	-	-		-	-	-	1		9/1/2004	AW

Winery ID	Parcel number	Name	Status	Bldg Size, orig. (sq ft)	Bidg Size, current (sq ft)	Has cave	Cave size (sq ft)	Total size (sq ft)	Production, orig (GPY)	Production, current permitted (GPY) *	Tour and tasting	Visitors per day **	Visitors per week **	Visitors per year **	Marketing event visitors	Marketing events per year	Total # visitors per year ***	Employees	Parking spaces	Date approved	Date established	Zoning
452		PHIFER PAVITT FAMILY VINEYARD		3,360	3,360		-	3,360	10,000	10,000	APPT	4	28	1,456	110	9	1,566	2	4	8/25/2009	9/1/2011	AW
241 160		PHILIP VINEYARD PHOENIX VINEYARDS	PROD PROD	5,000 2,580	5,000 2,580		-	5,000 2,580	1,000 5,000		TST APPT	-	-	-	-	-	-	2	3	9/1/1983 11/26/1986	9/1/1985 9/1/1991	AW AW
519		PIAZZA DEL DOTTO	PRODMD	16,243	17,923	Х	15,970	33,893	48,000	48,000	APPT	-	200	10,400	1,146	31	11,546	14	37	10/6/2010	9/1/1991	AP
403		PILLAR ROCK WINERY	UNKNWN	6,534	6,534	Х	6,779	13,313	16,000	16,000	APPT	-	40	2,080	1,048	90	3,128	3	9	8/17/2004		AW
161		PINA CELLARS	PROD	3,000	3,000		-	3,000	20,000	20,000	APPT	-	30	1,560	-	- 110	1,560	2	6	5/21/1980	9/1/1982	AW
162 260		PINE RIDGE WINERY PLUMP JACK WINERY	PROD PROD	17,700 7,574	35,896 7,574	Х	31,830	67,726 7,574	120,000 25,000	300,000 25,000	PUB PUB	119 20	833 140	43,316 7,280	12,640	112	55,956 7,280	30 5	69 30	9/1/1978 9/1/1973	9/1/1978 9/18/1981	AP AP
164		POPE VALLEY WINERY	PROD	4,836	4,836		-	4,836	5,000	20,000	PUB	-	20	1,040	-	-	1,040	4	-	7/17/1972	12/1/1972	AW
348		PORTER VINEYARDS	PROD	3,000	3,000	Х	21,000	24,000	12,000	12,000	APPT			120	-	-	120	1	4	7/17/2002	9/1/2007	AW
166 167		PRAGER WINERY PRIDE MOUNTAIN VINEYARDS	PROD PROD	1,940 5,400	3,352 5,400	Х	14,000	3,352 19,400	4,000 50,000	8,500 50,000	APPT APPT	6 20	42 20	2,184 1,040	1,060	- 49	2,184 2,100	4 5	7	9/1/1979 10/19/1994	9/1/1979 2/14/2001	RC AW
136		PROVENANCE VINEYARDS	PROD	16,000	39,925	Χ	-	39,925	85,000	180,000	PUB	25	65	3,380	3,600	36	6,980	12	36	1/1/1987	12/1/1987	AVV
415	030060063000	QUINTESSA WINERY	PROD	30,430	30,430	х	17,000	47,430	180,000	180,000	APPT	100	500	26,000	570	13	26,570	12	36	12/6/2000	9/1/2002	AP
216		QUIXOTE WINERY	PROD	8,050	8,050		-	8,050	20,000	20,000	APPT	10	70	3,640	-	-	3,640	4	6	4/16/1986	9/1/1997	AP
505 171		RANG DONG WINERY RAYMOND VINEYARD AND CELLAF	PROD PROD	40,818 49,250	70,418 130,301		-	70,418 130,301	160,000 50,000	600,000 750,000	PUB PUB	20 400	50 2,800	2,600 145,600	600 5,520	3 128	3,200 151,120	40 80	88 158	10/7/1987 5/2/1984	9/1/1988 9/1/1985	IP:AC AP
224	039600001000		PROD	1,600	4,600		-	4,600	20,000	20,000	APPT	15	50	2,600	-	-	2,600	-	-	8/3/1988	9/1/1989	AP
286		REATA WINERY	PROD	52,365	56,215		-	56,215	200,000	1,195,000	APPT	600	2,000	104,000	14,700	74	118,700	21	75	11/19/1997	8/1/1998	AW:AC
594		RED LAKE WINERY	PEND	8,200	-	Х	7,500	15,700	30,000	-	APPT	12	75	3,900	330	8	4,230	4	13	0/0/0040		AW
522 278		REFUGE WINERY REGUSCI WINERY	APVD PROD	18,875 2,980	18,875 22,000		-	18,875 22,000	50,000 25,000	50,000 50,000	APPT APPT	124 150	868 400	45,136 20,800	3,370 1,450	115 16	48,506 22,250	10 16	25 17	6/6/2012 5/15/1996	9/1/1996	AP AP
492		RELIC WINERY	PROD	8,641	8,641	х	2,458	11,099	20,000	20,000	APPT	20	120	4,180	278	11	4,458	4		12/14/2010	8/19/2015	AW
411		RENTERIA WINERY	PROD	11,275	11,275	Х	8,869	20,144	18,000	18,000	APPT	-	56	2,912	392	7	3,304	3	6	7/20/2005	7/31/2015	AW
335		REVANA WINERY	PROD	6,624	6,624		- 4 740	6,624	15,000	15,000	APPT	8	40	2,080	258	12	2,338	3	6	4/3/2002	9/1/2005	AP
173 314		REVERIE ON DIAMOND MOUNTAIN REYNOLDS WINERY	PROD PROD	5,237 7,800	5,237 10,066	Х	4,710 -	9,947 10,066	5,000 20,000	9,200 40,000	APPT APPT	20 40	100 280	5,200 14,560	440 1,906	18 52	5,640 16,466	2	5 22	6/21/1995 6/27/2000	9/21/1995 9/1/2004	AW AW
418		RIPE PEAK WINERY	PROD	405	405	х	1,600	2,005	1,500	1,500	APPT	8	28	1,456	400	11	1,856	2	4	3/16/2005	9/1/2006	AW
175		RITCHIE CREEK VINEYARDS	PROD	500	500		-	500	1,000		TST APPT	-	-	-	-	-	-	1	6	8/1/1981	12/1/1981	AW
380		ROBERT BIALI VINEYARDS	PROD	19,706	23,804		-	19,706	40,000	60,000	APPT	21	195	10,140	200	2	720	15	30	4/21/2003	9/1/2006	AP
302 453		ROBERT CRAIG WINERY ROBERT FOLEY VINEYARDS	PROD PROD	10,944 -	12,600 1,760	x	12,350	12,600 14,110	20,000 30,000	25,000 50,000	APPT APPT	12 10	6 60	312 3,120	168 244	8 14	480 3,364	4	5 6	4/7/1999 4/4/2007	9/1/2005 9/1/2008	AW AW
176		ROBERT KEENAN WINERY	PROD	6,890	10,006		-	10,006	50,000	50,000	APPT	35	245	12,740	1,050	21	13,790	10	6	9/1/1974	9/1/1977	AW
177		ROBERT MONDAVI CARNEROS WII	PROD	18,248	19,640		-	19,640	-	340,000	NO	-	-	-	100	2	100	9	10	6/2/1993	9/1/1993	AW
178 206		ROBERT MONDAVI WINERY ROBERT SINSKEY VINEYARDS	PROD PROD	101,130 13,000	200,877 9,000	V	10,685	195,377 19,685	1,200,000 65,000	3,000,000 65,000	PUB PUB	- 132	4,025 129	209,300 6,708	19,560 420	474 14	228,860 7,128	331 10	382 30	9/1/1930 2/4/1987	9/1/1966 9/1/1989	AP AW
367		ROBINSON FAMILY VINEYARDS	PROD	1,086	1,086	X	2,100	3,186	15,000	15,000	APPT	132	8	416	180	8	7,126 596	-		11/20/2002	9/1/2003	AVV
489		ROCCA FAMILY WINERY	APVD	11,770	11,770		-	11,770	20,000	20,000	APPT	32	224	11,648	10,800	213	22,448	8	11	1/5/2011		IP:AC
419	024300065000	ROCKY RIDGE WINERY	APVD	18,280	18,280	Х	16,600	34,880	35,000	35,000	APPT	8	40	2,080	970	28	3,050	4	9	12/7/2005		AW:AC
496 180		ROGERS WINERY ROMBAUER VINEYARDS	APVD PROD	4,998 10,000	4,998 46,610	х	26,340	4,998 72,950	30,000 20,000	30,000 450,000	APPT APPT	20 400	120 2,000	6,240 104,000	300 2,300	10 51	6,540 106,300	2 18	5 26	2/2/2011 5/1/1982	12/1/1982	AW AP
468		ROMBAUER VINEYARDS AIRPARK	PROD	91,759	91,759	^	20,540	91,759	20,000	880,000	NO	-	-	104,000	-	-	-	30	56	5/27/2008	9/27/2010	IP:AC
516		ROMBAUER VINEYARDS AIRPARK		29,655	-		-	-	120,000	120,000	NO	-	-	-	-	-	-	5		8/12/2014	10/2/1997	IP:AC
181		ROUND HILL CELLARS (RUTHERFC		28,325	29,685		-	29,685	144,000	1,000,000	APPT	-	250	13,000	40.000	-	13,000	27		10/19/1983	9/1/1987	AW
397 356		ROUND POND WINERY ROY ESTATE VINEYARDS	PROD PROD	18,267 10,525	33,755 10,525	х	6,500	33,755 17,025	20,000 12,000	100,000 12,000	APPT APPT	60 10	360 40	18,720 2,080	12,300 630	30 12	31,020 2,710	12 2	43 5	2/2/2005 5/1/2002	11/9/2005 5/9/2018	AP AW
85		RUDD ESTATE WINERY	PROD	5,000	10,088	X	22,000	32,088	35,000	75,000	APPT	80	250	13,000	702	33	13,702	15	10	3/1/2002	5/1/1980	AP
183	025260033000	RUSTRIDGE WINERY	PROD	2,000	2,000		-	2,000	5,000	5,000	TST APPT	-	-	-	-	-	-	2	2	1/1/1985	12/1/1985	AW
186		RUTHERFORD HILL WINERY	PROD	28,800	72,522	Х	38,100	110,622	420,000	640,000	PUB	510	-	48,000	4,955	721	52,955	46	80	9/20/1971	12/1/1976	AW
126 254		SABINA VINEYARDS SADDLEBACK CELLARS	PROD PROD	400 2,400	1,600 5,749		-	1,600 5,749	1,800 5,000	8,000 24,000	NO APPT	- 15	100	5,200	- 850	- 5	6,050	2 6	9	1/1/1984 3/21/1984	12/1/1984 9/1/1984	AW AP
414		SAGE VINEYARDS	UNKNWN	10,797	10,797		-	10,797	15,000	15,000	APPT	8	48	2,496	484	27	2,980	3	4	3/7/2007	5, 1, 150-	AW
188	047212002000		PRODMD	6,300	13,150		-	13,150	60,000	135,000	APPT	12	24	1,248	250	9	1,498	6		7/20/1983	8/1/1983	AW
554		SAM JASPER WINERY	APVD	17,400	17,400		-	17,400	20,000	20,000	APPT	25	160	8,320	550	23	8,870	4	16	1/18/2017	0/4/4075	AP
190 562		SATTUI WINERY SAWYER CELLARS	PROD APVD	4,200 3,743	37,650 3,743		-	37,650 3,743	20,000 10,000	96,000 10,000	PUB APPT	2,625 8	8,544 56	444,288 2,912	95,400 400	437 11	539,688 3,312	59 2	331	2/1/1973 5/6/2015	9/1/1975	AW IP:AC
587		SCARLETT WINERY	PEND	23,885	-		-	23,885	30,000	-	APPT	15	105	5,460	665	27	6,125	10	13	0/0/2010		AW
191		SCHRAMSBERG VINEYARDS WINE		15,600	40,645	Х	54,071	94,716	32,000	180,000	APPT	96	672	34,944	1,730	42	36,674	39	46	18620901	9/1/1973	AW
192		SCHWEIGER VINEYARDS SCIAMBRA WINERY	PROD PROD	3,820	15,664		-	15,664	20,000	20,000	APPT	8	48	2,496	125	3	2,621	1 2		9/21/1994	9/1/1995	AW
193 194		SCREAMING EAGLE WINERY	PROD	4,209 2,750	5,159 22,333	х	16,000	5,159 38,333	10,000 20,000	10,000 20.000	NO TST APPT	- 5	- 15	- 780	-	-	780	5	10	10/21/1992 7/1/1988	10/1/1998 9/1/1989	AW AP
20		SEARS WINERY	PROD	4,400	4,765	X	3,600	8,365	750	20,000		16	112	5,824	300	10	6,124	3		6/10/1988	9/1/1996	AW
195		SEAVEY VINEYARD	PROD	2,450	12,085		-	12,085	300		TST APPT	15	6	312	50	1	362	2	10	8/1/1988	9/1/1989	AW
196	030190005000	SEQUOIA GROVE VINEYARDS	PROD	5,500	31,350		-	31,350	50,000	150,000	PUB	45	600	31,200	3,100	22	34,300	28	40	2/7/1979	9/1/1980	AP

Winery ID	Parcel number	Name	Status	Bldg Size, orig. (sq ft)	Bldg Size, current (sq ft)	Has cave	Cave size (sq ft)	Total size (sq ft)	Production, orig (GPY)	Production, current permitted (GPY) *	Tour and tasting	Visitors per day **	Visitors per week **	Visitors per year **	Marketing event visitors	Marketing events per year	Total # visitors per year ***	Employees	Parking spaces	Date approved	Date established	Zoning
394		SEVEN STONES WINERY	PROD	1,158	2,062		-	2,062	1,000	1,900	APPT	-	6	312	218	10	530	2	5		9/1/2005	AW
338 199		SHADYBROOK WINERY SHAFER VINEYARDS	PRODMD PROD	10,548 8,050	10,548 33,630	Х	8,900	10,548 42,530	30,000 25,000	30,000 200,000	APPT APPT	21 -	147 105	7,644 3,750	270 1,720	9 29	7,914 5,470	2		11/28/2012 4/18/1979	9/30/2013 6/1/1979	AW AW
560		SHED CREEK WINERY	APVD	2,600	2,600	^	-	2,600	5,000	5,000	APPT	15	105	5,475	400	11	5,875	3		11/15/2017	0/1/19/9	AW
52		SHERWIN FAMILY VINEYARDS	PROD	4,600	5,008		-	5,008	150		TST APPT	8	4	208	220	9	428	2	3		9/1/1989	AW
386		SHIFFLETT RANCH AND VINEYARD		3,000	3,000		-	3,000	40,000	40,000	APPT	20	56	2,912	510	14	3,422	2	5		9/1/2007	AP
488 201		SHUTTERS WINERY SIGNORELLO WINERY	APVD PROD	9,034 2,320	9,034 2,320	Х	11,600	20,634 2,320	50,000 20,000	50,000 20,000	APPT APPT	18 20	40 120	2,080 6,240	1,000 240	26 12	3,080 6,480	4	14 15	6/16/2010 5/21/1980	9/1/1987	AW AP
145		SILENUS VINTNERS	PROD	1.076	13,740		-	13,740	12.000	72,000	APPT	70	490	25,480	1,680	18	27.160	4 11	50	6/29/1977	9/1/1981	AP
202		SILVER OAK WINE CELLARS	PROD	11,000	75,000		-	75,000	18,000	210,000	PUB	500	3,000	156,000	18,280	312	174,280	50	79	6/1/1981	12/1/1981	AP
203		SILVERADO HILL VINEYARD LLC	PROD	6,950	27,454		-	27,454	50,000	200,000	APPT	70	490	25,480	3,612	126	29,092	24	54	6/6/1979	10/1/1979	AP
204 205		SILVERADO VINEYARDS SIMONE WINERY	PROD UNKNWN	43,970 3,000	65,030 3,000		-	65,030 3,000	96,000 5,000	360,000 5,000	PUB NO	100	250	13,000	7,140	271	20,140	16	27 2	12/3/1980 8/1/1988	9/1/1981 9/1/1990	AP AP
105		SINEGAL ESTATE WINERY	PROD	4,400	7,025	х	13,200	20,225	13,200	60,000	PUB	- 21	120	6,240	780	- 56	7,020	- 3			9/1/1983	AP
207		SKY VINEYARDS	PROD	-	-		-	-	4,000	2,377	APPT	-	-	-	-	-	-	-	-	9/1/1973	9/1/1979	AW
567		SLEEPING GIANT	APVD	12,745	12,745		-	6,963	30,000	30,000	APPT	10	85	4,420	300	6	3,212	6	12	9/7/2016		AW
580		SLEEPING LADY WINERY	APVD	7,600	8,800		- 500	6,572	30,000	30,000	APPT	20	140	7,280	450	12	7,580	3	7		0/4/4004	AP
77 303		SLOAN WINERY SMITH FAMILY WINERY	PROD PROD	1,225 1,500	3,700 1,500	Х	5,593	9,293 1,500	1,200 7.500	15,000 7,500	NO APPT	- 10	20	1,040	- 15	- 1	1,055	- 2	1	1/23/1991 6/16/1999	9/1/1991 9/1/2001	AW AW
208		SMITH MADRONE VINEYARDS	PROD	3,200	3,200		-	3,200	18,000	18,000	APPT	-	10	520	-	- '	520	4		10/1/1973	9/1/1977	AW
328	025180057000	SNOWDEN VINEYARDS	UNKNWN	8,025	8,025	х	18,900	26,925	30,000	30,000	APPT	-	5	260	-	-	260	4	4	3/6/2002		AW
31		SODARO WINERY	PROD	3,620	4,900		-	4,900	20,000		TST APPT	-	-	-	148	13	148	2	2	2/1/1983	12/1/1983	AW
420 457		SODHANI WINERY SOMERSTON WINERY	APVD PROD	- 22 142	- 34,477	X	7,150 18,045	7,150 52,522	12,000 150,000	12,000 150,000	NO APPT	- 0	- 56	- 2,912	496	- 8	2 400	4 12	4 28	6/16/2016 2/6/2008	8/1/2010	AW
469		SPELLETICH WINERY	PROD	33,142 7,300	7,300	X	10,045	7,300	60,000	60,000	NO	- 8	56 -	2,912	490 -	-	3,408 -	3	8	10/15/2008	4/21/2009	AW IP:AC
570		SPENCE VINEYARDS	PROD	756	756		-	756	5,000	5,000	NO	-	-	-	64	4	64	-	5	10/17/2007	9/1/2010	AW
210		SPRING MOUNTAIN VINEYARDS	PROD	14,000	14,000	х	19,660	33,660	15,000	48,000	APPT	-	-	-	-	-	-	6	10	18730901	9/1/1968	AW
66 211		SPRING MOUNTAIN VINEYARDS #2 ST CLEMENT VINEYARDS	PROD PROD	8,550	8,550		-	8,550	1,000		TST APPT	-	-	- 25,480	-	-	- 25 490	1	10 16	11/1/1988	12/1/1990 9/1/1975	AW
211		ST SUPERY VINEYARDS AND WINE		3,300 93,750	6,600 93,750		-	6,600 93,750	24,000 450,000	72,000 450,000	PUB PUB	-	490	25,460	-	-	25,480	13 20	126	11/9/1964 9/3/1986	9/1/1975	AW AP
217		STAGLIN WINERY	PRODMD	23,603	28,108	х	28,483	56,591	24,000	36,000	APPT	10	100	5,200	740	9	5,940	8	14	6/2/1999	9/1/2001	AP
214		STAGS LEAP WINE CELLARS	PROD	2,500	57,120	х	34,860	88,108	20,000	330,000	PUB	50	350	18,200	7,225	153	25,425	86	118	3/21/1973	6/1/1973	AP
215		STAGS LEAP WINE WINERY (DOUN		3,664	20,739	Х	3,200	23,939	5,000	60,000	APPT	40	280	14,560	-	-	14,560	4	-	7/11/1973	12/1/1973	AW
297 219		STAG'S LEAP WINERY (RED TAIL F STAR HILL WINERY	PROD UNKNWN	3,500 800	35,180 800	Х	23,500	58,680 800	60,000 1,900	315,000 2,090	NO APPT	- 4 -	10	520 -	260	25 -	780 -	12 1	20 5	11/20/1991 5/1/1986	9/1/1993 12/1/1986	AW AW
220			UNKNWN	2,800	2,800		-	2,800	30,000	30,000	APPT	-	20	1,040	-	-	1,040	4	8	10/17/1984	9/1/1985	AP
374			UNKNWN	13,516	13,516		-	13,516	12,000	12,000	APPT	25	60	3,120	560	14	3,680	3	10	2/5/2003		AW
223		STERLING VINEYARDS	PROD	73,314	120,362	х	41,000	161,362	730,000	1,500,000	PUB	-		250,000	6,700	547	256,700	46	222	9/1/1964	9/1/1969	AP
230 231		STONY HILL VINEYARD STORYBOOK MOUNTAIN VINEYARI	PROD PROD	3,440	- 2,975	v	5,400	- 8,375	8,700 3	8,700 15,000	APPT APPT	-	4	208	240	- 6	208 240	6	- 4	9/1/1952 9/5/1979	9/1/1953 9/18/1983	AW AW
233		STREBLOW WINERY	UNKNWN	360	360	X	5,400	360	2,000		TST APPT	-	-	-	-	-	-	1	12	9/1/1984	9/1/1985	AW
234		SULLIVAN FAMILY ESTATE	PROD	5,000	5,894		-	5,894	22,500	22,500		-	7	364	-	-	364	6	8	1/1/1979	9/1/1983	AP
189		SUMMERS WINERY	PROD	570	13,948		-	13,948	20,000	100,000	APPT	20	140	7,280	240	8	7,520	3	14		9/1/1984	AP
235		SUMMIT LAKE VINEYARDS	PROD	2,500	2,500		-	2,500	3,000	12,000	NO	-	100	- F 200	-	-	7 900	2	4	3/1/1984	9/1/1985	AW
428 239		SUSCOL CREEK WINERY SUTTER HOME WINERY	APVD PROD	61,281 41,000	73,838 41,000		-	73,838 41,000	200,000 200,000	600,000 200,000	APPT PUB	25 -	100 3,500	5,200 182,000	2,600	208	7,800 182,000	30 101	55 76	5/3/2006 9/1/1946	9/1/1946	GI:AC AP
240		SWANSON VINEYARDS	PROD	3,984	8,480		-	8,480	4,000	42,500	APPT	20	100	5,200	-	-	5,200	4	13	1/5/1977	9/1/1987	AP
498		SWANSON WINERY	PROD	47,419	46,100		-	46,100	100,000	100,000	APPT	200	1,400	72,800	30,834	119	103,634	30		5/16/2012	1/25/2016	AP
506		TAMBER BEY VINEYARDS	PROD	16,640	26,372		-	26,372	60,000	60,000	APPT	20	140	7,280	1,360	3	8,640	4			9/1/2013	AP
577 315		TAYLOR FAMILY VINEYARDS TEACHWORTH WINERY	PROD PROD	2,000 800	2,000 800		-	2,560 800	15,000 5,000	15,000 5,000	APPT PVT	17 2	119 2	6,188 104	375 48	11 2	6,563 152	- 2	5 6	8/3/2016 7/19/2000	11/1/2007 11/14/2001	AP AW
557		TENCH WINERY	PROD	6,779	6,779	Х	6,245	12,635	42,840	42,840	APPT	14	98	5,264	150	3	5,414	10		12/2/2015	11,11,2001	AP
81	030070009000	THE PRISONER WINE COMPANY	PROD	52,030	130,094		-	118,694	185,000	1,200,000	PUB	500	3,500	182,000	36,040	4,612	218,040	94	156	9/1/1973	9/1/1973	AP
238		THE RANCH WINERY	PROD	79,500	242,606		-	242,606			NO	-	15	780	2,450	33	3,230	85	95	7/1/1984	9/1/1985	AP
102 593		THE TERRACES THE VINEYARD HOUSE WINERY	PROD PEND	1,964 6,591	1,964	v	- 4,988	1,964 11,579	20,000 20,000	20,000	APPT APPT	2 12	10 60	520 3,120	390	- 14	520 3,510	2 5	5 8	9/7/1988	9/1/1989	AW AW
435		THE VINEYARD HOUSE WINERY THE VINEYARDIST	PRODMD	5,700	5,700	X X	7,500	13,200	20,000	20,000	APPT	15	20	1,040	390	14	1,340	2	7	8/25/2006		AW
88		THEOREM WINERY	PROD	2,208	23,458		-	23,925	20,000	20,000		15	105	5,460	220	4	5,680	5	15		12/1/1985	AW
520		TITUS VINEYARDS	PROD	18,452	18,452		-	32,921	24,000	48,000	APPT	60	350	18,200	1,700	20	19,900	11	21	5/7/2014		AP
440		TOAD HALL CELLARS	PROD	3,360	5,360	X	6,000	11,360	30,000	30,000	NO	-	-	-	- 200	- ^	- 1 240	2		4/30/2007	8/22/2013	AP
426 243		TOM EDDY WINERY TREFETHEN VINEYARDS	PROD PROD	10,200 17,600	10,200 60,700	Х	21,437	31,637 52,500	48,000 160,000	48,000 500,000	APPT PUB	-	20 800	1,040 41,600	309 5,100	8 383	1,349 46,700	7 14	8 58	5/2/2001 18860901	8/14/2012 9/1/1973	AW AP
272		TRES SABORES	PROD	2,150	2,150	х	780	2,930	20,000	20,000	APPT	4	4	208	-	-	208	1	3		9/11/1991	AW
79	022100010000	TRINCHERO NAPA VALLEY	PROD	3,300	35,211	Х	2,296	37,507	10,000	100,000	PUB	-	930	48,360	1,100	11	49,460	14	42	9/16/1981	12/1/1981	AW

Winery ID	Parcel number	Name	Status	Bidg Size, orig. (sq ft)	Bidg Size, current (sq ft)	Has cave	Cave size (sq ft)	Total size (sq ft)	Production, orig (GPY)	Production, current permitted (GPY) *	Tour and tasting	Visitors per day **	Visitors per week **	Visitors per year **	Marketing event visitors	Marketing events per year	Total # visitors per year ***	Employees	Parking spaces	Date approved	Date established	Zoning
40 529		TRUCHARD WINERY	PROD	1,632	1,632	Х	8,438	10,070	13,000	60,000	APPT APPT	35	100 320	5,200	1,865	175	7,065	2 6	10	7/1/1986	9/1/1990	AW AW
244		TRUCHARD WINERY TUDAL WINERY	PROD PROD	34,902 1,248	34,902 1,248		-	34,902 1,248	100,000 1,000	100,000 3,500	APPT	60	320	16,640 -	1,320 -	28 -	17,960 -	-	13	9/20/2017 11/1/1975	9/6/1990 9/1/1979	AVV
245		TULOCAY WINERY	PROD	1,160	1,160		-	1,160	2,400	7,500	PVT	-	-	-	-	-	-	2	4		9/1/1976	RC
246		TURLEY WINE CELLARS	PROD	1,800	13,171		-	13,171	3,000	65,000	APPT	15	75	3,900	63	9	3,963	4	12	9/1/1981	9/1/1985	AP
247	031010002000	TURNBULL WINE CELLARS	PROD	1,500	40,543		-	40,543	2,500	250,000	APPT	350	400	20,800	1,090	22	21,890	8	21	7/18/1979	12/1/1979	AP
362	030220026000	TWO ROCKS WINERY	PROD	6,950	6,950	х	20,682	27,632	50,000	50,000	APPT	6	15	780	920	13	1,700	4	7	1/21/2004		AW
399			UNKNWN	9,040	9,040		-	9,040	15,000	15,000	APPT	-	10	520	130	5	650	2	6	5/5/2004	9/1/2012	AP
227		TWOMEY CELLARS	PROD	2,600	18,940		-	18,940	20,000	81,500	PUB	205	530	27,500	200	5	27,700	4	18	9/1/1973	9/1/1973	AP
422		V MADRONE WINERY	PROD	6,461	6,461		7 000	6,461	20,000	20,000	APPT	20	90	4,680	570	12	5,250	3	15	5/7/2008	9/1/2008	AW
454	039630011000		APVD	1,800	1,800	X	7,000	8,800	36,000	22,500	APPT	16	36	1,872	300	5	2,172	3	11	2/9/2009	0/1/2010	AW
473 256		VENGE VINEYARDS VIADER VINEYARDS	PROD PROD	6,400 4,714	19,298 4.714	X X	9,000 14,100	28,298 18,814	20,000 32,000	20,000 32,000	APPT PVT	20 -	140	7,280 288	180 36	8	7,460 324	4	6 12	12/2/2009 5/22/1992	9/1/2010 9/1/1993	AP AW
93		VILLA DEL LAGO	PROD	4,714	4,714	×	2,500	7,377	7,200	15,000	APPT	20	30	1,560	320	6	1,880	2	10	6/1/1988	9/1/1993	AW
261		VILLA HELENA	PROD	1,500	5,012	^	2,000	5,012	6,000	20,000	NO	15	20	1,040	70	2	1,110	1	2		9/1/1984	AP
262		VILLA RAGAZZI	PROD	916	916		-	916	20,000	20,000	NO	-	-	-	-		-	2	4	5/1/1982	9/1/1984	AP
400		VIN ROC WINERY	PROD	2,000	2,000	х	2,000	4,000	18,000	18,000	APPT	-	8	416	-	-	416	2	4	7/7/2004		AW
10	017230020000	VINCENT ARROYO WINERY	PROD	710	9,586		-	9,586	10,000	70,000	APPT	50	350	18,200	1,460	20	19,660	10	13	11/1/1982	12/1/1982	AP
264	032030027000	VINE CLIFF WINERY	PROD	4,424	7,780	х	15,000	22,780	10,000	48,000	APPT	50	350	18,200	2,516	140	20,716	13	21	9/1/1988	9/1/1989	AW
495	021420015000	VINEYARD 22	APVD	1,565	1,565	Х	10,050	11,615	10,000	10,000	APPT	50	350	18,200	270	9	18,470	2	9	12/1/2010		AW
456	022200027000		PROD	17,804	17,804	Х	14,038	31,842	48,500	48,500	APPT	-	30	1,560	660	17	2,220	4		2/21/2001	9/1/2002	AW
333		VINEYARD 7 AND 8	PROD	7,713	9,013	Х	5,300	14,313	19,200	19,200	APPT	15	105	5,460	320	8	5,780	6		3/20/2002	10/30/2006	AW
590		VINUM CELLARS	PEND	680	-		-	680	1,200	-	ADDT	-	-	-	2,240	28	2,240	7	18	E 104 10000		IP:AC
379			UNKNWN	5,666	5,666		-	5,666	20,000	20,000	APPT	10	12	624	560	14	1,184	2	4	5/21/2003	0/04/4000	AP
249 265		VOLKER EISELE FAMILY ESTATE VON STRASSER WINERY	PROD PROD	2,400 2,400	2,400 4,400	X	6,700	2,400 11,100	5,000 2,500	20,000 25,000	NO APPT	40	20	1,040	440	- 10	1,480	- 1	10	1/24/1990 10/15/1979	9/24/1990 9/1/1980	AW AW
350		W H SMITH WINES	PROD	798	798	X	4,730	5,528	20,000	20,000	NO	-	-	1,040	148	18 13	1,460	2	4	5/15/2002	9/1/2004	AW
486		WALLIS FAMILY ESTATE	APVD	11,711	11,711	^	-,700	11,711	30,000	30,000	APPT	18	108	5,616	225	3	5,841	4		4/21/2010	3/1/2004	AW
267		WERMUTH WINERY/RANCHO DE L	PROD	375	775		-	775	20,000	20,000	PUB	30	100	5,200	-	-	5,200	-	8	7/21/1982	9/1/1983	AW
474		WHEELER FARMS WINERY	PROD	21,242	31,085		-	25,242	50,000	50,000	APPT	32	224	11,648	1,452	52	13,100	3	6			AP
6	018140036000	WHISKEY RIVER RANCH VINEYARI	PROD	12,537	12,537	х	18,000	30,537	180,000	360,000	APPT	12	50	2,600	275	21	2,875	9	28	10/18/1995	9/1/1996	AW
252	039680004000	WHITE ROCK VINEYARDS	PROD	-	-	Х	6,000	6,000	5,000	20,000	TST APPT	-	-	-	-	-	-	2	4	3/30/1987	6/1/1987	AW
269		WHITEHALL LANE WINERY	PROD	7,600	34,227		-	34,227	10,000	200,000	PUB	250	600	31,200	4,800	60	36,000	7	35	9/20/1978	9/1/1980	AP
270		WHITFORD CELLARS	PROD	3,600	4,291	Х	1,414	5,705	20,000	20,000	NO	-	-	-	-	-	-	2	5	7/1/1982	9/1/1983	AW
565	027460013000		PROD	8,042	8,042		4 000	8,042	10,000	10,000	NO	-	- 10	-	-	-	-	10	2	4/5/2017	5/19/2006	AP
382		WILLIAM COLE WINERY	PROD	5,040	5,040	X	4,000	9,040	20,000	20,000	APPT	100	10	520	185	8	705	2		10/16/2002	9/1/2004	AW
271 273		WILLIAM HILL WINERY WINERY OF THE ROSES	PROD UNKNWN	16,000 4.500	102,490 4.500	X	30,000	132,490 4.500	335,000 20.000	720,000	APPT	100	250	13,000	-	-	13,000	8	80	7/1/1987	9/1/1990 12/1/1982	AW AW
107		WING CANYON VINEYARD	PROD	1,600	1,600		-	4,500	12,500	12,500	TST APPT NO	-	-		<u>-</u>	<u>-</u>		-	-	6/1/1982 3/20/1991	9/1/1992	AW
413		WOODBRIDGE WINERY	PROD	-	-	Х	10,985	10,985	19,000	19,000	NO	-	-	-	-	-	-	2	2	9/18/2007	8/3/2006	AW
514		WOOLLS RANCH WINERY	APVD	18,303	20,882		-	20,882	50,000	50,000	APPT	60	350	18,200	4,640	76	22,840	10		11/6/2013	O/O/E000	AW
493		YOUNG INGLEWOOD VINEYARDS	PROD	10,941	10,575		-	10,575	30,000	30,000	APPT	16	112	5,824	1,745	28	7,569	6		7/7/2010	4/1/2013	AP
300		YOUNG WINERY	PROD	10,340	8,384		-	8,384	20,000	20,000	APPT	1	2	104	-	-	104	1		10/21/1998	7/1/1999	AW
517	031130029000	YOUNTVILLE HILL WINERY	PEND	14,019	14,019	Х	35,588	49,607	100,000	100,000	APPT	-	420	21,840	3,400	56	25,240	19	37			AP
583	036110009000	YOUNTVILLE WASHINGTON STREE	APVD	5,264	5,264		-	5,264	30,000	30,000	APPT	25	175	9,100	400	11	9,500	5	10	11/16/2016		AP
462		ZAPOLSKI - RUDD WINERY	PROD	34,510	-		-	34,510	120,000	120,000	NO	-	-	-	-	-	-	6	28	2/20/2008	10/22/2004	IP:AC
277	030200005000	ZD WINES	PROD	6,600	22,956		-	22,956	25,000	120,000	PUB	225	1,575	81,900	1,090	7	82,990	30	33	8/1/1978	9/1/1979	AP

<sup>\*\*</sup> This is not always an exact number, as some wineries in the past were approved based on an average number of visitors.

### STATUS KEY

APVD: Approved winery, not producing PEND: Winery pending approval PROD: Active winery W pending use permit modification UNKNWN: Status unknown, needs

# TOURS & TASTINGS KEY

APPT: Tours & tastings by appointment only NO: No tours, no tasting PUB: Open to the public, no apprecessary PVT: Private TST APPT: Tasting by appointment only

<sup>\*\*\*</sup> This figure represents the sum of the max. number of annual visitors plus the total number of marketing event visitors.

# Exhibit 7

Case 3:24-cv-06256 Document 1-7 Filed 09/05/24 Page 2 of 4

87374

e 2 of 4 up-ANZO-300-354 086

COUNTY OF NAPA

CONSERVATION, DEVELOPMENT AND PLANNING COMMISSION

October 25, 1973

Cook's Flat Associates P. O. Box 451 St. Helena, California. 94558

Gentlemen:

Your Use Permit Application Number 11-87374 to build a winery of approximately

3,000 square feet on a 200 acre parcel of land

located north of the Intersection of Spring Mountain Road and the Napa-Sonoma County line has been approved by the Napa County Conservation, Development and Planning Commission based upon the following conditions:

> (SEE ATTACHED SHEET) Conditions of Approval

TE TELLEMENT AND THE	Approval	Date:	October 24, 197
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Your Use Permit becomes effective ten (10) days from the approval date, provided all conditions of approval are met or assurances made to guarantee compliance.

The ten (10) day waiting period is required to provide sufficient time for anyone wishing to appeal the action of the Commission in approving your Use Permit. In the event an appeal is made to the Board of Supervisors you will be notified.

Should this Use Permit not be used within one (1) year after the date of approval, it shall be null and void without further action by the Commission or Department.

Very truly yours,

JAMES H. HICKEY Secretary-Difector

JHH/kh

8/15/72

cc: Don Jonas

EX. 1296-28

. FELIX J. VANDERSCHOOT, JR. • MEMBERS • GEORGE BLAUFUSS, JR. • KENT B. INGALLS • DUNALD MC FARLAND

MC FARLAND

1436 POLK STREET • NAPA, CALIF. 94558 • 707, 224-8388 ANDREW L. PELISSA . SECRETARY-DIRECTOR . JAMES H. HICKEY . 1436 POLK STREET . NAPA, CALIF. 94558 . 707, 224-8388

AGENDA ITEM: 2

Page 2 10/24/73

FINDINGS:

- 1. This matter was continued by the Commission from October 3, 1973 pending clarification and guidance from the Board of Supervisors regarding a Board action on March 21, 1972 concerning an exception to the timber cutting moratorium pertaining to this property.
- 2. On March 21, 1972, the Board of Supervisors granted Stuart Smith, representing Cook's Flat Associates, an exemption from the timber harvest moratorium thereby allowing him to clear approximately 10 acres of mixed evergreen forest located on this parcel. A Departmental field trip to the property on August 3, 1973, indicated that specific areas of the parcel had been cleared in excess and contrary to Board requirements.
- 3. The Board considered the Commission's request on October 16, 1973 and took the following actions:
  - a. In offering guidance, the Board indicated that the Commission should feel free to set whatever conditions it feels are necessary for use permit consideration.
  - b. Directed Public Works to inspect sites C and D affected by timber cutting to determine any necessary mitigating measures to protect the area from erosion created by roadways and reduce siltation. Public Works is to report its findings and recommendations to the Board. (Also see attached material sent to the Board of Supervisors.)
- 4. In regards to the use permit, the applicant is requesting permission to construct a small winery designed for an ultimate capacity of 18,000 gallons in eight to ten years.
- 5. It is the applicants' intention to process their own grapes on the property.
- The winery will not provide public tasting facilities.

  Private arrangements will be required to visit the winery.
- 7. The proposed structure is to consist of two major areas: a 2,000 square foot winery and a 1,200 square foot manager's residence located above.
- 8. Construction materials are to be stone and redwood.
- 9. The building site is generally level, requiring minimal earth disturbance. No tree removal will be required in siting the winery on the property.
- 10. The use permit application requests permission to establish a winery and does not cover the vineyard operation.
- II. The Conservation, Development and Planning Department has issued a negative environmental assessment as applied to the winery. The timber cutting issue was considered a separate matter in making this determination.

<b>AGENDA</b>	ITEM:	2

Page 3 10/24/73

RECOMME	NDAT	ION:

	Approval	Denial	×	Approval	With	Conditio	กร
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Continue Until:

# Conditions of Approval Are:

- 1. Any future expansion of the winery shall require submission of a separate use permit for Commission review and approval.
- 2. The use of earth tone colors be employed.
- The site be kept in a clean and orderly condition at all times.
- Any signs to be approved by the Conservation, Development and Planning Department for design, area, height and placement.
- 5. A minimum of two off-street parking spaces covered with a dust-free, all weather surface approved by the Public Works Department be provided.
- A minimum 40-foot right-of-way access be provided to the subject parcel pursuant to Zoning Ordinance requirements.
- 7. Wine tasting be limited to a private, invitational only, basis. Any consideration of public tasting facilities shall require submission of a written request for modification of this condition to the Conservation, Development and Planning Department for review by the Commission.
- 8. The building height conform to the 35-foot zoning district standards.
- A trailer observed on the property be removed prior to final building permit approval.
- 10. Representatives of the County, upon reasonable notification to the property owner, shall be granted access to the property to determine compliance with conditions of this use permit.
- II. Compliance with all applicable building codes, zoning standards, and requirements of Public Works, the Division of Environmental Quality Control, the Flood Control and Water Conservation District, and the Resources Agency of California.

improvement Summary:

- 1. Public Morks requires access road and drainage improvements.
- 2. The Division of Environmental Quality Control requires percolation tests, adequate potable water for domestic and winery uses, clearance from the Bay Area Regional Water Quality Control Board, and construction plans for the private water system.
- 3. The Flood Control and Water Conservation District recommends (requires) any new construction to be protected from storm water runoff from a 100-year storm.
- 4. No comment from the State Division of Forestry.

# Exhibit 8

# NAPA COUNTY ZONING ORDINANCE

# ORDINANCE NO. 186

AN ORDINANCE ESTABLISHING REGULATIONS TO LIMIT THE USES OF LAND, THE LOCATIONS AND USES OF BUILDINGS, THE HEIGHT AND BULK OF BUILDINGS, THE OPEN SPACES ABOUT BUILDINGS, THE DIMENSIONS AND AREAS OF BUILDING SITES WITHIN CERTAIN DISTRICTS, ESTABLISHING BUILDING SETBACK LINES; PROVIDING FOR THE ADMINISTRATION, AND ENFORCEMENT OF SUCH REGULATIONS, AND PRESCRIBING PENALTIES FOR VIOLATIONS THEREOF:

THE BOARD OF SUPERVISORS OF THE COUNTY OF NAPA DOES ORDAIN as follows:

# ARTICLE 1. ADOPTION OF ZONING PLAN

Sec. 1.01 There is hereby adopted a precise Zoning Plan for the County of Napa.

Sec. 1.02 Said Zoning Plan is adopted to promote and protect the public health, safety, peace, morals, convenience, and general welfare, and for the accomplishment thereof is adopted, among other purposes for the following more particularly specified purposes, and in accordance with specified findings and policies.

- (a) To assist in providing a definite plan of development for the County and to guide, control and regulate the future growth of the County in accordance with said Plan.
- (b) To protect the established character and the social and economic stability of agriculture, residential, commercial, industrial and other areas within the County, and to assure the orderly and beneficial development of such areas.
- (c) The Board of Supervisors finds that agriculture is a major industry of the County and that for the protection of agriculture and in order to prevent further encroachment upon it by incompatible uses of property and for the general welfare of the County as awhole, there are hereby created zone classifications within which agriculture shall be encouraged to the exclusion of such other uses of land as may be in conflict therewith. Therefore, the provisions of this section shall be liberally interpreted insofar as they apply to agricultural pursuits and services and shall not be deemed or construed to permit interference with any normal accessory use conducted in conjunction It is the intention of this section to prevent therewith. developers from using lands in an agricultural zone as potential urban subdivision property or for subdivision purposes; to provide maximum protection to existing and future agricultural outorprinora from contrictions; and to in every way encourage the highest and best use of the lands so classified for agricultural purposes, including the necessary residential, recreational, educational,

-1-

DEFENDANT'S EXHIBIT 1001 22CV001262

# Exhibit 9

ORDINANCE	NO.	274	Filed AF	HIPPY, Clerk W. CUMNY
ARMINITATES TATES	12 A 24 A	COLBURY OPPTHANCE	DA	Deputy Clerk

AN ORDINANCE AMENDING NAPA COUNTY ORDINANCE NO. 186, ESTABLISHING A NEW ZONING DISTRICT CLASSIFICATION BY THE ADDITION OF A NEW ARTICLE DESIGNATED AS ARTICLE P, AP, AGRICULTURAL PRESERVE DISTRICT, AND AMENDING SECTION 2.01 OF ARTICLE 2 TO DESIGNATE SAID AGRICULTURAL PRESERVE DISTRICT.

The Board of Supervisors of the County of Napa does ordain as follows:

SECTION 1. Napa County Ordinance No. 186 is hereby amended by the
addition of the following, which shall be designated as ARTICLE P, AP, AGRICULTURAL
PRESERVE DISTRICT, and to read as follows:

# ARTICLE P, AP, AGRICULTURAL PRESERVE DISTRICT

SECTION P.91. This District classification is intended to be applied in the fertile valley and foothill areas of Napa County in which agriculture is and should continue to be the predominant land use, where uses incompatible to agriculture should be precluded and where the development of urban type uses would be detrimental to the continuance of agriculture and the maintenance of open space which are economic and aesthetic attributes and assets of the County of Napa.

The following specific regulations and the general rules and regulations set forth in Article 30 shall apply in all AP Districts.

# SECTION P.02. USES PERMITTED:

- a. General farming, including but not limited to the growing and raising of trees, vines, shrubs, berries, vegetables, nursery stock, hay, grains and similar food and fiber crops.
- b. Pastures and grazing.
- c. Animal husbandry, including the breeding and raising of cattle, sheep, horses, goats, pigs (except garbage fed) and rabbits.
- d. Poultry ranching.
- e. Facilities for the processing of agricultural products including but not limited to wineries, dairies, dehydrators, fruit and vegetable packing plants, and those uses similar to the foregoing.

DEFENDANT'S EXHIBIT 1002 22CV001262

- f. Sale of agricultural products grown, raised or produced on the premises.
- g. Kennels.
- h. Dairies.
- Public park and recreation facilities when in conformance with the Napa County General Plan.
- j. Accessory and incidental uses compatible with and necessary to the operation of the above uses.
- k. One single family dwelling per legal lot, including private garage, accessory buildings and uses, provided that before a building permit shall be issued for any new construction in connection with such use, the applicant shall first comply with any applicable provisions of the Napa County Subdivision Ordinance and any other applicable State or local laws.

# SECTION P.03. USES REQUIRING USE PERMIT:

- a. Park and recreation facilities when not in conformance with the Napa County General Plan.
- b. Public utility buildings, substation structures and uses, regulator stations, relay and repeater facilities, and those uses of a similar character to the foregoing.
- c. Farm labor housing, including but not limited to permanent housing constructed in accordance with prevailing Building Code requirements and farm labor trailer camps.
- d. Additional residential uses not governed by Section P.02(k) or Section P.03(c); provided, however, that all such additional residential uses shall be occupied by farm owners or employees thereof.
- SECTION P.04. MINIMUM LOT AREA: 20 Acres.
- SECTION P.OS. MAXIMUM MAIN BUILDING COVERAGE: None
- SECTION P.06. MAXIMUM FRONT YARD SETBACK: 20 Feet
- SECTION P.07. MINIMUM SIDE YARD: 20 Feet

- SECTION P.OS. MINIMUM REAR YARD: 20 Feet.
- SECTION P.09. MINIMUM VEHICLE PARKING: Adequate off-street parking shall be provided for all vehicles, provided, however, that no such parking area shall be permitted in any required front yard setback.
- SECTION P.10. LOADING AND UNLOADING AREA: All loading and unloading areas shall be clear of roads and streets, provided, further, that no such loading or unloading area shall be permitted in any required front or side yard setback.
- SECTION P.11. MAXIMUM BUILDING HEIGHT: 2-1/2 stories for any residential use and not to exceed 35 feet for any such use. All other uses: None.
- SECTION P.12. LEGAL LOT: As used in this Article, the term "Legal Lot" shall refer to any parcel in existence at the time of adoption of this Article, as indicated on official records maintained in the office of the Napa County Recorder, or any parcel created subsequent to the adoption of this Article which was duly created in accordance with the requirements of the Napa County Subdivision Ordinance and which meets the minimum area and similar requirements specified by this Article, and which has been placed on record in the Office of the Napa County Recorder.
- SECTION P.13. NON-COMFORMING USES: In addition to the provisions of
  Section P.12 hereof, any lawful use of land existing at
  the time of the effective date of this Article, may be
  continued as legal non-conforming uses with, and subject
  to, the provisions of Article 33 of this Ordinance.
- SECTION P.14. BUILDING PERMITS: No building permit shall be issued for any construction of any parcel of land which is not a "Legal Lot" as defined in Section P.12 hereof, unless a variance is first obtained pursuant to the provisions of Article 32 of this Ordinance, or unless the building permit is to be issued in connection with a legal non-conforming use, pursuant to the provisions of Section P.13 of this Article.

SECTION P.15. CONDEMNATION: Any lot or parcel of land created as a result of Eminent Domain proceedings, or purchased for a public purpose by any agency under threat of Eminent Domain, shall be deemed a legal lot upon the filing of a record of survey map with the Napa County Planning Commission, in compliance with any applicable provisions of the Napa County Subdivision Ordinance.

SECTION 2. Section 2.01 of Article 2 of Napa County Ordinance 186 is hereby amended by the addition of the zoning district classification designated as:

AP, AGRICULTURAL PRESERVE DISTRICT.

# SECTION 3.

(a) All ordinances and parts of ordinances of said

County in conflict with this Ordinance, to the extent of such conflict and no further,

are hereby repealed.

phrase of this ordinance, is for any reason held by a Court of competent jurisdiction to be invalid, such decision shall not affect the validity of the remaining portions of this ordinance. The Board of Supervisors hereby declares that it would have passed this ordinance and each section, sub-section, sentence, clause and phrase thereof, irrespective of the fact that any one of more sections, sub-sections, sentences, clauses or phrases be declared invalid.

(c) This ordinance shall be and it is hereby declared to be in full force and effect from and after thirty (30) days after the date of its passage.

	(d)	This ord	inance	shall	be	published	in	the	NAPA	
COUNTY RECORDOR the	time	prescribed	by la	₫.						

The foregoing Ordinance was adopted at an regular meeting of the Board of Supervisors of the County of Napa held on the 9th day of April, 1968, by the following vote:

AYES: ANDERSEN, WIGGER, FERGUSON and CAIOCCA

NOES: NONE

ABSENT: NONE

s/ J. CAIOCCA, JR.

ABSTAINED: CLARK

Chairman, Board of Supervisors

ATTEST:

(SEAL)

S	10	S	SHIPPY
Clerk	of	the	Board

# Exhibit 10

### Case 3:24-cv-06256 Document 1-10 Filed 09/05/24 Page 2 of 9

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ORDINANCE NO. \_\_629

AN ORDINANCE OF THE BOARD OF SUPERVISORS OF THE COUNTY OF NAPA, STATE OF CALIFORNIA, PROVIDING FOR AN EXEMPTION TO USE PERMIT REQUIREMENTS FOR SMALL WINERIES IN THE AGRICULTURAL PRESERVE DISTRICT AND THE AGRICULTURAL WATERSHED DISTRICT.

The Board of Supervisors of the County of Napa, State of California, does ordain as follows:

SECTION ONE: Sections 12047, 12048 and 12049 are hereby added to Title XII, Article 2, of the Napa County Code to read in full as follows:

#### Sec. 12047. "Winery".

"Winery" means a building or portion thereof used for the crushing of grapes, the fermenting and processing of grape juice, or the aging, processing and storage of wines. It may include on-site disposal of winery waste generated on the site, bottling of wine, the warehousing and shipping of wine, plus related office and laboratory activities as accessory uses. Retail and wholesale activities conducted within the windery shall be limited to wines produced on the site or wines produced by the winery at other locations.

#### Sec. 12048. "Small winery".

"Small winery" means any existing winery or proposed new winery with a maximum annual production capacity of 20,000 gallons of wine that meets the following conditions. A small winery shall be located on a parcel of land 6.0 acres or larger in size. Small winery buildings and related facilities shall not be located in any County-designated environmentally sensitive area. A small winery does not conduct public tours, provide wine tastings, sell wine-related items or hold social events of a public nature. A small winery shall meet all requirements of the County's "Design Criteria for Small Winery."





# Sec. 12049. "Environmentally sensitive area".

"Environmentally sensitive area" means those floodways, active fault zones, landslide areas, extended clear zones for heliports and airports, archeologically sensitive areas, and rare and endangered plant and animal habitat areas as delineated on the Napa County Environmental Sensitivity Maps on file in the Conservation, Development and Planning Department.

### SECTION TWO:

Section 12201 of Title XII,

Article 4, of the Napa County Code is amended to read in full as follows:

Sec. 12201. Uses allowed without use permit.

The following uses shall be allowed in all AP districts without use permits:

- (a) Agriculture.
- (b) One single-family dwelling unit per legal lot.
- (c) Small winery. The construction of a new winery or expansion of an existing winery within the conditions contained in the definition of a "small winery."

### SECTION THREE:

Section 12231 of Title XII,

Article 4, of the Napa County Code is amended to read in full as follows:

Sec. 12231. Uses allowed without use permit.

The following uses shall be allowed in all AW districts without use permits:

- (a) Agriculture.
- (b) One single-family dwelling unit per legal lot.
- (c) Small winery. The construction of a new winery or expansion of an existing winery within the conditions contained in the definition of a "small winery."

SECTION FOUR: Any provisions of ordinances of the County of Napa in conflict herewith are hereby repealed, effective upon the date this ordinance becomes effective.

SECTION FIVE:	'This ordinance shall take effect
thirty (30) days after its pass	age.
SECTION SIX:	This ordinance shall be published
before the expiration of fiftee	n (15) days after its passage at least
once in The Napa Record	, a newspaper of general circulation
printed and published in the Co	unty of Napa, together with the names
of the members voting for and a	gainst the same.
The foregoing ordinance was	s introduced and read at a regular
meeting of the Board of Supervis	sors of the County of Napa, State of
California, held on the 4th da	ay of <u>March</u> , 1980, and
passed at a regular meeting of	the Board of Supervisors of the County
of Napa, State of California, he	eld on the <u>11th</u> day of <u>March</u>
1980, by the following vote:	
AYES: SUPERVISORS M	ARTZ, NORRISS, MOSKOWITE AND CHAPMAN
×	
NOES: SUPERVISORS N	ONE
ABSENT: SUPERVISORS T	UTEUR
Cha	Som Marman irman, Board of Supervisors
a MODECH .	
ATTEST: FLORENCE W. CUNNY, County Clerk	
By Clark of the Board	9 X

-3-

RCL/ss 2/29/80

RESOLUTION NO. 80-21

KARDI ROBINSON Besuly Clark

RESOLUTION OF THE BOARD OF SUPERVISORS OF THE THE COUNTY OF NAPA, STATE OF CALIFORNIA, ESTABLISHING DESIGN CRITERIA FOR "SMALL WINERY" USE PERMIT EXEMPTIONS.

WHEREAS, the Board of Supervisors has adopted Ordinance No. 629 exempting small wineries from use permits in the Agricultural Preserve (AP) District and the Agricultural Watershed (AW) District; and

WHEREAS, the controls established by the use permit procedure will not be applicable to those small wineries meeting the conditions of exemption; and

WHEREAS, the Board desires to ensure that, while small wineries are encouraged, their development be orderly and compatible with existing uses and structures.

NOW, THEREFORE, BE IT RESOLVED by the Board of Supervisors of the County of Napa, State of California, that all wineries requesting exemption from the use permit procedure under the small wineries exemption set forth in Ordinance No. 629 shall conform to the following design criteria:

# Fire Protection.

- a. In all designated high fire risk areas, a clear zone of 100 feet around each building shall be established and maintained to the satisfaction of the State Department of Forestry.
- b. Adequate year-around access shall be provided to each building for fire department equipment.
- c. Fire resistant construction materials shall be used for all buildings in a designated high fire risk area.

### Access Roads.

a. Access road requirements (right-of-way and improvements) shall be as follows:

- (1) Access road requirements for a small winery, when the winery is the only facility other than related residential structures served by the access road, shall be the same as for a single-family residence built on the same parcel under the same conditions except for Item a(3).
- (2) Access road requirements for a small winery, when the winery is one of two or more uses, or is located on one of two or more parcels, served by the same access road, shall be determined by the County Public Works Department.
- (3) A 16-foot wide entrance way with 20-foot radius returns shall be provided within the first 30 feet back from the intersection of the winery access road and edge of the pavement of any public road.
- b. Small wineries requiring access by means of the following roadways shall not be eligible for use permit exemption.
  - (1) State Highway Route 29 between Yountville and St. Helena (Lodi Lane) and all dead-end roads extending from that section of highway;
  - (2) State Highway 121 west of the City of Napa;
  - (3) American Canyon Road west of Flosden Road;
  - (4) Flosden Road.

#### 3. Parking.

At least one parking space per employee, plus one guest parking space shall be provided.

#### 4. Setbacks and Density.

a. The winery shall be so located on the site so as to provide adequate setbacks compatible with the surrounding land uses. The setback shall include a 400-foot front yard setback measured from the center line of Silverado Trail and all state highways and 200-foot front yard setback on all other public roads measured from the center line.

- b. The minimum road frontage separation between wineries located within 1,000 feet of any state highway, Stanley Lane, Silverade Trail, arterial county road or collector roads as defined in Napa County Ordinance No. 511 shall be not less than 2,000 fee
- c. A minimum separation shall be maintained between a winery and residential buildings on adjoining parcels of at least 500 feet.

#### 5. Building Site.

- a. All construction-related ground disturbance activities are to be restricted to the dry season (April 15th to October 15th) unless the applicant shall provide for the collection and discharge of all runoff from the areas distrubed by construction with properly maintained debris catch basins.
- b. Erosion control measures to discharge all the concentrated runoff produced at non-erosive velocities shall be installed.
- c. All areas disturbed by winery construction including the cuts and fills along the access road required and around the sewage system shall be reseeded with a grass mixture acceptable to the Napa County Resource Conservation District. Said reseeding shall be done prior to the first winter rains after facility construction.
- d. Within the 100-year flood plain as shown on maps designated "FIRM" on file in the office of the Department of Public Works, all winery structures shall be flood-proofed to one foot above the 100-year flood plain in such a manner as to protect against substantial damage.
- e. Any ground disturbance or vegetation removal is prohibited within fifty (50) feet of the top of the bank of the ordinary high water channel of any river or stream not covered by the County's Flood Plain Management Ordinance (Ordinance No. 627).

#### 6. Construction Standards.

a. A winery in a recognized historic structure shall comply with all of the U.S. Secretary of Interior's "Standards for

Rehabilitation" and associated "Guidelines for Rehabilitating Historic Structures."

- b. Wood, stucco, or rock facing shall be installed on any nonhistoric structure.
- c. Shields shall be installed on all outdoor lights installed to direct the illumination downward and away from nearby residences, roads and airport approach paths.

### 7. Signs.

Signs shall conform to County ordinance requirements for one-site signs.

### 8. Landscaping.

In order to blend the winery with the agricultural character of the surrounding area, the applicant for a small winery building permit shall submit a landscape plan acceptable to the Conservation, Development and Planning Department showing the following:

- a. Plantings to soften the geometric form of the building and blend it with the agricultural character of the surrounding area.
- b. Names and locations of plant materials.
- c. Location of parking spaces.
- d. Plantings to screen parking lots and outdoor work and storage areas from view from surrounding properties and highways.
- e. Method of landscaping maintenance.

Final building inspection approval by the County Building Inspection Division shall not be given for any small winery building until such landscaping has been installed. A temporary certificate of occupancy may be granted when landscaping work is delayed because of bad weather.

All required plantings shall be permanently maintained in good condition and, whenever necessary, replaced with new plant material to insure continued compliance with the preceding requirements.

The foregoing reso	lution was dul-		
= 1910g01ng 1ea0	racton was duty	and regularly	adopted at a
regular meeting of said	Board of Superv	risors of the C	County of Napa,
State of California, he	ld on the <u>11th</u>	day ofMar	ch , 1980,
by the following vote:	,	1/5	· · · · · · · · · · · · · · · · · · ·
AYES: SUPP	ERVISORS MARTZ,	NORRISS, MOSK	OWITE AND
	CHA PMA	N _	.4
NOES: SUPE	RVISORS NONE		
ABSENT: SUPE	RVISORS TUTEUR		
	ATTEST:		
	regular meeting of said State of California, he by the following vote:  AYES: SUPE	regular meeting of said Board of Supervises  State of California, held on the 11th by the following vote:  AYES: SUPERVISORS MARTZ, CHAPMA  NOES: SUPERVISORS NONE  ABSENT: SUPERVISORS TUTEUR	AYES: SUPERVISORS MARTZ, NORRISS, MOSK  CHAPMAN  NOES: SUPERVISORS NONE  ABSENT: SUPERVISORS TUTEUR

FLORENCE W. CUNNY, County Clerk

AGNES DEL ZOMPO
Clerk of the Board

# Exhibit 11

#### ORDINANCE NO. 947

AN ORDINANCE OF THE BOARD OF SUPERVISORS OF THE COUNTY OF NAPA, STATE OF CALIFORNIA, AMENDING TITLE XII OF THE NAPA COUNTY CODE PERTAINING TO WINERIES, ACCESSORY USES, ACCESSORY STRUCTURES, AND REPEALING CHAPTERS 2 AND 3 OF ARTICLE 4 OF TITLE XII RELATING TO THE AP-I AND AP-E ZONING DISTRICTS.

The Board of Supervisors of the County of Napa ordains as follows:

#### SECTION 1. Findings of fact

- (a) Napa County now enjoys worldwide acclaim for the quality of the wine produced within the County.
- (b) The vineyards and wineries, together with their support services, constitute the largest segment of the County's economy.
- (c) The unique combination of geography, climate, micro-climates, and soils makes possible the production of excellent quality wine grapes.
- (d) The preservation of agricultural land requires a reliable market to justify the investment required to acquire, develop and maintain vineyards capable of producing high quality fruit.
- (e) Napa County is one of the smallest counties in California and within the County areas suitable for quality vineyards are limited and irreplaceable. Any project that directly or indirectly results in the removal of existing or potential vineyard land from use depletes the inventory of such land forever.
- (f) The cumulative effect of such projects is far greater than the sum of individual projects. The interspersing of non-agricultural structures and activities throughout agricultural areas in excess of what already exists will result in a significant increase in the problems and costs of maintaining vineyards and discourage the continued use of the land for agricultural purposes.

DEFENDANT'S EXHIBIT 1046 22CV001262



SECTION 2. Findings relating to recognizing existing wineries that commenced operations prior to July 31, 1974, as legal uses.

The Board finds that wineries that were established prior to 1974, and whose activities were lawful when established and have not been abandoned, are an integral part of the Napa Valley economy. One of the purposes of enacting Sections 12201(g) and 12231(h) is to recognize the legal existence of such wineries and their need to operate as legal conforming uses; provided, however, that the intent in recognizing these uses as legal is not to permit expansion beyond the level which legally existed as of July 31, 1974, except as was specifically authorized as part of a subsequent use permit approved in accordance with County regulations. Nothing herein shall be construed as prohibiting such facilities from applying for additional uses, providing such applications meet all of the applicable requirements of this ordinance.

SECTION 3. Findings relating to recognizing existing wineries that commenced operations after July 31, 1974, after securing the required use permit.

The Board finds that wineries that were established after July 31, 1974, after securing the required use permit, and whose activities were lawful when established are an integral part of the Napa Valley economy. One of the purposes of enacting Sections 12201(i) and 12231(j) is to recognize the legal existence of such wineries and to permit their continued right to operate within the conditions of their approved use permits; provided, however, that expansion above and beyond that allowed by the approved use permit may only be permitted upon securing a modification of said use permit in accordance with the provisions of this ordinance.

SECTION 4. Findings relating to issuance of certificates of exemption for small wineries approved pursuant to Section 12048 of the Napa County Code.

The Board finds that small wineries that were established in the past and whose activities were lawful when established and have not been abandoned are an integral part of the Napa Valley economy. One of the purposes of enacting Sections 12201(h) and 12231(i) is to recognize the legal existence of such operational small wineries which have previously been approved pursuant to Section 12048 of the zoning ordinance and to permit them to continue their approved operation or to complete construction and operation in accordance with their approved certificate of exemption. However, expansion beyond approved levels may only proceed in strict accordance with the provisions of this ordinance.

<u>SECTION 5.</u> Findings relating to increased parcel size.

The Board of Supervisors specifically finds that requiring new wineries to meet larger minimum lot sizes than have been required previously, while at the same time recognizing existing wineries on smaller parcels as legal

uses, is not discriminatory because all wineries regardless of parcel size have the right to expand to the extent the winery complies with the applicable provisions of this ordinance. The basis for requiring new wineries to have larger minimum parcels is that the increased parcel size for new wineries will reduce densities and thereby lessen local visual, traffic, air, noise, and groundwater impacts and reduce the conversion of viable agricultural land.

#### <u>SECTION 6.</u> Statement of Legislative Intent.

- (a) The Findings of Fact establish that Napa County is unique in its dependence upon a single agricultural commodity and the associated support systems, activities, and business.
- (b) It is the intent of this Board, as expressed in the current general plan, to protect agriculture and open space as the primary land use in Napa County. Therefore, the language of this ordinance is to be interpreted to achieve that goal. Commercial, industrial and residential uses shall be confined to appropriate areas as set forth in the Napa County General Plan. The conversion or use of agricultural land for non-agricultural purposes and the depletion of open space land shall be prohibited except to the extent expressly permitted by the Napa County General Plan and any ordinance adopted to implement the General Plan.

#### SECTION 7. Additional Findings Relating to General Plan Consistency.

The Board expressly finds that marketing of wine as defined in this ordinance as well as those uses identified in Section 12202(f) through (h) and Section 12232(h) through (j) are activities that are not only necessary to retain agriculture as a major source of income and employment in Napa County, but also will ensure the continued agricultural viability of existing and future Napa Valley vineyards.

SECTION 8. Section 12047 of the Napa County Code is amended to read in full as follows:

Sec. 12047. "Winery."

"Winery" shall mean an agricultural processing facility used for:

- The fermenting and processing of grape juice into wine; or
- (2) The refermenting of still wine into sparkling wine.
- SECTION 9. New Sections 12069 through 12072 are hereby added to Title XII of the Napa County Code to read in full as follows:

Sec. 12069. "Accessory Use".

"Accessory Use" shall mean any use subordinate to the main use and customarily a part thereof. An accessory use must be clearly incidental,

related and subordinate to the main use, reasonably compatible with the other principal uses in the zoning district and with the intent of the zoning district, and cannot change the character of the main use. Unless provided otherwise in this Title, accessory uses may be conducted in the primary structure or in structures other than the primary structure. Where the zoning regulations applicable to a zoning district specifically identify the accessory uses which are permitted in conjunction with a primary use in that zoning district, no other accessory uses in conjunction with the primary use will be permitted in that zoning district. Accessory structures relating to specific uses are further limited to the extent provided by Section 12421.

Sec. 12070. "Tours and Tastings".

"Tours and Tastings" shall mean tours of the winery and/or tastings of wine, where such tours and tasting are limited to members of the wine trade, persons invited by a winery who have pre-established business or personal relationships with the winery or its owners, and persons who have made unsolicited prior appointments for tours or tastings.

Sec. 12071. "Marketing of Wine".

"Marketing of Wine" shall mean any activity of a winery identified in this paragraph which is conducted at the winery and is limited to members of the wine trade, persons who have pre-established business or personal relationships with the winery or its owners, or members of a particular group for which the activity is being conducted on a pre-arranged basis. Marketing of wine is limited to activities for the education and development of the persons or groups listed above with respect to wine which can be sold at the winery on a retail basis pursuant to Article 4 of this title, and may include food service without charge except to the extent of cost recovery when provided in association with such education and development, but shall not include cultural and social events unrelated to such education and development.

Sec. 12072. Single Parcel.

"Single Parcel" shall mean a single legal parcel. Parcels designated by the Napa County Assessor may or may not be a single legal parcel.

SECTION 10. Section 12201 of the Napa County Code is hereby

amended to read in full as follows:

Sec. 12201. Uses Allowed without Use Permit.

The following uses shall be allowed in all AP districts without use permits:

- (a) Agriculture.
- (b) One single family dwelling unit per legal lot.

R. WESTMEYER
COUNTY COUNSEL
1193 THIRD STREET
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- (c) Residential Care Facilities (Small).
- (d) Family Day Care Homes (Small).
- (e) Family Day Care Homes (Large), subject to Section 12413.
- (f) One guest cottage, provided that all of the conditions set forth in Section 12415 are met.
- (g) Wineries and related accessory uses and structures which legally existed prior to July 31, 1974 without the requirement that a use permit be issued, and which have not been abandoned; provided that the extent of such uses and structures have been determined in accordance with the procedure set forth in Section 12854. No expansion beyond those which existed prior to July 31, 1974 may occur unless specifically authorized by use permit, issued in conformance with the applicable provisions of this title.
- (h) Small wineries which were issued a Certificate of Exemption prior to January 23, 1990, and used the certificate in the manner set forth in Section 12806 before February 22, 1990 in conformance with the applicable Certificate of Exemption, Section 12048 of this Code, and any resolution adopted pursuant thereto.
- (i) Wineries and related accessory uses which have been authorized by use permit and used in a manner set forth in Section 12806 or any predecessor section; provided that no expansion of uses or structures beyond those which were authorized by a use permit or modification of a use permit issued prior to February 22, 1990, shall be permitted except as may be authorized by a subsequent use permit issued pursuant to this title.

SECTION 11. Section 12202 of the Napa County Code is amended to read in full as follows:

Sec. 12202. Uses Permitted Upon Grant of Use Permit.

The following uses may be permitted in all AP districts, but only upon grant of a use permit pursuant to Section 12800:

- (a) Farm labor housing.
- (b) Facilities, other than wineries, for the processing of agricultural products grown or raised on the same parcels or contiguous parcels under the same ownership.
- (c) Kennels and veterinary facilities.
- (d) Feed lots.
- (e) Non-Commercial Wind Energy and Conversion Systems.

- (f) Wineries, as defined in Section 12047.
- (g) The following uses in connection with a winery:
  - (1) Crushing of grapes outside or within a structure.
  - (2) On-site above-ground disposal of waste water generated by the winery.
  - (3) Aging, processing and storage of wine in bulk.
  - (4) Bottling and storage of bottled wine and shipping and receiving of bulk and bottled wine, provided the wine bottled or received does not exceed the permitted production capacity.
  - (5) Any or all of the following uses provided that, in the aggregate, such uses are clearly incidental, related and subordinate to the primary operation of the winery as a production facility:
    - (A) Office and laboratory uses.
    - (B) Marketing of wine as defined in Section 12071.
    - (C) Retail sale of (i) wine fermented or refermented and bottled at the winery, irrespective of the county of origin of the grapes from which the wine was made, providing nothing herein shall excuse the application of paragraphs (b) and (c) of Section 12419 regulating the source of grapes; and (ii) wine produced by or for the winery from grapes grown in Napa County.
- (h) The following uses, when accessory to a winery:
  - (1) Tours and Tastings, as defined in Section 12070.
  - (2) Display, but not sale, of art.
  - (3) Display, but not sale, of items of historical, enological or viticultural significance to the wine industry.
  - (4) Child day care centers limited to caring for children of employees of the winery.

SECTION 12. Chapters 2 and 3 of Article 4 of Title XII of the Napa County Code are hereby repealed.



SECTION 13. Section 12231 of the Napa County Code is amended to

read in full as follows:

Sec. 12231. Uses allowed without Use Permit.

The following uses shall be allowed in all AW districts without use permits:

- (a) Agriculture.
- (b) One single family dwelling unit per legal lot.
- (c) A second unit, either attached to or detached from an existing legal residential dwelling unit, providing that all of the conditions set forth in Section 12412 are met.
- (d) Residential Care Facilities (Small).
- (e) Family Day Care Homes (Small).
- (f) Family Day Care Homes (Large), subject to Section 12413.
- (g) One guest cottage, provided that all of the conditions set forth in Section 12415 are met.
- (h) Wineries and related accessory uses and structures which legally existed prior to July 31, 1974 without the requirement that a use permit be issued, and which have not been abandoned; provided that the extent of such uses and structures have been determined in accordance with the procedure set forth in Section 12854. No expansion beyond those which existed prior to July 31, 1974 may occur unless specifically authorized by use permit, issued in conformance with the applicable provisions of this title.
- (i) Small wineries which were issued a Certificate of Exemption prior to January 23, 1990, and used the certificate in the manner set forth in Section 12806 before February 22, 1990, in conformance with the applicable Certificate of Exemption, Section 12048 of this Code, and any resolution adopted pursuant thereto.
- (j) Wineries and related accessory uses which have been authorized by use permit and used in a manner set forth in Section 12806 or any predecessor section; provided that no expansion of uses or structures beyond those which were authorized by a use permit or modification of a use permit issued prior to February 22, 1990, shall be permitted except as may be authorized by a subsequent use permit issued pursuant to this title.

R. WESTMEYER
COUNTY COUNSEL
1193 THIRD STREET
NAPA. CALIFORNE \$150046-7

SECTION 14. Section 12232 of the Napa County Code is amended to read in full as follows:

Sec. 12232. Uses Permitted Upon Grant of Use Permit.

The following uses may be permitted in all AW districts, but only upon grant of a use permit pursuant to Section 12800:

- (a) Outdoor parks and recreation facilities compatible with agriculture.
- (b) Farm labor housing.
- (c) Facilities, other than wineries, for the processing of agricultural products grown or raised on the same parcels or contiguous parcels under the same ownership.
- (d) Kennels and veterinary facilities.
- (e) Feed lots.
- (f) Sanitary land fill sites.
- (g) Non-Commercial Wind Energy and Conversion Systems.
- (h) Wineries, as defined in Section 12047.
- (i) The following uses in connection with a winery:
  - (1) Crushing of grapes outside or within a structure.
  - (2) On-site, above-ground disposal of waste water generated by the winery.
  - (3) Aging, processing and storage of wine in bulk.
  - (4) Bottling and storage of bottled wine; shipping and receiving of bulk and bottled wine, provided the wine bottled or received does not exceed the permitted production capacity.
  - (5) Any or all of the following uses provided that, in the aggregate, such uses are clearly incidental, related and subordinate to the primary operation of the winery as a production facility:
    - (A) Office and laboratory uses.
    - (B) Marketing of wine as defined in Section 12071.
    - (C) Retail sale of (i) wine fermented or refermented and bottled at the winery, irrespective of the county of origin of the grapes from which the wine was made, providing nothing herein shall excuse the application of paragraphs (b) and (c) of Section 12419 regulating the

source of grapes; and (ii) wine produced by or for the winery from grapes grown in Napa County.

- (j) The following uses, when accessory to a winery:
  - (1) Tours and Tastings, as defined in Section 12070.
  - (2) Display, but not sale, of art.
  - (3) Display, but not sale, of items of historical, enological or viticultural significance to the wine industry.
  - (4) Child day care centers limited to caring for children of employees of the winery.

SECTION 15. A new Section 12422 is added to the Napa County Code to read in full as follows:

#### Sec. 12422. Winery Development Area.

- (a) The winery development area of a winery shall be contiguous to and shall not exceed 100% of the winery area calculated according to subparagraph (b) herein which is existing as of January 23, 1990.
- (b) The winery area shall be the aggregate paved or impervious or semipermeable ground surface areas of the production facility, storage areas (except caves), offices, laboratories, kitchens, tasting rooms, and paved parking areas for the exclusive use of winery employees.
- (c) Construction of additional facilities beyond the winery development area without compliance with Section 12419 may be permitted only if required by the Director of Environmental Management to correct emergency health and safety conditions not related to expansion of production.

SECTION 16. A new section 12418 is added to the Napa County Code to read in full as follows:

#### Sec. 12418. Minimum Parcel Size

Wineries are permitted to be located or operated on parcels zoned AP or AW only if the single parcel on which it is located meets the following minimum parcel size:

- (a) Wineries that were established in conformance with all applicable county regulations prior to February 22, 1990 --- 1 acre.
- (b) Wineries that were established after February 22, 1990 --- 10 acres.



1/22/90

SECTION 17. A new section 12419 is added to the Napa County Code

to read in full as follows:

Sec. 12419. Winery Production Capacity.

- (a) Wineries located or operated on parcels zoned AP or AW are subject to the following maximum annual production capacities:
  - (1) Wineries (commonly known as and hereafter referred to as "small wineries," the rules and regulations relating thereto having been adopted by the Board by Resolution No. 80-21 and amended by Resolution No. 86-55) that were lawfully established subsequent to July 31, 1974 without first obtaining a use permit prior to January 23, 1990 ----- the production limit established as a part of the issuance of the winery's certificate of exemption or 20,000 gallons per year, whichever is less. Any expansion of production capacity of a small winery shall be prohibited unless a use permit is obtained.
  - (2) Wineries that were established prior to July 31, 1974 without obtaining a use permit because a use permit was not required, and which have not subsequently been issued a use permit specifying maximum annual production capacity ---- the production capacity existing as of July 31, 1974. Any expansion of the production capacity shall be prohibited unless a use permit is obtained.
  - (3) Wineries located on a single parcel which do not qualify under subparagraph (a)(1) or (a)(2), but were established only after the issuance of a use permit, and in conformance with all applicable county regulations prior to February 22, 1990 ----- the production capacity authorized by the appropriate use permit. Any expansion of the production capacity shall be prohibited without the amendment of the use permit.
  - (4) Wineries that were established after January 23, 1990 ----- maximum production capacity shall be as established by the applicable use permit.
- (b) All wineries first established subsequent to January 23, 1990: at least seventy-five percent of the grapes used to make the winery's still wine, or the still wine used by the winery to make sparkling wine, shall be grown within the County of Napa.
- (c) All existing wineries which expand beyond their winery development area shall be subject to the following additional limitations:
  - (1) At least seventy-five percent of the grapes used to make that portion of the winery's still wine which is produced as a result of the expansion shall be grown within the County of Napa.
  - (2) At least seventy-five percent of the grapes used to make the still wine used to make the sparkling wine that is produced as

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a result of the expansion shall be grown within the County of Napa.

SECTION 18. A new section 12420 is added to the Napa County Code to read in full as follows:

Sec. 12420. Wineries Located In Open Space Areas - Setbacks.

- (a) The minimum setback for wineries shall be as follows:
  - (1) Wineries, or structures containing accessory uses allowed by Section 12202(g), 12202(h), 12232(i) and 12232(j), which are located on parcels contiguous to a state highway, Silverado Trail, or any arterial county road --- six hundred feet.
  - (2) Wineries, or structures containing accessory uses allowed by Section 12202(g), 12202(h), 12232(i) and 12232(j), which are located on parcels contiguous to any other public road or private road(s) used by the public --- three hundred feet.
- (b) Any winery existing on January 23, 1990, may expand within the minimum setback specified in subparagraph (a) above. Notwithstanding the previous sentence, expansions may be permitted within the minimum setback area only if the expansion is placed no closer to the centerline of the right-ofway than the nearest point of the existing structure to which the expansion is attached. Any new freestanding structure shall comply with the setback provisions of subparagraph (a) above.
- (c) Nothing herein shall be construed as permitting construction or improvements within applicable setback or yard areas as specified by other sections of this title.

SECTION 19. A new section 12420.1 is added to the Napa County

Sec. 12420.1. Wineries Located in Open Space Areas - Coverage.

Code to read in full as follows:

The maximum coverage of new or expanded wineries shall be twenty-five percent of the existing parcel or fifteen acres, whichever is less. Coverage for the purposes of this measure shall be the aggregate paved or impervious ground surface areas of the production facility, storage areas (except caves), offices, laboratories, kitchens, tasting rooms, paved areas and access roads to public or private roads or rights-of-way and above-ground sewage disposal systems.

SECTION 20. A new section 12421 is added to the Napa County Code

to read in full as follows:

Sec. 12421. Accessory Structures related to Wineries in AP/AW.

The maximum square footage of structures used for accessory uses that are related to a winery shall not exceed forty percent of the area of the production facility. "Production Facility" for the purpose of this section means crushing, fermenting, bottling, bulk and bottle storage, shipping, receiving, laboratory, equipment storage and maintenance facilities but shall not include wastewater treatment or disposal areas which cannot be used for agricultural purposes.

SECTION 21. A new Section 12602.3 is added to the Napa County

Code to read in full as follows:

Sec. 12602.3. Winery Signs.

If a winery is required to have a sign identifying the winery as such at the entrance to or from a public roadway, or elects to have such a sign, any tour or tasting at the winery shall be unlawful and shall not be permitted unless the sign includes the words "Tours and Tastings by Prior Appointment Only" and the sign conforms to standards adopted by the Commission by resolution as to size, placement, materials, legibility and maintenance.

SECTION 22. Notwithstanding any other provision contained in this ordinance or the Napa County Code:

- (a) Any building or use for which a use permit has been lawfully granted to construct a winery but which has not been used in the manner set forth in Section 12806 of the Napa County Code on or before February 22, 1990, may be completed and used in accordance with the approved use permit without regard to the changes contained in this ordinance; provided, however, that if construction is required to "use" the use permit, applications for all necessary permits, together with any required plans, must be filed with the appropriate departments within one hundred twenty days of February 22, 1990, and the permit used pursuant to Section 12806 within a reasonable period of time thereafter not to exceed one hundred eighty calendar days and diligently prosecuted to completion. Any such building or use shall thereafter be deemed to have been lawfully constructed or the use commenced as of the date of the issuance of the use permit.
- (b) Any building or use for which a certificate of exemption has been lawfully granted pursuant Section 12048 of the Napa County Code to construct a small winery, but has not been "used" in the manner described by Section 12806 of the Napa County Code prior to January 23, 1990, may be completed without regard to the changes contained in this ordinance; provided, however, that if construction is required to "use" the certificate of exemption as the term "used" is

defined in Section 12806 of the Napa County Code, applications for all necessary permits, together with any required plans, must been filed with the appropriate departments within one hundred twenty days of February 22, 1990, and the certificate "used" as that term is defined by Section 12806 within a reasonable period of time thereafter not to exceed one hundred eighty calendar days and diligently prosecuted to completion. Any such building or use shall thereafter be deemed to have been lawfully constructed or the use lawfully activated as of the date the certificate of exemption was issued to the holder.

- (c) Any use permit or certificate of exemption referenced in subparagraph (a) or (b) which authorizes the construction of a winery or which permits the construction of structures or the establishment of uses inconsistent with this ordinance shall be automatically revoked upon February 22, 1990, if compliance with subparagraphs (a) or (b), whichever is applicable, does not occur.
- (d) If, prior to February 22, 1990, a use permit is granted or denied by the Conservation, Development and Planning Commission or prior to January 23, 1990, a request that a small winery certificate of exemption be issued by the Conservation, Development and Planning Department is approved or denied in writing, and the decision by the Department or Commission is appealed to the Board of Supervisors, the decision of the Board to grant or deny the appeal is deemed to relate back to the date the original decision was rendered by the Department or Commission.

SECTION 23. If any section, sentence, clause, phrase or portion of this ordinance is for any reason held to be invalid or unconstitutional by the decision of any court, such decision shall not affect the validity of the remaining portions of the ordinance. The Board of Supervisors declares that it would have adopted this ordinance and each section, sentence, clause or phrase and portion thereof, irrespective of the fact that any one or more sections, sentences, clauses, phrases or portions be invalid or unconstitutional.

SECTION 24. This ordinance shall take effect thirty days after its passage.

SECTION 25. A summary of this ordinance shall be published at least once five days prior to adoption and at least once before the expiration of fifteen days after its passage in the Napa Register, a newspaper of general circulation, printed and published in the County of Napa, together with the

names of the members voting for and against the same.

The foregoing ordinance was introduced and read at a regular meeting of the Board of Supervisors of the County of Napa, State of California, held on the 17th day of January, 1990, and passed at a regular meeting of the Board of Supervisors of the County of Napa, State of California, held on the 23rd day of January, 1990, by the following vote:

AYES: SUPERVISORS

VARRELMAN, NEGRI, WHITE, BATTISTI, and

MIKOLAJCIK

NOES: SUPERVISORS

NONE

ABSENT: SUPERVISORS

NONE

JOHN MIKOLAJCIK, Chairman Board of Supervisors

ATTEST:

AGNES DEL ZOMPO, Clerk of the Board

W:180(A)\WDCDPC.3

APPROVED

JAN 2 3 1990

BOARD OF SUPERVISORS
COUNTY OF NAPA

FIGNES DEL ZOMFO CLERK OF THE BOARD

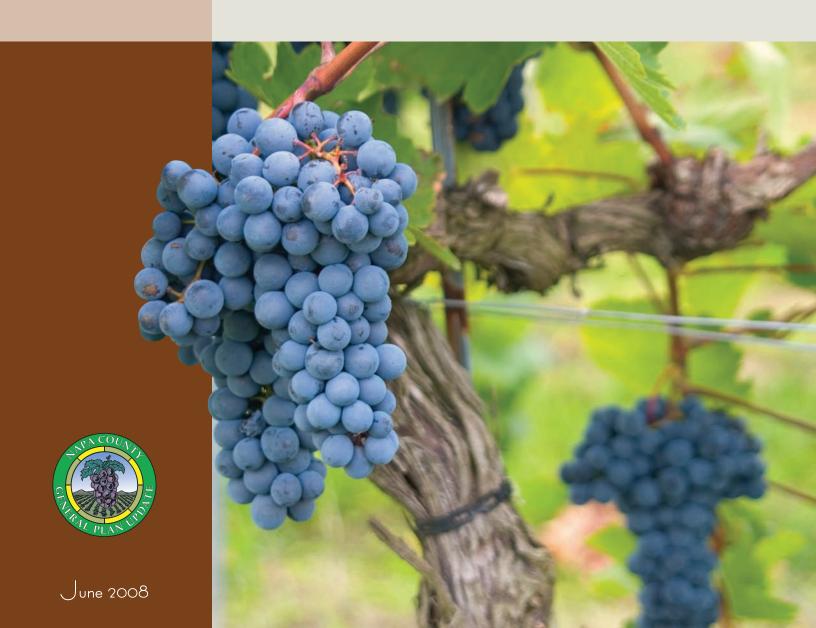
BY Kanto Prescott Deputy

Page 14

1/22/90

# Exhibit 12

### NAPA COUNTY GENERAL PLAN



<u>Policy AG/LU-14</u>: The same location, design, and other considerations applied to wineries shall apply to all other food processing businesses or industrial uses located in agricultural areas.

#### Policy AG/LU-15:

The County affirms and shall protect the right of agricultural operators in designated agricultural areas to commence and continue their agricultural practices (a "right to farm"), even though established urban uses in the general area may foster complaints against those agricultural practices. The "right to farm" shall encompass the processing of agricultural products and other activities inherent in the definition of agriculture provided in Policy AG/LU-2, above.

The existence of this "Right to Farm" policy shall be indicated on all parcel maps approved for locations in or adjacent to designated agricultural areas and shall be a required disclosure to buyers of property in Napa County.

<u>Policy AG/LU-15.5</u>: Where proposed residential, commercial or industrial development abuts lands devoted to agriculture production, the non-agricultural uses shall be required to incorporate buffer areas to mitigate potential land use conflicts as conditions of approval for subdivision or use permit. The type and width of buffer areas shall be determined based on the character, intensity and sensitivity of the abutting land uses.

Action Item AG/LU-15.5.1: The County will prepare and adopt guidelines and regulations to assist in the determination of the appropriate type and scope of agricultural buffer areas needed in circumstances that warrant the creation of such buffer.

#### Policy AG/LU-16:

In recognition of their limited impacts, the County will consider affording small wineries a streamlined permitting process. For purposes of this policy, small wineries are those that produce a small quantity of wine using grapes mostly grown on site and host a limited number of small marketing events each year.

Action Item AG/LU-16.1: Consider amendments to the Zoning Ordinance defining "small wineries," a "small quantity of wine," "small marketing events," and "mostly grown on site," and establishing a streamlined permitting process for small wineries which retains the requirement for a use permit when the winery is in proximity to urban areas.

#### Policy AG/LU-17:

The County encourages active, sustainable forest management practices, including timely harvesting to preserve existing forests, retaining their health, product, and value. The County also encourages timber plantations for fuel wood and lumber production. (For more policies related to the managed production of resources and forest management practices, please see the Conservation Element.)

#### Policy AG/LU-18:

Timber production areas in the County shall be considered to be those defined in the most recent adopted mapping available from CAL FIRE unless local areas are defined through a public planning process.

#### Policy AG/LU-19:

The County recognizes that increasing local food production in Napa County and increasing local food purchases by County residents and institutions such as the jail,

# Exhibit 13



### Categorical Exemption Memorandum



#### Planning, Building & Environmental Services

1195 Third Street, Suite 210 Napa, CA 94559 www.countyofnapa.org

> David Morrison Director

#### MEMORANDUM

Planning Commission	From:	Jason R. Hade, Principal Planner
uly 21, 2021	Re:	Chateauneuf du Pott Winery #P19-00408-UP & #P19-409-VAR
		Categorical Exemption Determination Assessor Parcel #034-100-046

#### **Background**

Pursuant to Section 303 of Napa County's Local Procedures for Implementing the California Quality Act (CEQA), the Planning Division has prepared this environmental evaluation for the proposed Chateauneuf du Pott Winery Use Permit Application (File No. P19-00408) and Variance Application (File No. P19-00409).

#### The project proposes:

Approval of a use permit (#P19-00408) to establish a new 20,000 gallon per year winery with the following components:

- (a) The construction of an approximately 4,638 square foot winery building with approximately 3,881 square feet of production space and approximately 757 square feet of accessory space;
- (b) The construction of a 2,066 square foot covered crush pad and utility yard;
- (c) Use of an existing pole barn to house pump equipment and a generator;
- (d) Installation of seven parking spaces;
- (e) The construction of a wastewater disposal system, 1,000 gallon pre-treatment tank and 20,000 gallon post-treatment tank (below grade);
- (f) Installation of a fire protection water tank and domestic water tank;
- (g) Construction of a new driveway connection from Mount Veeder Road consistent with the Napa County Road and Street Standards;
- (h) Incorporation of the avoidance measures identified in the Biological Resources Assessment prepared for the project by Analytical Environmental Services on September 5, 2017 into the project design including a 65-foot stream setback, submittal of special-status bird species and other migratory passerines (perching birds) pre-construction surveys to Planning Division staff prior to issuance of the grading permit if vegetation clearing or other land disturbance is proposed during the bird breeding season (February 15 through September 30), and installation of silt fencing along the northern project development area during project construction to prevent potential project-related sediment latent runoff from entering Pickle Creek during rain events.

#### Case 3:24-cv-06256 Document 1-13 Filed 09/05/24 Page 4 of 6

- (i) On-premises consumption of wines produced on site within the 2,066 square foot concrete covered crush pad area and 668 square foot outdoor patio in accordance with Business and Professions Code Sections 23358, 23390 and 23396.5;
- (j) Three (3) full time employees and three (3) part-time employees;
- (k) Hours of operation:

Production, 6:00 am to 6:00 pm;

Hospitality, 10:00 am to 4:00 pm;

- (l) Visitation would be a maximum of 10 visitors per day; maximum 70 visitors per week;
- (m) A Marketing Program: Three (3) events per year for a maximum 30 guests (all Marketing events would be catered).

A variance is also requested to permit the construction of the winery building approximately 66-feet from the centerline of Mount Veeder Road within the required 300-foot winery setback.

#### **Existing Setting**

The project is located on a 40-acre parcel on the northeast side of Mount Veeder Road. The General Plan land use designation is Agriculture, Watershed and Open Space (AWOS) and the property is within the Agricultural Watershed (AW) zoning district; 2072 Mount Veeder Road, Napa; APN: 034-100-046.

The property was previously developed with a single-family residence and barn which were destroyed by wildfire in October 2017. A steel pole barn survived the fire and remains onsite today. Access to the property is from Mount Veeder Road via an existing driveway. The nearest residence to the winery is approximately 450 feet to the southwest. A blue line stream (Pickle Creek) runs through the western area of the subject site.

#### CEQA Exemption Criteria and Analysis

Because of the minimal construction and limited operations, the Planning Division finds the project to be categorically exempt from the California Environmental Quality Act ("CEQA") under Section 15303, Class 3 (New Construction or Conversion of Small Structures) and Appendix B of Napa County's Local Procedures for Implementing the California Environmental Quality Act under Class 3: New Construction or Conversion of Small Structures, #10 for the construction and operation of small wineries, other agricultural processing facilities, and farm management uses that:

- (a) are less than 5,000 square feet in size excluding caves;
- (b) will involve either no cave excavation, or excavation sufficient to create no more than 5,000 additional square feet with all of the excavated cave spoils to be used on site;
- (c) will produce 30,000 gallons or less per year;
- (d) will generate less than 40 vehicle trips per day and 5 peak hour trips except on those days when marketing events are taking place;
- (e) will hold no more than 10 marketing events per year, each with no more than 30 attendees, except for one wine auction event with up to 100 persons in attendance; **AND**
- (f) will hold no temporary events.
- a) are less than 5,000 square feet in size excluding caves.

Response: The project proposes the construction of an approximately 4,638 square foot winery building with approximately 3,881 square feet of production space and approximately 757 square feet of accessory space.

b) will involve either no cave excavation, or excavation sufficient to create no more than 5,000 additional square feet with all of the excavated cave spoils to be used on site.

Response: There is no proposal for caves on this project site.

c) will produce 30,000 gallons or less per year.

Response: The applicant proposes to produce up to 20,000 gallons/year.

d) will generate less than 40 vehicle trips per day and 5 peak hour trips except on those days when marketing events are taking place.

Response: According to a *Focused Traffic Analysis for the Chateauneuf du Pott Winery* prepared by W-Trans on June 16, 2020, based on standard operational assumptions, the proposed winery would be expected to generate an average of 14 trips during a typical weekday, with five trips during the evening peak hour; on Saturdays an average of 14 daily trips would also be anticipated, with six trips expected during the weekend peak hour. During harvest the project would be expected to generate 24 daily trips on weekdays and 23 on Saturdays, with eight peak hour trips on weekdays and nine on Saturdays. However, as visitor appointments would be scheduled to avoid generating peak hour trips, the project would be expected to generate only two peak hour trips during normal operation and five peak hour trips during harvest.

e) will hold no more than 10 marketing events per year, each with no more than 30 attendees, except for one wine auction event with up to 100 persons in attendance.

Response: The project proposal requests to host a maximum of three (3) marketing events per year for a maximum of 30 guests (each?). Use of a shuttle service is planned for the marketing events.

f) will hold no temporary events.

Response: No temporary events are proposed as part of the project and a condition of approval is recommended prohibiting such events.

Under Section 15300.2 of the California Environmental Quality Act, a Class 3 (Section 15303) exemption cannot be used if the project substantially affects mapped or designated environmentally sensitive areas or resources or if there will be cumulative impacts. No grading would occur in a waterway, in any wetland, in an officially designated (by federal, state, or local government action) scenic area, or in officially mapped areas of severe geologic hazard such as an Alquist-Priolo Earthquake Fault Zone or within an official Seismic Hazard Zone, as delineated by the State Geologist. Portions of the 40-acre project parcel lie within a sensitive biotic vegetation aquatic buffer zone, coniferous forest, riparian woodland, and oak woodland areas. However, the project does not result in substantial effects to mapped or designated environmentally sensitive areas or resources and has been designed to incorporate the avoidance measures outlined above. Specifically, a total of 0.21 acres of woodland would be removed for project construction and 0.91 acres of coast live oak woodland is slated for preservation consistent with current County policy (Napa County Code section 18.108.020(D).) In addition, the project meets the County's Vegetation Retention Requirements, which require the maintenance of 70 percent vegetation canopy cover (Napa County Code section 18.108.020(C).) According to the County's resource maps, there are no scenic resources, hazardous waste sites, nor historic resources identified on the

#### Case 3:24-cv-06256 Document 1-13 Filed 09/05/24 Page 6 of 6

site. If resources are found during any earth disturbing activities associated with the project, construction of the project is required to cease, and a qualified archaeologist would be retained to investigate the site in accordance with the following standard condition of approval:

#### 7.2 ARCHEOLOGICAL FINDING

In the event that archeological artifacts or human remains are discovered during construction, work shall cease in a 50-foot radius surrounding the area of discovery. The permittee shall contact the PBES Department for further guidance, which will likely include the requirement for the permittee to hire a qualified professional to analyze the artifacts encountered and to determine if additional measures are required.

If human remains are encountered during project development, all work in the vicinity must be halted, and the Napa County Coroner informed, so that the Coroner can determine if an investigation of the cause of death is required, and if the remains are of Native American origin. If the remains are of Native American origin, the permittee shall comply with the requirements of Public Resources Code Section 5097.98.

With the location of the closest receptor residence ±450 feet away to the southwest of the project site, potential noise impacts from periodic bottling activities would have a less than significant impact on local residences. Recent noise studies of bottling activities measured 630 feet from the activity itself found the noise levels to be 36 dBA. (Paul Hobbs - Nathan Coombs Winery Environmental Noise Assessment, Illingworth & Rodkin, Inc, June 25, 2016). The noise studies further state that such point source sound levels are reduced with distance in accordance with the "inverse square law", which yields a six (6) dB sound reduction for each doubling of the distance from the source.

Based upon the measurements and calculation stated in that study, the receptor residence located ±450 feet away, the noise level for the bottling activity at the adjacent residence would be approximately 3 decibels more than the measured 36 dBA noise level 630 feet from the bottling line, or 39 dBA. Additionally, the proposed three marketing events for up to 30 people would generate vocal noise (amplified music would be prohibited). But, by using the noise measurements taken at a winery event with an attendance of 100 people (plus background music) in the previously mentioned report, 38 dBA at 600 feet, it can be calculated that at a 450 foot distance, the noise level for an event would be 2.5 dB higher, or 40.5 dBA. The calculated noise levels do not exceed the County's Noise Ordinance "Exterior Noise Limits" at the nearest residence (45dBA).

Therefore, based upon the above analysis there is no reasonable possibility that the project would have a significant effect on the environment, or damage scenic resources because of its limited scope and any noise generated by the project would not exceed the levels established by the County Noise Ordinance.

The construction of the proposed winery building and associated improvements is a minimal modification of the existing site conditions and the proposed visitation and marketing program would not create a cumulative significant traffic impact.

The requested variance is exempt from CEQA pursuant to Section 15305(a) which addresses setback variances.

Based upon the project's compliance with the criteria established for a small winery and based upon the above indicated determination regarding significant impacts, it can be determined that this proposal meets the Categorical Exemption discussed above, and the project is exempt from CEQA.

# Exhibit 14

RENNE PUBLIC LAW GROUP

Attorneys at Law

PLAINTIFF/CROSS-DEFENDANT NAPA COUNTY'S RESPONSES TO DEFENDANT/CROSS-COMPLAINANT HOOPES' REQUESTS FOR ADMISSIONS, SET ONE

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1 2 3 company, Cross-Complainants, 4 5 6 7 Cross-Defendants. 8 PROPOUNDING PARTY: 9 10 **RESPONDING PARTY:** 11 SET NUMBER: 12 13 for Admissions, Set One, as follows. 14 15 16

HOOPES FAMILY WINERY PARTNERS, LP, a California limited partnership and HOOPES VINEYARD, LLC, a California limited liability

NAPA COUNTY, DAVID MORRISON, in his official and individual capacity, AKENYA ROBINSON-WEBB, in her official and individual capacities, and ROES 1 through 10, inclusive,

Defendant/Cross-Complainant HOOPES FAMILY WINERY

PARTNERS, LP, HOOPES VINEYARD, LLC and

LINDSAY BLAIR HOOPES

Plaintiff/Cross-Defendant NAPA COUNTY

ONE (1)

Plaintiff NAPA COUNTY ("Napa") responds to Defendant/Cross-Complainant Hoopes Requests

#### INTRODUCTORY STATEMENT

Plaintiff/Cross-Defendant has not completed its investigation of all the facts in this case, or discovery in this matter, and has not completed its preparation for trial. Accordingly, the following responses are based only on information presently available and known to Plaintiff/Cross-Defendant. Plaintiff/Cross-Defendant reserves the right to supplement or amend its responses if new information or documents become available. Plaintiff/Cross-Defendant also reserves the right to supplement or amend its responses in the event previously available information or documents were omitted by oversight, inadvertence, or good faith error or mistake.

Except for facts explicitly stated, no incidental or implied ADMISSION are intended in these responses. By responding to any request, Plaintiff/Cross-Defendant does not necessarily adopt or accept the terms Defendant/Cross-Complainant has employed or Defendant/Cross-Complainant's characterization of any fact or document. Plaintiff/Cross-Defendant reserves all objections regarding the competency, relevancy, probative value, and/or admissibility. Plaintiff/Cross-Defendant also reserves all objections as to vagueness, ambiguity, and overbreadth. Furthermore, Plaintiff/Cross-Defendant reserves Ex.1279-2

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any objections regarding the use of these responses or any document in any subsequent proceeding, including trial.

#### **GENERAL OBJECTIONS**

Plaintiff / Cross-Defendant asserts the following general objections to Defendants' requests for admission, and incorporates the objections into each individual response:

To the extent permitted, Plaintiff/Cross-Defendant incorporates each of the following general objections into its responses to Plaintiff's requests. Where required, Plaintiff/Cross-Defendant will set forth additional specific objections to particular requests.

- Plaintiff/Cross-Defendant objects to Defendant/Cross-Complainant's requests insofar as 1. they seek the disclosure of information that is protected from disclosure by the attorney-client privilege, the work product doctrine, the self-critical analysis privilege, or any other applicable privilege. To the extent that Plaintiff/Cross-Defendant inadvertently discloses information that may arguably be protected from discovery under any applicable privilege, such inadvertent disclosure does not constitute a waiver of such privilege.
- Plaintiff/Cross-Defendant objects to Defendant/Cross-Complainant's requests to the 2. extent they call information not currently in Plaintiff/Cross-Defendant's possession, custody or control.
- 3. Plaintiff/Cross-Defendant objects to Defendant/Cross-Complainant's requests to the extent they call for the interpretation of information contained in written documents.
- 4. Plaintiff/Cross-Defendant objects to Defendant/Cross-Complainant's requests to the extent they call for the disclosure of information of a confidential and personal nature regarding applicants, employees, or other individuals who have a protected interest in their privacy under Article I, section 1, of the California Constitution and as set forth in the Information Practices Act, Civil Code section 1798 et. seq.
- 5. Plaintiff/Cross-Defendant objects to Defendant/Cross-Complainant's attempt to require responses inconsistent with controlling statutes. Plaintiff/Cross-Complainant will respond only as required by statute.

Subject to these objections, Plaintiff/Cross-Defendant responds as follows to Defendant/Cross-Complainant's requests in accordance with Plaintiff/Cross-Defendant's understanding of the fair Ex.1279-3

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meaning of those requests.

#### RESPONSES TO REQUESTS FOR ADMISSIONS

#### **REQUEST FOR ADMISSION NO. 1:**

Admit DAVID MORRISON had a conversation with LINDSAY HOOPES in his office on June 4, 2019.

#### **RESPONSE TO REQUEST FOR ADMISSION NO. 1:**

Plaintiff cannot admit or deny this Request because Mr. Morrison does not recall this meeting.

#### **REQUEST FOR ADMISSION NO. 2:**

Admit that NAPA COUNTY does not administer operational permits for wineries.

#### **RESPONSE TO REQUEST FOR ADMISSION NO. 2:**

Plaintiff objects that as phrased this Request for Admission is incomprehensible. Since Plaintiff does not understand the Request it cannot admit nor deny.

#### **REQUEST FOR ADMISSION NO. 3:**

Admit that NAPA COUNTY is not legally authorized to issue define what conduct constitutes the retail sale of alcohol.

#### **RESPONSE TO REQUEST FOR ADMISSION NO. 3:**

Plaintiff objects that this Request for Admission is vague and ambiguous as to the use of the phrase "issue define." Based upon Plaintiff's understanding of this Request, Plaintiff denies the Request.

#### **REQUEST FOR ADMISSION NO. 4:**

Admit that NAPA COUNTY believes small wineries are required to apply for a use permit to avail of "accessory" winery uses.

#### **RESPONSE TO REQUEST FOR ADMISSION NO. 4:**

Plaintiff objects that this request is incomprehensible and vague and ambiguous in the use of the phrase "to avail of 'accessory' winery uses," and also because the word "accessory" is in quotes. Based upon Plaintiff's lack of understanding of this Request, Plaintiff cannot admit or deny the request.

#### **REQUEST FOR ADMISSION NO. 5:**

Admit Kelly Cahill sent the electronic email to LINDSAY HOOPES attached hereto as

#### Exhibit A.

**RESPONSE TO REQUEST FOR ADMISSION NO. 5:** 

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#### **REQUEST FOR ADMISSION NO. 11:**

Admit that zoning regulations for any type of structure or land use must be consistent within any given zone pursuant to the Government Code.

#### **RESPONSE TO REQUEST FOR ADMISSION NO. 11:**

Plaintiff objects that this Request is incomprehensible, vague and ambiguous and calls for a legal conclusion. Based upon these objections, Plaintiff is unable to admit or deny the Request.

#### **REQUEST FOR ADMISSION NO. 12:**

Admit that NAPA COUNTY did not create a process to track "existing uses" of pre-WDO wineries upon enactment of the WDO.

#### **RESPONSE TO REQUEST FOR ADMISSION NO. 12:**

Plaintiff objects that this Request is vague and ambiguous, particularly due to the quoted phrase "existing uses." However, based upon Plaintiff's understanding of this Request it admits the Request.

#### **REQUEST FOR ADMISSION NO. 13:**

Admit NAPA COUNTY never issued any citations as to 6204 Washington Street between the dates of January 2017 and January 2023.

#### **RESPONSE TO REQUEST FOR ADMISSION NO. 13**

Admit.

#### **REQUEST FOR ADMISSION NO. 14:**

Admit NAPA COUNTY never issued any notices of nuisance abatement as to 6204 Washington Street between the dates of January 2017 and January 2023.

#### **RESPONSE TO REQUEST FOR ADMISSION NO. 14:**

Admit.

#### **REQUEST FOR ADMISSION NO. 15:**

Admit that NAPA COUNTY never issued stop work notices as to 6204 Washington Street between the dates of January 2017 and January 2023.

### **RESPONSE TO REQUEST FOR ADMISSION NO. 15:**

Admit.

PLAINTIFF/CROSS-DEFENDANT NAPA COUNTY'S RESPONSES TO DEFENDANT/CROSS-COMPLAINANT

HOOPES' REQUESTS FOR ADMISSIONS, SET ONE

RENNE PUBLIC LAW GROUP

a single-member LLC.

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#### **RESPONSE TO REQUEST FOR ADMISSION NO. 22:**

Plaintiff objects to this Request as seeking information protected by the work product doctrine and potentially the attorney client privilege. Based upon this objection Plaintiff will not respond to this Request.

#### **REQUEST FOR ADMISSION NO. 23:**

Admit NAPA COUNTY has no evidence HOOPES VINEYARD, LLC was established to perpetrate a fraud.

#### **RESPONSE TO REQUEST FOR ADMISSION NO. 23:**

Plaintiff objects that this Request is vague and ambiguous and further seeks information before Plaintiff has undertaken any discovery. To the extent that Plaintiff understands the Request Plaintiff denies the Request.

#### **REQUEST FOR ADMISSION NO. 24:**

Admit there is no Napa Ordinance that prohibits or regulates "advertising" of wine.

#### **RESPONSE TO REQUEST FOR ADMISSION NO. 24:**

Plaintiff objects that the Request is vague and ambiguous due to the quoted use of the word "advertising." To the extent Plaintiff understands this Request, the Request is denied.

#### **REQUEST FOR ADMISSION NO. 25:**

Admit that all small winery exemptions were authorized to sell wine to retail consumers.

#### **RESPONSE TO REQUEST FOR ADMISSION NO. 25:**

Plaintiff objects that the Request is vague and ambiguous. However, to the extent Plaintiff understands this Request, the Request is denied.

#### **REQUEST FOR ADMISSION NO. 26:**

Admit that small winery exemptions were not limited in number of retail customers that could purchase wine.

#### **RESPONSE TO REQUEST FOR ADMISSION NO. 26:**

Plaintiff objects that the Request is incomprehensible, vague and ambiguous and as a result Plaintiff is not able to admit or deny the Request.

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### **REQUEST FOR ADMISSION NO. 27:**

Admit that some small winery exemptions conduct tours and tastings.

#### **RESPONSE TO REQUEST FOR ADMISSION NO. 27:**

Plaintiff objects that the Request is incomprehensible, vague and ambiguous and as a result Plaintiff is not able to admit or deny the request.

#### **REQUEST FOR ADMISSION NO. 28:**

Admit that NAPA COUNTY knew all prior owners allowed retail consumers to taste wine on the property at 6204 Washington Street.

#### **RESPONSE TO REQUEST FOR ADMISSION NO. 28:**

Deny

#### **REQUEST FOR ADMISSION NO. 29:**

Admit that NAPA COUNTY knew many wineries were engaged in tours and tastings prior to enactment of the WDO without a specific "tasting" permit.

#### **RESPONSE TO REQUEST FOR ADMISSION NO. 29:**

Plaintiff objects that this Request asserts facts not in evidence and is vague and ambiguous, particularly based upon the quoted use of the word "tasting" and the use of the word "many." Since Plaintiff does not know how Defendant is defining these words, Plaintiff is not able to admit or deny the Request.

#### **REQUEST FOR ADMISSION NO. 30:**

Admit that NAPA COUNTY knew enactment of the WDO would act to grandfather all pre-WDO wineries, of any size, with tours and tastings, and all other uses and accessory uses of wineries.

#### **RESPONSE TO REQUEST FOR ADMISSION NO. 30:**

Plaintiff objects that this Request asserts facts not in evidence and is vague and ambiguous. To the extent that Plaintiff understands the Request, it is denied.

#### **REQUEST FOR ADMISSION NO. 31:**

Admit that the Napa County Code does not define what "retail" permissions at pre-WDO wineries means.

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#### **RESPONSE TO REQUEST FOR ADMISSION NO. 31:**

Plaintiff objects that this Request is incomprehensible, vague and ambiguous, particularly based upon the quoted use of the word "retail." Since Plaintiff does not know how Defendant is defining this word Plaintiff is not able to admit or deny the Request.

#### **REQUEST FOR ADMISSION NO. 32:**

Admit that the Napa County Code only prohibits "tastings" without prior appointment.

#### **RESPONSE TO REQUEST FOR ADMISSION NO. 32:**

Plaintiff objects that this Request is vague and ambiguous, particularly based upon the quoted use of the word "tastings." To the extent Plaintiff understands this Request Plaintiff denies the Request.

#### **REQUEST FOR ADMISSION NO. 33:**

Admit that the Board of Supervisors adopted the final EIR report, and the facts continued therein, and prepared by LSA, in 1989, as an official public record.

#### RESPONSE TO REQUEST FOR ADMISSION NO. 33:

Plaintiff objects that this Request is incomprehensible, vague and ambiguous and based upon that objection is not able to admit or deny the Request.

#### **REQUEST FOR ADMISSION NO. 34:**

Admit small wineries are "wineries."

#### **RESPONSE TO REQUEST FOR ADMISSION NO. 34:**

Plaintiff objects the Request is incomprehensible, vague and ambiguous particularly since the word "wineries" is set forth with quotes and without, suggesting a different meaning to the same word. Based on these objections, Plaintiff is not able to admit or deny the Request.

#### **REQUEST FOR ADMISSION NO. 35:**

Admit that a prohibition on "marketing of wine" would constitute a violation of the First Amendment.

#### **RESPONSE TO REQUEST FOR ADMISSION NO. 35:**

Plaintiff objects that this Request incomprehensible, vague and ambiguous, particularly based upon the quoted use of the phrase "marketing of wine." (Indeed, at RFA 37 Defendant admits it believes the quoted phrase is vague.) Plaintiff further objects that the Request improperly seeks a legal conclusion Ex.1279-10

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and fails to provide sufficient information to formulate a response. Based on the foregoing objections Plaintiff cannot admit or deny the Request. **REQUEST FOR ADMISSION NO. 36:** Admit that raising livestock, including monetizing them, is permitted without a use permit in the AP zone.

#### **RESPONSE TO REQUEST FOR ADMISSION NO. 36:**

Plaintiff objects to this request as vague and ambiguous, particularly as to the words "raising livestock" and "monetizing." To the extent Plaintiff understands this Request Plaintiff denies the Request.

#### **REQUEST FOR ADMISSION NO. 37:**

Admit that "marketing of wine" is vague.

#### RESPONSE TO REQUEST FOR ADMISSION NO. 37:

To the extent Plaintiff understands this Request, particularly the quote "marketing of wine," Plaintiff denies the Request.

#### **REQUEST FOR ADMISSION NO. 38:**

Admit that most wineries in the AP conduct tours and tastings.

#### RESPONSE TO REQUEST FOR ADMISSION NO. 38:

Plaintiff objects this Request is vague and ambiguous. Without waiving that objection, Plaintiff states that it lacks sufficient information and so cannot admit or deny the request.

#### **REQUEST FOR ADMISSION NO. 39:**

Admit that farms are allowed to sell produce on their premises without a permit.

#### **RESPONSE TO REQUEST FOR ADMISSION NO. 39:**

Deny.

#### **REQUEST FOR ADMISSION NO. 40:**

Admit that a walkway between two chicken coops is not a public safety issue.

#### **RESPONSE TO REQUEST FOR ADMISSION NO. 40:**

Deny.

Ex.1279-11

### **REQUEST FOR ADMISSION NO. 41:** Admit that a walkway between two chicken coops does not impact traffic.

#### **RESPONSE TO REQUEST FOR ADMISSION NO. 41:**

Deny.

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#### **REQUEST FOR ADMISSION NO. 42:**

Admit that the picnic bill allows consumption on winery premises.

#### **RESPONSE TO REQUEST FOR ADMISSION NO. 42:**

Plaintiff objects that the Request is vague and ambiguous, particularly with the use of the word "consumption." To the extent Plaintiff understands the Request, Plaintiff denies the Request.

#### **REQUEST FOR ADMISSION NO. 43:**

Admit the picnic bill does not distinguish between O2 holder at "small wineries" from O2 holders at "other wineries."

#### **RESPONSE TO REQUEST FOR ADMISSION NO. 43:**

Plaintiff is unaware of an "O2 holder" and therefore is unable to admit or deny this Request.

#### **REQUEST FOR ADMISSION NO. 44:**

Admit that Akenya Robinson-Webb, during her undercover sting in October 2021, did not engage in a "tasting."

#### **RESPONSE TO REQUEST FOR ADMISSION NO. 44:**

Plaintiff objects that this Request contains facts not in evidence and is vague and ambiguous with the use of the quoted word "tasting," and the word "sting." To the extent Plaintiff understands the Request, Plaintiff denies the Request.

#### **REQUEST FOR ADMISSION NO. 45:**

Admit that Akenya Robinson-Webb, during her undercover sting in October 2021, requested a "tasting" multiple times, and was denied.

#### **RESPONSE TO REQUEST FOR ADMISSION NO. 45:**

Plaintiff objects that this Request contains facts not in evidence and is vague and ambiguous with the use of the quoted word "tasting" and the word "sting." To the extent Plaintiff understands the Request, Plaintiff denies the Request.

#### Ex.1279-12

#### **REQUEST FOR ADMISSION NO. 46:**

Admit that Akenya Robinson-Webb did not have consent to take photographs of the premises.

#### **RESPONSE TO REQUEST FOR ADMISSION NO. 46:**

Deny.

#### **REQUEST FOR ADMISSION NO. 47:**

Admit that Akenya Robinson-Webb did not follow undercover protocol during her visit to 6204 Washington Street in October 2021.

#### **RESPONSE TO REQUEST FOR ADMISSION NO. 47:**

Defendant is unaware of "undercover protocol" and so is not able to admit or deny the request.

#### **REQUEST FOR ADMISSION NO. 48:**

Admit that Ms. Robinson-Webb's declaration was not included in the original ex parte motion.

#### **RESPONSE TO REQUEST FOR ADMISSION NO. 48:**

Deny.

#### **REQUEST FOR ADMISSION NO. 49:**

Admit that KELLI CAHILL has never had a "tasting" at 6204 Washington Street.

#### **RESPONSE TO REQUEST FOR ADMISSION NO. 49:**

Admit.

#### **REQUEST FOR ADMISSION NO. 50:**

Admit that KELLI CAHILL has never communicated with any of the sources who posted social media exemplars used as exhibits in the Complaint.

#### **RESPONSE TO REQUEST FOR ADMISSION NO. 50:**

Admit.

#### **REQUEST FOR ADMISSION NO. 51:**

Admit that KELLI CAHILL knowingly used evidence of properties other than 6204 Washington to allege conduct "violations" at 6204 Washington Street.

#### **RESPONSE TO REQUEST FOR ADMISSION NO. 51:**

Plaintiff objects that this Request contains facts not in evidence and is vague and ambiguous, particularly with the quoted word "violations." To the extent Plaintiff understands the Request, Plaintiff Ex.1279-13

PLAINTIFF/CROSS-DEFENDANT NAPA COUNTY'S RESPONSES TO DEFENDANT/CROSS-COMPLAINANT HOOPES' REQUESTS FOR ADMISSIONS, SET ONE

Attorneys at Law
------------------

1	denies the Request.
2	REQUEST FOR ADMISSION NO. 52:
3	Admit the annotations on the exhibits filed in connection with the Complaint were made by
4	KELLI CAHILL.
5	RESPONSE TO REQUEST FOR ADMISSION NO. 52:
6	Deny.
7	REQUEST FOR ADMISSION NO. 53:
8	Admit KELLI CAHILL has not been trained in use of social media evidence in investigations.
9	RESPONSE TO REQUEST FOR ADMISSION NO. 53:
10	Plaintiff objects that the Request is vague and ambiguous. To the extent Plaintiff understands the
11	Request, Plaintiff denies the Request.
12	REQUEST FOR ADMISSION NO. 54:
13	Admit that DAVID MORRISON has discretion to determine the code enforcement procedure
14	taken in this action.
15	RESPONSE TO REQUEST FOR ADMISSION NO. 54:
16	Plaintiff objects that the Request is vague and ambiguous. Without waiving the objection,
17	Plaintiff denies the Request.
18	REQUEST FOR ADMISSION NO. 55:
19	Admit that the unpermitted buildings alleged are chicken coops.
20	RESPONSE TO REQUEST FOR ADMISSION NO. 55:
21	Deny.
22	REQUEST FOR ADMISSION NO. 56:
23	Admit that the chicken coops were disconnected prior to fling [sic] the complaint in this matter
24	per county direction.
25	RESPONSE TO REQUEST FOR ADMISSION NO. 56:
26	Plaintiff objects that this Request contains facts not in evidence and is vague and ambiguous. To
27	the extent Plaintiff understands the Request, Plaintiff denies the Request.
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	Fy 1279-14

PLAINTIFF/CROSS-DEFENDANT NAPA COUNTY'S RESPONSES TO DEFENDANT/CROSS-COMPLAINANT

HOOPES' REQUESTS FOR ADMISSIONS, SET ONE

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Ex.1279-15

## **REQUEST FOR ADMISSION NO. 57:** Admit that Napa's published Code Enforcement Policies and Procedures Manual prohibits litigation without exhaustion of attempts to gain voluntary compliance. **RESPONSE TO REQUEST FOR ADMISSION NO. 57:** Deny. **REQUEST FOR ADMISSION NO. 58:** Admit that NAPA COUNTY failed to reply to HOOPES' attempts to resolve this dispute. **RESPONSE TO REQUEST FOR ADMISSION NO. 58:** Deny. **REQUEST FOR ADMISSION NO. 59:** Admit that ignoring requests for clarification on how to be compliant is not a good faith effort to seek voluntary compliance. **RESPONSE TO REQUEST FOR ADMISSION NO. 59:** Plaintiff objects that this request is vague and ambiguous and impermissibly seeks a legal conclusion. Based upon this objection, Plaintiff cannot admit or deny the Request. **REQUEST FOR ADMISSION NO. 60:** Admit that failing to answer responses to notices of violation is not a good faith effort to reach voluntary compliance. **RESPONSE TO REQUEST FOR ADMISSION NO. 60:** Plaintiff objects that this request is vague and ambiguous and impermissibly seeks a legal conclusion. Based upon this objection, Plaintiff cannot admit or deny the Request. **REQUEST FOR ADMISSION NO. 61:** Admit NAPA COUNTY failed to reply to HOOPES' May 2021 response to KELLI CAHILL's apparent notice of violation. **RESPONSE TO REQUEST FOR ADMISSION NO. 61:** Deny. **REQUEST FOR ADMISSION NO. 62:** Admit a notice of apparent violation is not a citation.

#### **RESPONSE TO REQUEST FOR ADMISSION NO. 62:**

#### **REQUEST FOR ADMISSION NO. 63:**

Admit it is unlawful to prohibit a property owner from applying for land use permits without

#### **RESPONSE TO REQUEST FOR ADMISSION NO. 63:**

Plaintiff objects that this Request is vague, ambiguous and incomprehensible. Based upon this objection Plaintiff is unable to admit or deny this Request.

#### **REQUEST FOR ADMISSION NO. 64:**

Admit onsite consumption is allowed at small winery exemption properties.

#### **RESPONSE TO REQUEST FOR ADMISSION NO. 64:**

#### **REQUEST FOR ADMISSION NO. 65:**

Admit that no neutral administrator made factual findings in support of the prohibition on applying for "new permits" in July 2020 through the time of fling this action.

#### **RESPONSE TO REQUEST FOR ADMISSION NO. 65:**

Plaintiff objects that this Request is vague, ambiguous and incomprehensible. Based upon this objection Plaintiff is unable to admit or deny this Request.

#### **REQUEST FOR ADMISSION NO. 66:**

Admit that onsite consumption is not a tour or tasting.

#### **RESPONSE TO REQUEST FOR ADMISSION NO. 66:**

#### **REQUEST FOR ADMISSION NO. 67:**

Admit that KELLI CAHILL did not call Lindsay Hoopes on April 21, 2021.

#### **RESPONSE TO REQUEST FOR ADMISSION NO. 67:**

#### **REQUEST FOR ADMISSION NO. 68:**

Admit that Kelli Cahill does not have personal knowledge that an event of any description

Ex.1279-16

PLAINTIFF/CROSS-DEFENDANT NAPA COUNTY'S RESPONSES TO DEFENDANT/CROSS-COMPLAINANT HOOPES' REQUESTS FOR ADMISSIONS, SET ONE

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occurred at 6204 Washington Street on April 21, 2021.

#### **RESPONSE TO REQUEST FOR ADMISSION NO. 68:**

Plaintiff objects that this Request is vague and ambiguous with the use of the phrase "personal knowledge." To the extent Plaintiff understands the Request and the intended meaning of "personal knowledge, Plaintiff admits the Request.

#### **REQUEST FOR ADMISSION NO. 69:**

Admit that there is no Napa Ordinance that prohibits retail stores from playing music.

#### **RESPONSE TO REQUEST FOR ADMISSION NO. 69:**

Plaintiff objects that the Request is vague and ambiguous. Without waiving this objection, Plaintiff denies the Request.

#### **REQUEST FOR ADMISSION NO. 70:**

Admit that there is no Napa Ordinance that prohibits live music in a place of business.

#### **RESPONSE TO REQUEST FOR ADMISSION NO. 70:**

Plaintiff objects that the Request is vague and ambiguous. Without waiving this objection, Plaintiff denies the Request.

#### **REQUEST FOR ADMISSION NO. 71:**

Admit that there is no "food service" permit available for application.

#### **RESPONSE TO REQUEST FOR ADMISSION NO. 71:**

Deny.

#### **REQUEST FOR ADMISSION NO. 72:**

Admit that an airstream is not a "structure."

#### **RESPONSE TO REQUEST FOR ADMISSION NO. 72:**

To the extent Plaintiff understands the Request, particularly the quoted word "structure," Plaintiff admits the Request.

#### **REQUEST FOR ADMISSION NO. 73:**

Admit that no existing Napa Ordinance prohibits parking recreational vehicles in the AP.

#### **RESPONSE TO REQUEST FOR ADMISSION NO. 73:**

Plaintiff objects that the Request is vague and ambiguous with respect to the word "parking."

Ex.1279-17 <sub>-17</sub>

PLAINTIFF/CROSS-DEFENDANT NAPA COUNTY'S RESPONSES TO DEFENDANT/CROSS-COMPLAINANT

HOOPES' REQUESTS FOR ADMISSIONS, SET ONE

RENNE PUBLIC LAW GROUP

REQUEST	<b>FOR</b>	<b>ADMISSI</b>	ON	NO.	<u>80</u>

Admit that the Napa County Code does not establish a process or procedure for applying for accessory uses separate and apart from primary uses because "accessory uses" are "part of" or "derivative of" primary uses.

#### **RESPONSE TO REQUEST FOR ADMISSION NO. 80:**

Deny.

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#### **REQUEST FOR ADMISSION NO. 81:**

Admit that 18.08.600 defines "small winery" and not "small winery exemptions."

#### **RESPONSE TO REQUEST FOR ADMISSION NO. 81:**

Admit.

#### **REQUEST FOR ADMISSION NO. 82:**

Admit it is not unlawful to ship retail items with wine sold and shipped from a winery.

#### **RESPONSE TO REQUEST FOR ADMISSION NO. 82:**

Plaintiff objects that this Request is vague and ambiguous. Without waiving this objection, Plaintiff denies this Request.

#### **REQUEST FOR ADMISSION NO. 83:**

Admit it is not unlawful to store wine-related items in a winery office for sale on the internet.

#### **RESPONSE TO REQUEST FOR ADMISSION NO. 83:**

Plaintiff objects that this Request is vague and ambiguous. Without waiving this objection, Plaintiff denies this Request.

#### **REQUEST FOR ADMISSION NO. 84:**

Admit it is not unlawful for a winery to sell merchandise online.

#### **RESPONSE TO REQUEST FOR ADMISSION NO. 84:**

Plaintiff objects that this Request is overbroad, vague and ambiguous. Without waiving this objection, Plaintiff denies this Request.

#### **REQUEST FOR ADMISSION NO. 85:**

Admit there is no definition of "wine related" items in the Napa County Code.

Ex.1279-19

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#### **RESPONSE TO REQUEST FOR ADMISSION NO. 85:**

Plaintiff objects that this Request is vague and ambiguous, particularly with the quoted phrase "wine related." Without waiving this objection and to the extent Plaintiff understands this Request, Plaintiff denies this Request.

#### **REQUEST FOR ADMISSION NO. 86:**

Admit that KELLI CAHILL lacked personal knowledge as to the conduct depicted in the photographs attached to the complaint.

#### **RESPONSE TO REQUEST FOR ADMISSION NO. 86:**

Plaintiff objects that the Request is vague and ambiguous with respect to the phrase "personal knowledge." Without waiving this objection and to the extent Plaintiff understands the Request and the use of the phrase personal knowledge, Plaintiff denies the Request.

#### **REQUEST FOR ADMISSION NO. 87:**

Admit that there is no reasonable justification to prohibit wineries from selling hand sanitizer.

#### **RESPONSE TO REQUEST FOR ADMISSION NO. 87:**

Plaintiff objects that the Request is vague, ambiguous and incomprehensible. Based upon this objection, Plaintiff is unable to admit or deny the Request.

#### **REQUEST FOR ADMISSION NO. 88:**

Admit that small wineries are entitled to make wine.

#### **RESPONSE TO REQUEST FOR ADMISSION NO. 88:**

Plaintiff objects that this request is vague and ambiguous. To the extent Plaintiff understands this Request, Plaintiff admits the Request.

#### **REQUEST FOR ADMISSION NO. 89:**

Admit that there is no distinction between the ABC operating permits for "small wineries" and "other wineries."

#### **RESPONSE TO REQUEST FOR ADMISSION NO. 89:**

Plaintiff lacks knowledge as to this Request and so cannot admit or deny the Request.

#### **REQUEST FOR ADMISSION NO. 90:**

Admit NAPA COUNTY did not notify HOOPES of the intent to pursue litigation, despite Ex.1279-20

-21PLAINTIFF/CROSS-DEFENDANT NAPA COUNTY'S RESPONSES TO DEFENDANT/CROSS-COMPLAINANT

RENNE PUBLIC LAW GROUP

Ex.1279-21

HOOPES' REQUESTS FOR ADMISSIONS, SET ONE

PLAINTIFF/CROSS-DEFENDANT NAPA COUNTY'S RESPONSES TO DEFENDANT/CROSS-COMPLAINANT

HOOPES' REQUESTS FOR ADMISSIONS, SET ONE

RENNE PUBLIC LAW GROUP

RENNE PUBLIC LAW GROUP

#### PROOF OF SERVICE

I, the undersigned, am employed by RENNE PUBLIC LAW GROUP. My business address is 350 Sansome Street, Suite 300, San Francisco, California 94104. I am readily familiar with the business practices of this office. I am over the age of 18 and not a party to this action.

On March 9, 2023, I served the following document(s):

PLAINTIFF/CROSS-DEFENDANT NAPA COUNTY'S RESPONSES TO DEFENDANT/CROSS-COMPLAINANT HOOPES FAMILY WINERY PARTNERS, LP, HOOPES VINEYARD, LLC and LINDSAY BLAIR HOOPES' REQUESTS FOR ADMISSIONS, SET ONE

by the following method(s):

Electronic Mail. Based on an agreement of the parties to accept service by e-mail, copies of the above document(s) in PDF format were transmitted to the e-mail addresses of the parties on the attached Service List.

#### **SERVICE LIST**

Katherine H. Falace BUCHALTER 1230 Pine Street St. Helena, CA 94574-1106 Email: kfalace@buchalter.com jgleffe@buchalter.com	Counsel for Defendants HOOPES FAMILY WINERY PARTNERS, LP, HOOPES VINEYARD, LLC and LINDSAY BLAIR HOOPES
Lindsay Blair Hoopes P.O. Box 3600 Yountville, CA 94599 Email: lindsay@hoopesvineyard.com	Co-Counsel for Defendants HOOPES FAMILY WINERY PARTNERS, LP, HOOPES VINEYARD, LLC and LINDSAY BLAIR HOOPES

I declare under penalty of perjury under the laws of the State of California that the foregoing is true and correct. Executed on March 9, 2023 at San Francisco, California.

Bobette T. Bramer

Ex.1279-23

# Exhibit 15

1	SHERYL L. BRATTON, County Counsel (SBN 14-SHERRI S. KAISER, Chief Deputy (SBN 197986)	4209)
2	sherri.kaiser@countyofnapa.org OFFICE OF THE NAPA COUNTY COUNSEL	
3	1195 Third Street, Suite 301 Napa, California 94559	
4	Telephone: (707) 254-4521 Facsimile: (707) 259-8220	
5	ARTHUR A. HARTINGER (SBN 121521)	
6	<u>ahartinger@publiclawgroup.com</u> GEOFFREY SPELLBERG (SBN 121079)	
7	gspellberg@publiclawgroup.com SAMUEL A.B. WHEELER (SBN 293341)	
8	swheeler@publiclawgroup.com M. ABIGAIL WEST (SBN 324456)	
9	awest@publiclawgroup.com RENNE PUBLIC LAW GROUP	
10	350 Sansome Street, Suite 300	
11	San Francisco, California 94104 Telephone: (415) 848-7200	
12	Facsimile: (415) 848-7230	
13	Attorneys for Plaintiffs and Cross-Defendants NAPA COUNTY and THE PEOPLE OF THE STA	TE
14	OF CALIFORNIA, and Cross-Defendants DAVID MORRISON and AKENYA ROBINSON-WEBB	
15	SUPERIOR COURT OF TH	IE STATE OF CALIFORNIA
16	COUNTY	OF NAPA
17	NAPA COUNTY and THE PEOPLE OF THE	Case No. 22CV001262
18	STATE OF CALIFORNIA ex rel. SHERYL L. BRATTON, as Napa County Counsel,	EXEMPT FROM FEES (GOV. CODE § 6103)
19	Plaintiffs,	CROSS-DEFENDANT DEFENDANT DAVID
20	v. HOOPES FAMILY WINERY PARTNERS, LP,	MORRISON'S RESPONSE TO DEFENDANTS' REQUESTS FOR
21	HOOPES VINEYARD, LLC, LINDSAY BLAIR HOOPES, and DOES 1 through 10, inclusive,	ADMISSIONS, SET ONE
22	Defendants.	Action Filed: October 20, 2022 Trial Date: October 30, 2023
23	AND DELATED OF OCC. A CTION	_ That Date. October 50, 2025
24	AND RELATED CROSS-ACTION.	
25		
26		
27		DEFENDANT'S
28		EXHIBIT
	Fx 1291-1	1291 22CV001262

RENNE PUBLIC LAW GROUP
Attorneys at Law

CROSS-DEFENDANT DEFENDANT DAVID MORRISON'S RESPONSE TO DEFENDANTS' REQUESTS FOR ADMISSIONS, SET ONE - Case No. 22CV001262

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PROPOUNDING PARTY: Defendant/Cross-Complainant HOOPES FAMILY WINERY

PARTNERS, LP, HOOPES VINEYARD, LLC and

LINDSAY BLAIR HOOPES

**RESPONDING PARTY:** Cross-Defendant DAVID MORRISON

SET NUMBER: ONE (1) (Numbers 1 to 41)

Cross-Defendant DAVID MORRISON ("Cross-Defendant" or "Morrison") responds to Defendants/Cross-Complainants HOOPES FAMILY WINERY PARTNERS, LP, HOOPES VINEYARD, LLC and LINDSAY BLAIR HOOPES' ("Hoopes) Requests for Admissions, Set One, as follows.

#### INTRODUCTORY STATEMENT

Cross-Defendant has not completed his investigation of all the facts in this case, or discovery in this matter, and has not completed his preparation for trial. Accordingly, the following responses are based only on information presently available and known to Cross-Defendant. Cross-Defendant reserves the right to supplement or amend his responses if new information or documents become available. Cross-Defendant also reserves the right to supplement or amend his responses in the event previously available information or documents were omitted by oversight, inadvertence, or good faith error or mistake.

Except for facts explicitly stated, no incidental or implied ADMISSION are intended in these responses. By responding to any request, Cross-Defendant does not necessarily adopt or accept the terms Defendants/Cross-Complainants have employed or Defendants/Cross-Complainants' characterization of any fact or document. Cross-Defendant reserves all objections regarding the competency, relevancy, probative value, and/or admissibility. Cross-Defendant also reserves all objections as to vagueness, ambiguity, and overbreadth. Furthermore, Cross-Defendant reserves any objections regarding the use of these responses or any document in any subsequent proceeding, including trial.

#### **GENERAL OBJECTIONS**

To the extent permitted, Cross-Defendant incorporates each of the following general objections into its responses to Defendants/Cross-Complainants' requests. Where required, Cross-Defendant will set forth additional specific objections to particular requests.

1. Cross-Defendant objects to Defendants/Cross-Complainants' requests insofar as they seek

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Attorneys	17

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the disclosure of information that is protected from disclosure by the attorney-client privilege, the work product doctrine, the self-critical analysis privilege, or any other applicable privilege. To the extent that Cross-Defendant inadvertently discloses information that may arguably be protected from discovery under any applicable privilege, such inadvertent disclosure does not constitute a waiver of such privilege.

- 2. Cross-Defendant objects to Defendants/Cross-Complainants' requests to the extent they call information not currently in Cross-Defendant's possession, custody or control.
- 3. Cross-Defendant objects to Defendants/Cross-Complainants' requests to the extent they call for the interpretation of information contained in written documents.
- 4. Cross-Defendant objects to Defendants/Cross-Complainants' requests to the extent they call for the disclosure of information of a confidential and personal nature regarding applicants, employees, or other individuals who have a protected interest in their privacy under Article I, section 1, of the California Constitution and as set forth in the Information Practices Act, Civil Code section 1798 et. seq.
- 5. Cross-Defendant objects to Defendants/Cross-Complainants' attempt to require responses inconsistent with controlling statutes. Cross-Defendant will respond only as required by statute.

Subject to these objections, Cross-Defendant responds as follows to Defendants/Cross-Complainants' requests in accordance with Cross-Defendant's understanding of the fair meaning of those requests.

#### RESPONSES TO REQUESTS FOR ADMISSIONS

#### **REQUEST FOR ADMISSIONS NO. 1:**

Admit YOU presented the Notice of Apparent Violation to the Board of Supervisors to approve litigation.

#### **RESPONSE TO REQUEST FOR ADMISSIONS NO. 1:**

Cross-Defendant objects that the Request calls for information protected under the attorney client privilege and legislative privilege doctrine. As such, Cross-defendant is not able to provide a response.

#### **REQUEST FOR ADMISSIONS NO. 2:**

Admit YOU advised HOOPES that they could have visitors on the PROPERTY.

2

#### **RESPONSE TO REQUEST FOR ADMISSIONS NO. 2:**

Cross-defendant objects that the Request is vague and ambiguous because the word "visitors" is not defined. Without waiving the objection and assuming the meaning does not include wholesale customers, Cross-defendant denies the Request.

#### **REQUEST FOR ADMISSIONS NO. 3:**

Admit YOU never measured the two-piece animal shed on the PROPERTY.

#### **RESPONSE TO REQUEST FOR ADMISSIONS NO. 3:**

Admitted.

#### **REQUEST FOR ADMISSIONS NO. 4:**

Admit the two-piece animal shed on the PROPERTY was disconnected prior to the filing of this action.

#### **RESPONSE TO REQUEST FOR ADMISSIONS NO. 4:**

Cross-defendant lacks knowledge and so cannot admit or deny.

#### **REQUEST FOR ADMISSIONS NO. 5:**

Admit an airstream is not a structure.

#### **RESPONSE TO REQUEST FOR ADMISSIONS NO. 5:**

Cross-defendant objects that the word "structure" is not defined. As such, Cross-defendant cannot admit or deny the request.

#### **REQUEST FOR ADMISSIONS NO. 6:**

Admit YOU have never cited HOOPES regarding anything related to production of wine.

#### **RESPONSE TO REQUEST FOR ADMISSIONS NO. 6:**

Cross-defendant objects that the phrase "production of wine" is not defined. As Cross-defendant understands the phrase, the Request is denied.

#### **REQUEST FOR ADMISSIONS NO. 7:**

Admit YOU have never alleged HOOPES engages in unlawful production of wine at 6204 Washington Street.

#### **RESPONSE TO REQUEST FOR ADMISSIONS NO. 7:**

Cross-defendant objects that the word "alleged" is vague and overbroad. As Cross-defendant

RENNE PUBLIC LAW GROUP

Ex.1291-5

ADMISSIONS, SET ONE – CASE NO. 22CV001262

# RENNE PUBLIC LAW GROUP Attorneys at Law

1	RESPONSE TO REQUEST FOR ADMISSIONS NO. 13:
2	Admitted in part and denied in part.
3	REQUEST FOR ADMISSIONS NO. 14:
4	Admit NAPA COUNTY wineries may have string lights in the AP.
5	RESPONSE TO REQUEST FOR ADMISSIONS NO. 14:
6	Admitted in part.
7	REQUEST FOR ADMISSIONS NO. 15:
8	Admit that airstreams are allowed to be parked on properties in the AP.
9	RESPONSE TO REQUEST FOR ADMISSIONS NO. 15:
10	Admitted in part and denied in part.
11	REQUEST FOR ADMISSIONS NO. 16:
12	Admit the Napa County Code includes no definition of the term "tasting".
13	RESPONSE TO REQUEST FOR ADMISSIONS NO. 16:
14	Admitted.
15	REQUEST FOR ADMISSIONS NO. 17:
16	Admit NAPA COUNTY wineries may sell wine-related retail items.
17	RESPONSE TO REQUEST FOR ADMISSIONS NO. 17:
18	Cross-Defendant objects that the Request is vague and ambiguous because "Napa County
19	wineries" is not defined and encompasses differing types of wineries. Unless and until the Response is
20	clarified whether "Napa County wineries" defines wineries with use permits, or small wineries, or small
21	wineries with an exemption or micro wineries, Cross-defendant cannot respond to this Request. Based
22	upon this objection, Cross-defendant admits in part and denies in part.
23	REQUEST FOR ADMISSIONS NO. 18:
24	Admit NAPA COUNTY small winery exemptions were not limited by number of retail customer
25	they could invite to the property.
26	RESPONSE TO REQUEST FOR ADMISSIONS NO. 18:
27	Cross-defendant objects that the request is incomprehensible and so is unable to respond.
20	

-6
CROSS-DEFENDANT DEFENDANT DAVID MORRISON'S RESPONSE TO DEFENDANTS' REQUESTS FOR ADMISSIONS, SET ONE – CASE NO. 22CV001262

KENNE FUBLIC LAW GR Attorneys at Law	
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#### **REQUEST FOR ADMISSIONS NO. 19:**

Admit the small winery use permit exemption application does not define "retail sales."

#### **RESPONSE TO REQUEST FOR ADMISSIONS NO. 19:**

Admitted.

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#### **REQUEST FOR ADMISSIONS NO. 20:**

Admit the NAPA COUNTY small winery exemption at 6204 Washington Street did not limit the number of retail customers allowed on site.

#### **RESPONSE TO REQUEST FOR ADMISSIONS NO. 20:**

Denied.

#### **REQUEST FOR ADMISSIONS NO. 21:**

Admit a winery in NAPA COUNTY is lawfully allowed to operate out of more than one facility.

#### **RESPONSE TO REQUEST FOR ADMISSIONS NO. 21:**

Cross-defendant objects that the Request is vague, ambiguous and incomprehensible as to the use of the phrase "lawfully operate." Based upon this objection, Cross-defendant is not able to admit or deny the request.

#### **REQUEST FOR ADMISSIONS NO. 22:**

Admit there are no limits to number of vehicles that can make trips to the property at 6204 Washington Street.

#### **RESPONSE TO REQUEST FOR ADMISSIONS NO. 22:**

Cross-defendant objects that the phase "make trips" is vague and ambiguous. Based upon that objection, Cross-defendant is not able to respond to this request.

#### **REQUEST FOR ADMISSIONS NO. 23:**

Admit HOOPES has responded to every inquiry from the COUNTY related to the PROPERTY.

#### **RESPONSE TO REQUEST FOR ADMISSIONS NO. 23:**

Denied.

#### **REQUEST FOR ADMISSIONS NO. 24:**

Admit the COUNTY has refused to respond to HOOPES' inquiries with any guidance as to how to finalize flood permits since February 2022.

ADMISSIONS, SET ONE – CASE NO. 22CV001262

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Ex.1291-9

ADMISSIONS, SET ONE – CASE NO. 22CV001262

ADMISSIONS, SET ONE – CASE NO. 22CV001262

RENNE PUBLIC LAW GROUP

#### **VERIFICATION**

- I, David Morrison, say:
- 1. I am a Cross-Defendant in the above-entitled action,
- 2. I have read the foregoing CROSS-DEFENDANT DAVID MORRISON'S RESPONSE

#### TO DEFENDANTS' REQUESTS FOR ADMISSIONS, SET ONE and know the contents thereof.

3. The same is true of my own knowledge, except as to those matters which are therein stated on information and belief, and, as to those matters, I believe it to be true.

I declare under penalty of perjury under the laws of the State of California that the foregoing is true and correct.

Signed on this 8<sup>TU</sup> day of August, 2023, at Napa, California.

David Morrison

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RENNE PUBLIC LAW GROUP

Attorneys at Law

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Ex.1291-12

#### **PROOF OF SERVICE**

I, the undersigned, am employed by RENNE PUBLIC LAW GROUP. My business address is 350 Sansome Street, Suite 300, San Francisco, California 94104. I am readily familiar with the business practices of this office. I am over the age of 18 and not a party to this action.

On August 8, 2023, I served the following document(s):

## CROSS-DEFENDANT DAVID MORRISON'S RESPONSE TO DEFENDANTS' REQUESTS FOR ADMISSIONS, SET ONE

by the following method(s):

Electronic Mail. Based on an agreement of the parties to accept service by e-mail, copies of the above document(s) in PDF format were transmitted to the e-mail addresses of the parties on the attached Service List.

#### **SERVICE LIST**

Katherine H. Falace BUCHALTER 1230 Pine Street St. Helena, CA 94574-1106 Email: kfalace@buchalter.com jgleffe@buchalter.com	Counsel for Defendants HOOPES FAMILY WINERY PARTNERS, LP, HOOPES VINEYARD, LLC and LINDSAY BLAIR HOOPES
Lindsay Blair Hoopes P.O. Box 3600 Yountville, CA 94599 Email: lindsay@hoopesvineyard.com	Co-Counsel for Defendants HOOPES FAMILY WINERY PARTNERS, LP, HOOPES VINEYARD, LLC and LINDSAY BLAIR HOOPES

I declare under penalty of perjury under the laws of the State of California that the foregoing is true and correct. Executed on August 8, 2023 at San Francisco, California.

Bobette T. Bramer

# Exhibit 16

From: Lamborn, Matt <Matt.Lamborn@countyofnapa.org>

Sent: Thursday, May 26, 2016 4:28 PM PDT

To: amber manfree <amber\_manfree@hotmail.com>
CC: Morrison, David <David.Morrison@countyofnapa.org>

Subject: RE: winery database

Thank you, Amber, for bringing this to my attention.

I am leaving on vacation starting tomorrow (Fri) through next week, so I went through your comments as best as I could so you wouldn't have to wait for a response.

Here are my thoughts, in order of your spreadsheet items:

- "ASTRALE E TERRA WINERY" this is originally a small winery exemption. Although there is space to designate "No. of
  Anticipated Visitors", this does not mean tours/tastings but rather business-related visitors (deliveries, sales people, etc). It was recently
  brought to my attention that small winery exemptions are by default not permitted to do tours/tastings. Thus the change in the more recent
  version(s) of the winery layer/database
- 2. "WHITE ROCK VINEYARDS". Same as #1 above

## Exhibit 17

#### SUPERIOR COURT OF THE STATE CALIFORNIA

COUNTY OF NAPA

NAPA COUNTY and THE PEOPLE OF THE STATE OF CALIFORNIA ex. rel. THOMAS ZELENY, as Interim Napa County Counsel,

#### **CERTIFIED COPY**

Plaintiffs,

VS.

No. 22CV001262

HOOPES FAMILY WINERY PARTNERS, LP, HOOPES VINEYARD, LLC, LINDSAY BLAIR HOOPES, and DOES 1 through 10 inclusive,

Defendants.

HOOPES FAMILY WINERY PARTNERS, LP, a California limited partnership and HOOPES VINEYARD, LLC, a California limited liability company,

Cross-Complainants,

vs.

NAPA COUNTY, and ROES 1 through 10 inclusive,

Cross-Defendants.

DEPOSITION OF CHARLENE GALLINA

VOLUME 1 (Pages 1 through 237)

Monday, January 8, 2024

Reported By:

KATHLEEN M. SOLOAGA, CSR 6957, RPR

<sup>\*</sup> Sims & Sims Reporting, Inc. \* (707) 226-3022

```
1
 2
                       APPEARANCES OF COUNSEL
 3
 4
     For the Plaintiffs and Cross-Defendants NAPA COUNTY and
 5
     THE PEOPLE OF THE STATE OF CALIFORNIA:
 6
          RENNE PUBLIC LAW GROUP
          BY: GEOFFREY SPELLBERG, ESO.
 7
          350 Sansome Street, Suite 300
          San Francisco, California 94104
 8
          (415) 848-7200
          gspellberg@publiclawgroup
 9
10
     For the Defendants HOOPES FAMILY WINERY PARTNERS, LP,
     HOOPES VINEYARD, LLC, LINDSAY BLAIR HOOPES:
11
          BUCHALTER
12
          A Professional Corporation
          BY: KATHARINE HELDT FALACE, ESO.
13
          1230 Pine Street
          St. Helena, California 94574
14
          (707) 967-9656
          kfalace@buchalter.com
15
     and
16
          LINDSAY BLAIR HOOPES
17
          Attorney at Law
          PO Box 3600
          Yountville, California 94599
18
          (415) 249-2644
19
          lindsay@hoopesvineyard.com
2.0
     ALSO PRESENT: SPENCER HOOPES
21
22
                                --000--
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1	BE IT REMEMBERED that, pursuant to Notice of
2	Taking Deposition, and on Monday, January 8, 2024,
3	commencing at 9:07 a.m. thereof, at office of Sims & Sims
4	Reporting, Inc., 1700 Second Street, Suite 308, Napa,
5	California, before me, KATHLEEN M. SOLOAGA, CSR No. 6957,
6	a duly licensed Certified Shorthand Reporter in the State
7	of California, there personally appeared
8	CHARLENE GALLINA,
9	a witness called under the appropriate and applicable
10	provisions of the Codes of the State of California, who,
11	being first duly sworn, was thereupon examined and
12	testified as hereinafter set forth.
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#### Case 3:24-cv-06256 Document 1-17 Filed 09/05/24 Page 5 of 16

1	DEPOSITION OF CHARLENE GALLINA	
2	INDEX	
3	EXAMINATION	PAGE
4		
5	BY MS. FALACE	9
6		
7	000	
8		
9	INSTRUCTIONS NOT TO ANSWER	
10		
11		
12		
13		
14		
15		
16		
17		
18		
19		
20		
21		
22		
23		
24		
25		

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1	EXHIBIT INDEX	
2		
3	EXHIBITS:	PAGE
4	Exhibit 1 - Second Amended Notice of Deposition	
5	of Charlene Gallina, Supervising Planner,	
6	County of Napa with Request for	
7	Production of Documents	10
8	Exhibit 2 - Plaintiffs and Cross-Defendants'	
9	Expert Witness Disclosure	21
10	Exhibit 3 - Notice of Deposition of Person Most	
11	Qualified for the County of Napa with	
12	Request for Production of Documents RE:	
13	Napa County's Winery Database; Notice of	
14	Deposition of Person Most Qualified for	
15	the County of Napa with Request for	
16	Production of Documents RE: Sign Permits;	
17	Notice of Deposition of Person Most	
18	Qualified for the County of Napa with	
19	Request for Production of Documents RE:	
20	Interpretation of Entitlements of Pre-WDO	
21	and WDO Operation on Existing Wineries	24
22	Exhibit 4 - Document entitled "Code Enforcement	
23	Case Summary, This is not a permit"	42
24	Exhibit 5 - Napa County Ordinance No. 1455	53
25	/ /	

1	EXHIBIT INDEX (Continued)			
2				
3	EXHIBITS:			
4	Exhibit 6 - Application for Small Winery Use			
5	Permit Exemption for APN			
6	036-110-013-000	72		
7	Exhibit 7 - Napa County Ordinance No. 1340	78		
8	Exhibit 8 - Letter from Linda St. Claire to			
9	Wolfgang Dieter Tede TR dated June 18,			
10	2017	81		
11	Exhibit 9 - Excerpt from Napa County, CA Code of			
12	Ordinances, Code 18.08.040 -			
13	Agriculture	92		
14	Exhibit 10 - Email from Art Coon to Joshua A.			
15	Devore, et al., dated September 25,			
16	2018, with attachments	105		
17	Exhibit 11 - Ordinance No. 511 of the Board of			
18	Supervisors of the County of Napa,			
19	State of California	122		
20	Exhibit 12 - Ordinance No. 629 of the Board of			
21	Supervisors of the County of Napa,			
22	State of California	124		
23	Exhibit 13 - Resolution No. 90-10 of the Board of			
24	Supervisors of the County of Napa, State			
25	of California	134		

1	EXHIBIT INDEX (Continued)			
2				
3	EXHIBITS:			
4	Exhibit 14	- Excerpt from Napa County, CA Code of		
5	Or	dinances, Code 18.08.621 - Tours and		
6	t <i>ā</i>	astings	136	
7	Exhibit 15	- Workflow History for B18-00154	141	
8	Exhibit 16	- Printout of inspections performed	146	
9	Exhibit 17	- County of Napa Winery Database		
10	Li	sting dated October 2018	149	
11	Exhibit 18	- Napa County Small Winery Exemption		
12	C€	ertificate Modification, Department		
13	R∈	eport and Recommendation	155	
14	Exhibit 19	- Planning documents for APN 027-		
15	49	90-021-000, Permit #138889	159	
16	Exhibit 20	- Planning documents for APN 027-		
17	49	90-021-000, Permit #138889	161	
18	Exhibit 21	- 2011 Wine Audit Compliance Results	175	
19	Exhibit 22	- County of Napa Winery Database		
20	Li	sting dated February 2019	181	
21	*** In	ntentional skip in sequence. No		
22	do	ocument marked as Exhibit No. 23		
23	Exhibit 24	- Excerpt from Napa County, CA Code of		
24	Or	dinances, Code 18.08.600 - Small		
25	wi	nery	194	

1	EXHIBIT INDEX (Continued)	
2		
3	EXHIBITS:	PAGE
4	Exhibit 25 - Printout from FindLaw website, U.S.	
5	Federal and State Cases, Codes, and	
6	Articles	199
7	Exhibit 26 - Letter from Lynda Parkerson, State	
8	of California Department of Alcohol	
9	Beverage Control, to Hoopes Vineyard LLC	
10	dated March 9, 2021	199
11	Exhibit 27 - Application Response Form for	
12	Alcoholic Beverage License(s),	
13	Applicant's name: Hoopes Vineyard LLC	199
14	Exhibit 28 - Napa County Board of Supervisors	
15	Board Agenda Letter dated 10/15/2019	208
16	Exhibit 29 - Excerpt from Napa County, CA Code of	
17	Ordinances, Code 18.104.040 - Accessory	
18	uses	231
19		
20	000	
21		
22		
23		
24		
25		

- 1 Q. Okay.
- 2 A. As an abbreviated.
- 3 Q. So the streamline ordinance that you are
- 4 referring to is --
- 5 A. Is --
- 6 Q. -- Ordinance 1455?
- 7 A. Yes.
- 8 Q. But the only thing it really streamlines is that
- 9 | you are going to the ZA as opposed to the Planning
- 10 | Commission?
- 11 A. Yes.
- 12 Q. Okay.
- 13 A. Unfortunately.
- 14 Q. Okay.
- 15 A. And it creates a process that if they -- I think
- 16 | that the director's discussion with winery owners out
- 17 | there in Napa County said we don't want a lot of
- 18 | visitation, employees, and production, so can we come up
- 19 | with a much smaller, streamlined process than all of the
- 20 other larger wineries go through that would take, you
- 21 know, years to process and a lot of money to process, but
- 22 | it still results and you still have to comply with the
- 23 requirements of the County code.
- 24 Q. How long did it -- your understanding is
- 25 | Amizetta is now approved, correct?

- 1 Yes. Α. 2 Q. Okay. And how long did it take them? 3 Α. Oh, let's see, I know White Rock took -- maybe six or eight months. I think Amizetta took a year to 4 5 I'm not sure about a year. I would have to go process. back and look at that chart that I provided in the PRA, 6 7 'cause it -- I think it identified when they came in and 8 when they got their approval. That will tell us the 9 precise time. 10 You have to understand that the applicants, too, 11 when they come in, they go through a review by the 12 divisions; we comment, they go back, they modify their 13 project, then we've got to start again, so it's the back
- 15 Q. Is Summit Lake also in that same process?
- 16 A. I believe so, yes.
- 17 Q. And have they been approved yet?

and forth that lengthens the time.

18 A. No.

14

- 19 Q. What about Terraces?
- 20 A. No, I'm working on that one.
- 21 Q. And has that been approved yet?
- 22 A. No, they are -- they are addressing my
- 23 | completeness comments.
- 24 Q. So you are waiting to hear back from Terraces?
- 25 A. Yes, and they have a use permit. They don't

- 1 have a small winery use permit.
- 2 Q. Exemption?
- 3 A. Yeah.
- 4 Q. Do you know how long their application has been
- 5 | processing?
- 6 A. They came in in March of 2019 and we've been
- 7 processing that.
- 8 Q. So approximately four years?
- 9 A. Yes. They started with -- they had an attorney
- 10 help them, and then they -- he didn't work on it; then
- 11 | they got somebody new and then modified the project, they
- 12 keep changing things; and then unfortunately it went
- 13 | through, I think, two other staff people until it got to
- 14 me.
- 15 Q. Okay.
- 16 A. So we've been up start and stop. We're trying
- 17 | to move them through the process and get that -- we hope
- 18 | to have that resolved this year.
- 19 Q. So if a small winery use permit exemption, so
- 20 | some small winery use permit exemptions are allowed to do
- 21 | tours and tastings; is that correct?
- 22 A. Some of them that I have seen have how many
- 23 | visitors on the application and they may have one or two
- 24 and then there are others that have zero, but the
- 25 ordinance specifically states you can't have public tours

1 and you can't have wine tastings, so I'm going to take a 2 leap and assume that that is wine trade only. 3 0. And why do you say "take a leap"? Well, it's not -- I read back the ordinance and 4 Α. 5 the regulations, and it doesn't have any provisions 6 regarding wine trade; so technically it would be zero on 7 the visitors, but for some reason when you look at some 8 of the permits, it has one or two on it that I've seen. 9 Mm-hmm. But how did you understand from any of Q. 10 the ordinances that that relates to wine trade and not 11 members of the public? 12 By looking at other winery use permits, and I 13 did a lot of this since we created the status 14 determination process where you go back and see what the 15 winery entitlement was for the particular winery and then 16 just years of reviewing applications and going back to the history of the entitlements, how staff noted on their 17 staff reports or approval letters what the visitation 18 19 was. 20 We were terrible, I have to agree, we were 21 terrible in notating exactly what entitlements were, and 22 so we've had to go back to the application and look at 23 the requests to see what they had asked for because the 24 final approval letter didn't identify what their 25 visitation and marketing program was. They just said you

1 get a 20,000 gallon winery and that's it, and then a 2 building that's 5,000 or 10,000 square feet; so for the 3 status determinations, which identify what the entitlement is, you have to go back and look at all of 4 that documentation. 5 6 And I -- we -- staff has noticed that if they 7 weren't allowed visitation for the public or by 8 appointment, there was some notation about -- about wine 9 trade only, and that's for somebody that comes to the 10 winery, they are going to purchase cases of wine so that 11 they could have in their restaurant or at their store or at the liquor store or at the grocery store, but it 12 13 wasn't open for just you and I going to the winery to 14 have a tasting and to exchange money for that tasting. 15 And so that understanding came from reviewing 0. 16 what? Reviewing the ordinance, reviewing regulation --17 18 or, you know, reviewing the ordinances, the WDO, 19 discussion with County counsel, interpretation, also 20 interpretation by the manager, how we presented those 21 documents to the Planning Commission. 22 So your understanding, based on all of that, was 23 that visitors on a small winery use permit exemption 24 meant people in the trade? 25 If it was noted on the application or on the Α.

1	STATE OF CALIFORNIA )	
2	COUNTY OF NAPA )	
3	I hereby certify that the witness in the	
4	foregoing deposition, named	
5	CHARLENE GALLINA,	
6	was duly sworn to testify to the truth, the whole truth	
7	and nothing but the truth in the within-entitled cause;	
8	pursuant to Section 2093 (b) CCP; that said deposition	
9	was taken at the time and place therein named; that the	
10	testimony of said witness was reported by me, a duly	
11	licensed Certified Shorthand Reporter under the laws of	
12	the State of California, and a disinterested person, and	
13	was thereafter transcribed into typewriting under my	
14	direction.	
15	And I further certify that I am not of counsel	
16	or attorney for either or any of the parties to	
17	said deposition, nor in any way interested in the outcome	
18	of the cause named in said caption.	
19	IN WITNESS WHEREOF, I have	
20	hereunto set my hand this 16th	
21	day of January 2024.	
22	nahlun M. Soloaga	
23	KATHLEEN M. SOLOAGA, CSR No. 6 <b>9</b> 57 County of Napa	
24	State of California	
25	000	

```
1
 2
 3
 4
     Charlene Gallina
                                           January 17, 2024
     c/o Geoffrey Spellberg, ESQ.
 5
     350 Sansome Street, Suite 300
     San Francisco, CA 94104
 6
              Re: Napa County vs Hoopes Family Vineyard
 7
                  Case No. 22CV001262
 8
              The deposition you have rendered in the
     above-entitled matter has been transcribed into
 9
     typewriting and is ready for your review.
10
              If you wish to read, correct and sign your
     deposition, the deposition transcript will be available
     in our Napa offices during business hours for a period of
11
     30 calendar days from the date of this letter before
12
     being forwarded in a sealed envelope as provided by law
     to the attorney who noticed your deposition.
13
              You may come to our office to read and sign the
14
     original transcript, or you may contact your attorney or
     the attorney who arranged for you to be present at your
     deposition. It may be possible for you to review their
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     copy and submit to us a letter setting forth any changes
     you choose to make. If you wish to come to our office to
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     read your deposition, please call in advance and make an
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     appointment.
18
              If you have any questions regarding this letter,
     please contact your attorney or call our office.
19
                                 Sincerely,
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                                 SIMS & SIMS
21
22
                                      KATHLEEN M. SOLOAGA,
                                 By:
                                      CSR No. 6957
23
2.4
          All counsel
     cc:
25
          Original
     Date Taken: January 8, 2024
```

# Exhibit 18

# Case 3:24-cv-06256 Document 1-18 Filed 09/05/24 Page 2 of 6

1195 Third Street, Suite 301 Napa, CA 94559 Main: (707) 253-4521 Fax: (707) 259-8220

County Counsel Sheryl L. Bratton

Chief Deputies Sherri S. Kaiser Thomas C. Zeleny



A Tradition of Stewardship
A Commitment to Service

# NAPA COUNTY OFFICE OF COUNTY COUNSEL

August 28, 2023

# Sent via email: kfalace@buchalter.com

Katharine Falace Buchalter 1230 Pine St. St. Helena, CA 94574-1106

Re:

Public Records Act Requests from Spencer Hoopes PRA Nos. 23-369, 23-371, 23-372, 23-373, and 23-374

Dear Ms. Falace:

Pursuant to our discussion on August 10, 2023, this letter addresses the status of the document requests included in the above-referenced Public Records Act Requests. On Friday, August 25, 2023, we produced records responsive to several of the requests and set a new deadline for additional production, or an update on the status of the collection efforts, for September 8, 2023. We expect to produce documents by then, but, as you will see herein, many of the requests will require additional research, collection, and review to ensure that the County meets its obligations under the Public Records Act.

As we discussed, the individual categories of requests fall into one of the following statuses: (1) the County has produced all responsive records in its possession, custody, or control; (2) the County knows responsive records exist, but will require additional time to collect, review, and produce; (3) the County must review a large volume of documents to determine whether any responsive records exist; and (4) the County does not have any responsive records. For ease of reference, the County has numbered the individual categories of records and denotes them with the PRA number followed by the request number. For example, the first request under PRA No. 23-369 is denoted 23-369.01, the second is 23-369.02, and so on.

Some of the categories in the requests raised additional questions or require further clarification. I have included those questions in **bold** along with the categories. Please feel free to reach out to me to discuss any questions you have or any clarifications you can make so County staff can be sure they are searching for the records Mr. Hoopes is seeking.

Deputies

Silva Darbinian Laura J. Anderson Chris R. Y. Apallas Susan B. Altman Jason M. Dooley Rachel L. Ross Shana A. Bagley Corey S. Utsurogi Douglas V. Parker Wendy M. Dau Ryan K, FitzGerald



Doc No. 99363

Ex.1294-1

DEFENDANT'S EXHIBIT 1294 22CV001262

# 1. The County Has Produced All Responsive Records.

On Friday, August 25, 2023, the County produced a significant number of documents responsive to several of the requests. The production included the following categories:

- No. 23-369.01 All permits, complaints, reports, materials, emails, texts and any other documents referencing 6204 Washington street in possession of Napa County or Napa employees.
- No. 23-369.03 Date of board of supervisor meeting to determine litigation against the property at 6204 Washington Street.
- No. 23-371.02 All internal guidelines for sign permit applications.
- No. 23-371.03 All complaints issued by members of the public in connection with any incident/alleged violation at 6204 Washington Street. (These were included in No. 23-369.01.)
- No. 23-371.05 Official or internal definition of "event," "social event of a public nature" and "marketing event" and documents reflecting the legislative history of same. (These were included with 23-374.09 through No. 23-374.12, below.)
- No. 23-371.06 Official definition or internal working definitions and documents reflecting same of "tour" for wineries. (These were included with 23-374.09 through No. 23-374.12, below.)
- No. 23-372.02 Application, approval criteria, review criteria, standards of review, cost, fees, timelines, and for application for a "use permit" for "retail sales of non-wine related items," "wine-related items," "music," "picknicking," "animal sanctuary," "animal husbandry," "cooking demonstrations," "catered food service," "marketing events" for land already zoned "winery."
- No. 23-372.04 List of all wineries that have been approved for use permit modifications between 2017-2023
- No. 23-372.06 Application process, review criteria, approval criteria, costs, fees, timelines for a "small winery" as defined by NCC 18.16.600. (I understand the code reference to be NCC 18.08.600. Any responsive materials were produced with No. 23-372.02, above.)
- No. 23-372.07 Official definition or internal working definitions and documents reflecting same of the difference between a small winery as defined by NCC and a small winery exemption. (These were included with 23-374.09 through No. 23-374.12, below.)
- No. 23-372.10 All notices of violation within the last five years for air streams. (NOVs relate to trailers or RVs, generally, not specifically air streams.)
- No. 23-374.03 A list of all flood permit applications rejected between 2017-2023. (As I mentioned on the phone, the County does not "reject" flood permits, so this list contains all flood permits during that time period, indicating the statuses of each.)
- No. 23-374.04 A list of all flood permit applications approved between 2017-2023. (This list is a subset of the previous list, only including those that have been finaled.)
- No. 23-374.07 resolution No. 80-21 and amended by Resolution No. 86-55
- No. 23-374.09 through No. 23-374.12 Legislative history of several terms in the Napa County Code.

The production for these categories should be complete. We do not expect to have any further documents responsive to these categories, though if we do find any in our research and collection for other categories in these requests, we will, of course, produce them.

Doc No. 99363

# 2. The County Continues to Collect Records for Review and Production.

As expressed in the written response sent on July 10, 2023, many of the categories will require significant time to locate, collect, and review responsive records. The County maintains its initial estimate of six to eight weeks to produce records for these categories, though some may require more time. Below is a list of categories for which the County continues to search for responsive records.

- No. 23-371.01 All internal guidelines and standards for flood permits approvals.
- No. 23-372.05 List of all businesses that have been approved for use permit modifications under the Small Winery Ordinance since enactment to 2023.
- No. 23-372.09 All notices of violation issued within the last nine years for "tours and tastings" at small winery exemption properties.
- No. 23-373.01 All notices of violation within the last five years for animals, animal husbandry, zoos, animal grazing, animal maintenance, or animal control.
- No. 23-373.04 All notices of violation within the last five years for visitation.
- No. 23-373.05 All notices of violation within the last five years for tours and tastings
- No. 23-373.06 All notices of violation within the last five years for nuisance. (Since the Napa County Code defines all violations of the code to be a public nuisance, this category essentially seeks all notices of violation. However, commonly, people refer to property maintenance issues identified in Napa County Code section 1.20.022 as nuisances. It was not clear at the time the County responded to the request whether Mr. Hoopes sought all NOVs, or just those relating to NCC section 1.20.022. Mr. Hoopes stated that he sought all NOVs. I would appreciate further confirmation, as that expands the collection significantly.)
- No. 23-373.08 All notices of violation within the last five years that were filed directly as civil lawsuits without administrative hearings.
- No. 23-373.09 All notices of violation within the last five years for live music.
- No. 23-373.10 All notices of violation within the last five years for advertising. (Napa County Code specifically prohibits advertising transient commercial occupancies, but generally does not prohibit advertising otherwise. Please confirm whether this request seeks notices of violation of such advertising, or if it is limited to advertising relating to winery uses.)
- No. 23-374.06 All code enforcement training manuals and materials.
- No. 23-374.08 1981 General Plan documents (they are not available online.) (I understand this to have meant the 1983 General Plan. Please confirm.)
- No. 23-374.13 Training manuals, documents and interregnal policy memorandum relating to code enforcement priorities.
- No. 23-374.14 A copy of all communications in written form relating to policies, strategies or budgeting around financial earnings from winery permit applications.

County staff continues to collect these records from numerous sources and will focus their efforts to produce responsive records by the next update, if possible.

# 3. The County Must Perform Research to Confirm Existence of Records.

As we discussed in our phone conversation, several requests appeared to be simple, but in reality required extensive and exhaustive research of County records to determine if records exist. Even after that research, there is a good chance that very few, or even no, responsive records will be located.

Doc No. 99363

Below is a list of categories that fit this category, but an example will be instructive. Request No. 23-371.04 requests "all Napa County winery permits with express permission to sell "retail items" other than "wine" or "non-wine related" items." The County does not maintain a list or database that includes this specific information for each winery. As a result, staff must review every winery use permit, including every major or minor modification, issued since the zoning code required use permits for wineries in 1974. Even so, staff expects that very few wineries have such permission and, therefore, expects the yield from the extensive research and review to be quite small. Because staff cannot categorically state whether responsive records exist, or not, the County must engage in this extensive research.

Below are some other categories that will require similar efforts to determine even the extent of responsive records.

- No. 23-373.02 All notices of violation within the last five years for failure to maintain an egg handling permit.
- No. 23-373.03 All notices of violation within the last five years for string lights.
- No. 23-373.11 All notices of violation within the last five years for sale of retail products, olive oil, candles, greeting cards, t-shirts, and logo-d materials.
- No. 23-373.13 All notices of violation for charitable fundraisers and/or donations.
- No. 23-374.05 A list of all wineries with express permissions for live music performances and corresponding permissions.
- No. 23-374.15 A report of the total average cost and timeline of use permit modifications.

We will continue to search for records that are responsive to these categories and will produce them as soon as possible, but we expect that the volume of responsive records will be minimal, despite the amount of time and effort needed for such research.

# 4. The County Has No Responsive Records.

The County has confirmed that several categories seek records that do not exist, which I have listed below. In some cases, the request sought a list of wineries with specific approvals or characteristics. The County does not maintain a database with those characteristics and cannot generate a list without creating a new record, which the County is not obligated to do. (*Sander v. Superior Court* (2018) 26 Cal.App.5th 651, 665 ["[the CPRA] does not require [public agencies] to create new records to satisfy a request."]) In other cases, the County researched its existing records and confirmed that no such records exist. After reviewing the requests and researching County records, staff has determined that no responsive records exist for the following categories:

- No. 23-369.02 Official County working definition of "wine related" and "non-wine related items."
- No. 23-371.07 Official definitions or internal working definitions and documents reflecting same of "animal husbandry" and "zoo" or "agricultural animal operations."
- No. 23-371.08 List of previous code enforcement matters regarding animals that proceeded to litigation and underlying complaints.

Doc No. 99363 4

Ex.1294-4

In our discussion, you clarified that "non-wine related" should be "wine related," since the intent of the request was to find records of wineries allowed to sell "non-wine related" items.

- No. 23-371.09 Official definition or internal working definitions and documents reflecting same of "visitor" and/or "visitation" at winery operations.
- No. 23-372.03 Please provide application process, cost, timeline, review criteria for "small winery exemptions." (The only small winery exemptions that are recognized are those that were certified prior to the adoption of the Winery Definition Ordinance in 1990. There is no application process for small winery exemptions. However, documents relating to the application for a use permit, produced in response to request No. 23-372.02, include permit application materials for a Small Winery Use Permit, authorized under Ordinance 1455.)
- No. 23-372.08 Please provide definitions or working enforcement and permitting distinctions between "small winery exemption" and "full blown winery."
- No. 23-373.07 All notices of violation within the last ten years for unfair business practices.
   (This is a cause of action authorized under Business and Professions Code §17200, not a specific violation of the Napa County Code. Staff does not issue notices of violation under that statute.)
- No. 23-373.12 All notices of violation for political fundraisers.
- No. 23-373.14 List of wineries with permission to host picnics.
- No. 23-374.01 A list of all wineries with permission to sell items other than wine.
- No. 23-374.02 A list of all wineries with permission to sell wine-related items.
- No. 23-374.16 A copy of all communications in written form from the past six years that include any plans, strategies, notes, or otherwise reflect any intent to target pre-WDO wineries to restrict their uses and/or require application for re-permitting to allow uses and accessory uses of all other wineries.

As discussed above in Section 3, above, the County anticipates the possibility of adding to this list after research and review of records for the categories listed therein.

\*\*\*\*\*\*

We expect to be able to provide a substantive update and possibly a further document production on September 8, 2023. Based on the above, it appears the County has completed its production for Request No. 23-369. We will keep that request open in our NextRequest system to ensure consistent treatment among all five requests and to allow any further documents we may discover to be produced without administrative issues.

Considering the complexity of these requests, and even of this update, it may be helpful to meet to discuss any issues with the above. I am happy to meet in person or by phone when convenient. Please feel free to contact me.

Respectfully,

SHERYL L. BRATTON, County Counsel

Jason M. Dooley, Deputy

Doc No. 99363 5

# Exhibit 19

RENNE PUBLIC LAW GROUP

Attorneys at Law

PLAINTIFF/CROSS-DEFENDANT NAPA COUNTY'S RESPONSES TO DEFENDANT/CROSS-COMPLAINANT HOOPES' SPECIAL INTERROGATORIES, SET ONE

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HOOPES FAMILY WINERY PARTNERS, LP, a California limited partnership and HOOPES VINEYARD, LLC, a California limited liability company, Cross-Complainants, NAPA COUNTY, DAVID MORRISON, in his official and individual capacity, AKENYA ROBINSON-WEBB, in her official and individual capacities, and ROES 1 through 10, inclusive, Cross-Defendants. PROPOUNDING PARTY:

Defendant/Cross-Complainant HOOPES FAMILY WINERY

PARTNERS, LP, HOOPES VINEYARD, LLC and

LINDSAY BLAIR HOOPES

**RESPONDING PARTY:** Plaintiff/Cross-Defendant NAPA COUNTY

SET NUMBER: ONE (1)

Pursuant to Code of Civil Procedure section 2031.210 et seq., Plaintiff/Cross-Defendant NAPA COUNTY ("Napa") responds to Defendant/Cross-Complainant Hoopes Special Interrogatories, Set One, as follows.

# INTRODUCTORY STATEMENT

- 1. Plaintiff/Cross-Defendant has not completed its investigation of all the facts in this case, or discovery in this matter, and has not completed its preparation for trial. Accordingly, the following responses are based on information presently available and known to Plaintiff/Cross-Defendant, and made in a good faith effort to supply as much factual information as is presently known, but should in no way prejudice Defendant/Cross-Complainant in relation to further discovery, research, investigation or analysis. Plaintiff/ Cross-Defendant accordingly reserves the right to change or supplement any and all responses herein as additional facts or documents are ascertained and/or recalled analysis thereof is made.
- 2. Further discovery, investigation and legal research and analysis may supply additional facts and/or meaning to known facts. The following responses are given without prejudice to Defendant's right at trial to produce evidence of any subsequently discovered facts that may later develop.

3. Except for facts explicitly stated, no incidental or implied admissions are intended in these responses. By responding to any request, Plaintiff/Cross-Defendant does not necessarily adopt or accept the terms Plaintiff has employed or Defendant/Cross-Complainant's characterization of any fact or document. Plaintiff/Cross-Defendant reserves all objections regarding the competency, relevancy, probative value and/or admissibility. Plaintiff/Cross-Defendant also reserves all objections as to vagueness, ambiguity and overbreadth. Furthermore, Plaintiff/Cross-Defendant reserves any objections regarding the use of these responses or any document in any subsequent proceeding, including trial.

# **GENERAL OBJECTIONS**

Plaintiff / Cross-Defendant asserts the following general objections to Defendant/Cross-Complaints Interrogatories, and each objections is incorporated by reference into each individual interrogatory response:

- 1. Plaintiff/Cross-Defendant objects to Defendant/Cross-Complainant's Interrogatories to the extent they conflict with or seek to impose discovery burdens on Plaintiff/Cross-Defendant beyond the scope or requirements of the Code of Civil Procedure.
- 2. Plaintiff/Cross-Defendant objects to Defendant/Cross-Complainant's Interrogatories to the extent they are directed to Defendant's attorneys and/or third parties.
- 3. Plaintiff/Cross-Defendant objects to Defendant/Cross-Complainant's Interrogatories insofar as they seek information that is protected from discovery by the attorney-client privilege, the attorney work product doctrine, the self-critical analysis privilege or any other applicable privilege or protection. To the extent Plaintiff/Cross-Defendant inadvertently discloses information that arguably may be protected from discovery under any applicable privilege, such inadvertent disclosure does not constitute a waiver of such privilege.
- 4. Plaintiff/Cross-Defendant objects to Defendant/Cross-Complainant's Interrogatories to the extent they seek information of a confidential and personal nature regarding applicants, employees or other individuals who have a protected property interest in their privacy under Article I, section 1 of the California Constitution and as set forth in the Information Practices Act, Civil Code section 1798 *et seq*.
- 5. Plaintiff/Cross-Defendant objects to Defendant/Cross-Complainant's Interrogatories to the extent they seek information not currently in Plaintiff/Cross-Defendant's possession, custody or control. Ex.1281-3

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Plaintiff/Cross-Defendant also objects to Defendant/Cross-Complainant's Interrogatories to the extent they seek information equally available to Plaintiff.

- Plaintiff/Cross-Defendant objects to Defendant/Cross-Complainant's Interrogatories to the extent they call for Defendant to conduct a search that is unduly burdensome or oppressive. Plaintiff/Cross-Defendant will interpret each of Defendant/Cross-Complainant's Interrogatories to require only a diligent search and a reasonable inquiry as set forth in the Code of Civil Procedure.
- 7. Plaintiff/Cross-Defendant objects to Defendant/Cross-Complainant's Interrogatories to the extent they are vague, ambiguous and subject to multiple interpretations.
- 8. Plaintiff/Cross-Defendant objects to Defendant/Cross-Complainant's Interrogatories to the extent they require Defendant to make legal or expert conclusions, or call for the interpretation of a document.
- 9. Plaintiff/Cross-Defendant objects to Defendant/Cross-Complainant's Interrogatories to the extent they are not limited as to time or limited as to scope of the relevant allegations of Defendant/Cross-Complainant's operative "Second Amended Complaint for Declaratory Relief" on file in this action, and therefore are overly broad, unduly burdensome, oppressive and seek information that is neither relevant to the subject matter of this action nor reasonably calculated to the discovery of admissible evidence.
- 10. In providing responses to Defendant/Cross-Complainant's Interrogatories, Plaintiff/Cross-Defendant does not in any way waive or intend to waive, but rather is preserving and intends to preserve:
- (a) All objections as to the competency, relevancy, materiality, and admissibility of any of Defendant/Cross-Complainant's Interrogatories, Plaintiff/Cross-Defendant's responses thereto, and their subject matter;
- (b) All objections as to the vagueness, ambiguity or other infirmity in the form of any Defendant/Cross-Complainant's Interrogatories, and any objections based on the undue burden imposed thereby;
- (c) All rights to object on any ground to the use of the responses, or their subject matter, in any subsequent or concurrent proceeding, including the trial of this or any other action;
- (d) All rights to object on any ground to any other discovery requests involving or Ex.1281-4

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related to the subject matter of Defendant/Cross-Complainant's Interrogatories;

- All rights to supplement responses to Plaintiff's Interrogatories prior to trial; and
- (f) Any and all privileges and/or rights under the Code of Civil Procedure, local court rule, the California or U.S. Constitution, any state or federal statute, or the common law.
- 11. Nothing herein shall be construed as an admission by Plaintiff/Cross-Defendant of the truth or accuracy of any characterization contained in Defendant/Cross-Complainant's Interrogatories, except as so expressly stated.
- 12. The fact that part or all of any Interrogatory has been answered should not be construed to be a waiver of any objection to any request.

# RESPONSES TO SPECIAL INTERROGATORIES

# **SPECIAL INTERROGATORY NO. 1:**

State all facts that support YOUR contention that "Defendant HOOPES LLC is and was, at all times relevant herein, the alter ego limited liability company of LINDSAY HOOPES" as set forth in paragraph 14 of YOUR Complaint.

# **RESPONSE TO SPECIAL INTERROGATORY NO. 1:**

Plaintiff objects that discovery has not commenced and provides this response based upon its current knowledge. Lindsay Hoopes (LH) dominated and controlled the LLC to such an extent that the separateness and independence between LH and the LLC have ceased to exist. Consequently there is such a unity of interest that the LLC is the alter ego of LH.

# **SPECIAL INTERROGATORY NO. 2:**

IDENTIFY every witness that has knowledge of any fact stated in YOUR response to Special Interrogatory No. 1.

# **RESPONSE TO SPECIAL INTERROGATORY NO. 2:**

Lindsay Hoopes, potentially Miten Aghera, Marissa Chamberlain, Lisa Brooks

# **SPECIAL INTERROGATORY NO. 3:**

IDENTIFY all DOCUMENTS which evidence any fact stated in YOUR response to Special Interrogatory No. 1.

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# RESPONSE TO SPECIAL INTERROGATORY NO. 3:

At present, Plaintiff believes that LLC and LH financial records will establish the facts.

# **SPECIAL INTERROGATORY NO. 4:**

State all facts that support YOUR contention that a small winery may not "provide wine tastings" as set forth in paragraph 17 of YOUR Complaint.

# **RESPONSE TO SPECIAL INTERROGATORY NO. 4:**

That is prohibited under NCC 18.08.600 C.

# **SPECIAL INTERROGATORY NO. 5:**

IDENTIFY every witness that has knowledge of any fact stated in YOUR response to Special Interrogatory No. 4.

# **RESPONSE TO SPECIAL INTERROGATORY NO. 5:**

Anyone who reads that Ordinance.

# **SPECIAL INTERROGATORY NO. 6:**

IDENTIFY all DOCUMENTS which evidence any fact stated in YOUR response to Special Interrogatory No. 4.

# **RESPONSE TO SPECIAL INTERROGATORY NO. 6:**

NCC section 18.08.600 C

# **SPECIAL INTERROGATORY NO. 7:**

IDENTIFY all small wineries that currently "provide wine tastings."

# **RESPONSE TO SPECIAL INTERROGATORY NO. 7:**

Plaintiff is unable to state whether it is aware of "all" such small wineries. However, the following small wineries offer tastings as part of their entry into the Use Permit Compliance Program and so are offering sanctioned tastings. Those small wineries are:

William Harrison Vineyards & Winery; Knollwood Vineyards; Barnett Vineyards; Summit Lake Winery.

Defendant Hoopes Winery is providing wine tastings in violation of the relevant provisions of NCC section 18.08.600 C.

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# **SPECIAL INTERROGATORY NO. 8:**

State all facts that support YOUR contention that Defendants "exceeded" "their square 2 footage allotment" with the addition of the airstream trailers" as set forth in paragraph 23 of YOUR Complaint.

# **RESPONSE TO SPECIAL INTERROGATORY NO. 8:**

Defendants are improperly using airstream trailers as an extension of their winery.

# **SPECIAL INTERROGATORY NO. 9:**

IDENTIFY every witness that has knowledge of any fact stated in YOUR response to Special Interrogatory No. 9.

# **RESPONSE TO SPECIAL INTERROGATORY NO. 9:**

Anyone who has visited the premises.

# **SPECIAL INTERROGATORY NO. 10:**

IDENTIFY all DOCUMENTS which evidence any fact stated in YOUR response to Special Interrogatory No. 9.

# **RESPONSE TO SPECIAL INTERROGATORY NO. 10:**

Any photographs of the airstream trailers that might exist.

# **SPECIAL INTERROGATORY NO. 11:**

State all facts that support YOUR contention that Defendants were "conducting marketing events" as set forth in paragraph 23 of YOUR Complaint.

# **RESPONSE TO SPECIAL INTERROGATORY NO. 11:**

Defendants have and are marketing extensively on social media. For example, on January 17, 2020 Defendants marketed a Truffles and Caviar event; On November 15, 2019 there were social media posts for a Hoopes Winery open house; On July 17, 2022 Defendants marketed to the Vine and Spirits wine club. There are innumerable additional marketing type events and Defendants are aware of all those events.

# **SPECIAL INTERROGATORY NO. 12:**

IDENTIFY every witness that has knowledge of any fact stated in YOUR response to Special Interrogatory No. 12.

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# RESPONSE TO SPECIAL INTERROGATORY NO. 12:

Akenya Robinson-Webb, David Giudice, Lindsay Hoopes, Marissa Chamberlain, Kelli Cahill, and anyone who has viewed the defendants' social media / internet postings

# **SPECIAL INTERROGATORY NO. 13:**

IDENTIFY all DOCUMENTS which evidence any fact stated in YOUR response to Special Interrogatory No. 12.

# **RESPONSE TO SPECIAL INTERROGATORY NO. 13:**

Other than the actual social media marketing by Defendants, Plaintiff is not aware of any other documents but discovery has not yet commenced.

# **SPECIAL INTERROGATORY NO. 14:**

Do YOU contend that "a two-piece connected shed on the Property exceeded 120 square feet and therefore required a building permit" at the time the Complaint was filed?

# **RESPONSE TO SPECIAL INTERROGATORY NO. 14:**

Yes.

# **SPECIAL INTERROGATORY NO. 15:**

State all facts that support YOUR contention that "hosting an 'animal sanctuary" is "prohibited in the Agricultural Preserve District" as set forth in paragraph 24 of YOUR Complaint.

# **RESPONSE TO SPECIAL INTERROGATORY NO. 15:**

This claimed animal sanctuary is advertised on the winery website and is part of the winery as evidenced by the Wine Club memberships. This so called animal sanctuary is essentially a zoo. A winery is an agricultural processing facility that is used for the fermentation and processing of grape juice into wine or the refermenting of still wine into sparkling wine. Animals are not used in either process.

The controlling ordinance (NCC 18.08.040) does not explicitly allow for animal sanctuaries or zoos where visitors "donate money." That ordinance permits animal husbandry and the relevant definition of animal husbandry does not include operating an animal sanctuary/zoo.

# **SPECIAL INTERROGATORY NO. 16:**

IDENTIFY every witness that has knowledge of any fact stated in YOUR response to Special Ex.1281-8

RENNE PUBLIC LAW GROUP
Attorneys at Law

1	Interrogatory No. 16.
2	RESPONSE TO SPECIAL INTERROGATORY NO. 16:
3	Anyone who reads the ordinance.
4	SPECIAL INTERROGATORY NO. 17:
5	IDENTIFY all DOCUMENTS which evidence any fact stated in YOUR response to Special
6	Interrogatory No. 16.
7	RESPONSE TO SPECIAL INTERROGATORY NO. 17:
8	The ordinance.
9	SPECIAL INTERROGATORY NO. 18:
10	State all facts that support YOUR contention that "Defendants' public assertions are misleading
11	and incorrect, and the practices they describe are not in compliance with the NCC" as set forth in
12	paragraph 25 of YOUR Complaint.
13	RESPONSE TO SPECIAL INTERROGATORY NO. 18:
14	These facts are all stated at paragraph 25 to the Complaint and include charging experience fees
15	and timed table fees which are subterfuges for tours and tastings which are prohibited pursuant to
16	Defendants' small winery exemption status.
17	SPECIAL INTERROGATORY NO. 19:
18	IDENTIFY every witness that has knowledge of any fact stated in YOUR response to Special
19	Interrogatory No. 19.
20	RESPONSE TO SPECIAL INTERROGATORY NO. 19:
21	Lindsay Hoopes, Marissa Chamberlain, Lisa Brooks, David Giudice, Kelli Cahill, Akenya
22	Robinson-Webb, Charlene Gallina, Patrick Ryan, Jeanette Doss, Aileen Gano.
23	SPECIAL INTERROGATORY NO. 20:
24	IDENTIFY all DOCUMENTS which evidence any fact stated in YOUR response to Special
25	Interrogatory No. 19.
26	RESPONSE TO SPECIAL INTERROGATORY NO. 20:

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Exhibit F to Complaint and NCC 18.08.600.

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# **SPECIAL INTERROGATORY NO. 21:**

State what is meant by "on pain of suit" in paragraph 29 of YOUR Complaint.

# **RESPONSE TO SPECIAL INTERROGATORY NO. 21:**

That legal action would be commenced.

# **SPECIAL INTERROGATORY NO. 22:**

State all facts that support YOUR contention that "Defendants have failed to correct any of the code violations and nuisances" as set forth in Paragraph 30 of YOUR Complaint.

# **RESPONSE TO SPECIAL INTERROGATORY NO. 22:**

Plaintiff / Cross-Defendant objects to this request on the grounds it is overbroad, argumentative and not reasonably calculated to lead to the discovery of admissible evidence. Further, Defendants are aware of their failure to correct any of the issues identified in the notices of violation. Notwithstanding and without waiving their objections, Plaintiff/Cross-Defendant responds as follows:

Defendants continue to offer tours and tastings as shown by their website and admissions in this litigation and the stated refusal to discontinue selling non-agricultural related retail products. Defendants chose not to participate in the Use Permit Compliance Program and Defendants chose not to apply for a winery use permit. Defendants have placed structures within the floodplain and refuse to obtain the required floodplain permitting; Plaintiff also understands that Defendants recently violated the controlling ordinance and regulations by altering a storage room to create a non-permitted tasting room.

# **SPECIAL INTERROGATORY NO. 23:**

IDENTIFY every witness that has knowledge of any fact stated in YOUR response to Special Interrogatory No. 23.

# **RESPONSE TO SPECIAL INTERROGATORY NO. 23:**

Lindsay Hoopes, Marissa Chamberlain, Lisa Brooks, David Giudice, Kelli Cahill, Akenya Robinson-Webb, Charlene Gallina, Patrick Ryan, Jeanette Doss, Aileen Gano.

# **SPECIAL INTERROGATORY NO. 24:**

IDENTIFY all DOCUMENTS which evidence any fact stated in YOUR response to Special Interrogatory No. 23.

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# Ex.1281-11

State all facts that support YOUR contention that Defendants are "operating in excess of the uses and square footage set forth in their approved application for a use permit exemption" as set forth in Paragraph 36 of YOUR Complaint.

Defendants; Documentation of new structures placed in the flood plain and Defendants application for

February 11, 2020 and May 12, 2021 NOVs; The continual social media and other advertising by

# **RESPONSE TO SPECIAL INTERROGATORY NO. 25:**

**RESPONSE TO SPECIAL INTERROGATORY NO. 24:** 

the flood plain permit (that has not been issued.)

**SPECIAL INTERROGATORY NO. 25:** 

Defendants are offering tours and tastings, selling wine related items and holding social events of a public nature, all of which are prohibited by NCC 18.08.600. Defendants are improperly using air stream trailers as part of the above violations and have created a so-called animal sanctuary (which is essentially a zoo) on the property in violation of NCC 18.16.020. Defendants have improperly converted a storage room into an additional tasting room. Defendants have expanded the square footage of two storage sheds by connecting them.

# **SPECIAL INTERROGATORY NO. 26:**

IDENTIFY every witness that has knowledge of any fact stated in YOUR response to Special Interrogatory No. 26.

# **RESPONSE TO SPECIAL INTERROGATORY NO. 26:**

Lindsay Hoopes, Marissa Chamberlain, Lisa Brooks, Kelli Cahill, Akenya Robinson-Webb, Aileen Gano.

# **SPECIAL INTERROGATORY NO. 27:**

IDENTIFY all DOCUMENTS which evidence any fact stated in YOUR response to Special Interrogatory No. 26.

# RESPONSE TO SPECIAL INTERROGATORY NO. 27:

Defendant's small winery exemption application; Building permit B18-00154; Images posted by guests to the winery on social media and Defendants' own media postings.

### -11-

C LAW GROUP	s at Law
NNE FUBLIC	Attorneys at Law

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# **SPECIAL INTERROGATORY NO. 28:**

State all facts that support YOUR contention that "specialty boxes offered as part of a virtual cooking class" require a permit as set forth in Paragraph 39 of YOUR Complaint.

# **RESPONSE TO SPECIAL INTERROGATORY NO. 28:**

Food not grown on site or food stored without proper permits is not allowed to be boxed and sold as part of the so-called virtual cooking class. Such conduct violates NCC 18.16.020, 18.08.600 and the relevant Environmental and Health Ordinances.

# **SPECIAL INTERROGATORY NO. 29:**

IDENTIFY every witness that has knowledge of any fact stated in YOUR response to Special Interrogatory No. 29.

# **RESPONSE TO SPECIAL INTERROGATORY NO. 29:**

Anyone who reviews the relevant ordinances.

# **SPECIAL INTERROGATORY NO. 30:**

IDENTIFY all DOCUMENTS which evidence any fact stated in YOUR response to Special Interrogatory No. 29.

# **RESPONSE TO SPECIAL INTERROGATORY NO. 30:**

The relevant ordinances.

# **SPECIAL INTERROGATORY NO. 31:**

State all facts that support YOUR contention that "engaging in cooking demonstrations" is a public nuisance per se as set forth in Paragraph 42 of YOUR Complaint.

# **RESPONSE TO SPECIAL INTERROGATORY NO. 31:**

Cooking classes are not allowed as part of the small winery exemption nor permitted under NCC 18.16.020.

# **SPECIAL INTERROGATORY NO. 32:**

IDENTIFY every witness that has knowledge of any fact stated in YOUR response to Special Interrogatory No. 32.

# **RESPONSE TO SPECIAL INTERROGATORY NO. 32:**

Anyone reading the relevant ordinances.

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# **SPECIAL INTERROGATORY NO. 33:**

IDENTIFY all DOCUMENTS which evidence any fact stated in YOUR response to Special Interrogatory No. 32.

# **RESPONSE TO SPECIAL INTERROGATORY NO. 33:**

The relevant ordinances.

# **SPECIAL INTERROGATORY NO. 34:**

State all facts that support YOUR contention that "charging an 'experience fee' and 'timed table fee' in exchange for goods, services, entertainment, and the right to occupy the Property for a period of time" constitutes a public nuisance per se as set forth in Paragraph 42 of YOUR Complaint.

# **RESPONSE TO SPECIAL INTERROGATORY NO. 34:**

These actions by Defendants are commercial use of the property and are not permitted under the controlling ordinances of 18.16.020 and 18.16.030. Further, these efforts are a subterfuge in an effort to avoid the explicit prohibition against public tastings and tours set forth in NCC 18.08.600.

# **SPECIAL INTERROGATORY NO. 35:**

IDENTIFY every witness that has knowledge of any fact stated in YOUR response to Special Interrogatory No. 35.

# **RESPONSE TO SPECIAL INTERROGATORY NO. 35:**

Anyone reading the ordinances.

# **SPECIAL INTERROGATORY NO. 36:**

IDENTIFY all DOCUMENTS which evidence any fact stated in YOUR response to Special Interrogatory No. 35.

# **RESPONSE TO SPECIAL INTERROGATORY NO. 36:**

The relevant ordinances

# **SPECIAL INTERROGATORY NO. 37:**

State all facts that support YOUR contention that Defendants offer public tours.

# **RESPONSE TO SPECIAL INTERROGATORY NO. 37:**

The "experiences" to visit the private "Oasis" which Defendants sell to the public for \$100 is another name for prohibited tours. When County staff participated in an "experience" they were advised Ex.1281-13

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1	they could tour the vineyard, farm and winery. Further, Lindsay Hoopes has stated on the Goldin
2	podcast that Hoopes is hosting visitors who can tour the gardens and meet animals. The online
3	advertising offers visitors access to the winery's interior and exterior.
4	SPECIAL INTERROGATORY NO. 38:
5	IDENTIFY every witness that has knowledge of any fact stated in YOUR response to Special
6	Interrogatory No. 38.
7	RESPONSE TO SPECIAL INTERROGATORY NO. 38:
8	Lindsay Hoopes, Marissa Chamberlain, Lisa Brooks, Kelli Cahill, Akenya Robinson-Webb,
9	Aileen Gano, Kara Goldin.
10	SPECIAL INTERROGATORY NO. 39:
11	IDENTIFY all DOCUMENTS which evidence any fact stated in YOUR response to Special
12	Interrogatory No. 38.
13	RESPONSE TO SPECIAL INTERROGATORY NO. 39:
14	Transcript from Goldin podcast.
15	SPECIAL INTERROGATORY NO. 40:
16	State all facts that support YOUR contention that "holding social events of a public nature" is
17	unlawful as set forth in Paragraph 48 of YOUR Complaint.
18	RESPONSE TO SPECIAL INTERROGATORY NO. 40:
19	That activity is prohibited under NCC 18.08.600.
20	SPECIAL INTERROGATORY NO. 41:
21	IDENTIFY every witness that has knowledge of any fact stated in YOUR response to Special
22	Interrogatory No. 41.
23	RESPONSE TO SPECIAL INTERROGATORY NO. 41:
24	Anyone who reads the ordinance.
25	SPECIAL INTERROGATORY NO. 42:
26	IDENTIFY all DOCUMENTS which evidence any fact stated in YOUR response to Special
27	Interrogatory No. 41.
28	
	Ex.1281-14

PLAINTIFF/CROSS-DEFENDANT NAPA COUNTY'S RESPONSES TO DEFENDANT/CROSS-COMPLAINANT HOOPES' SPECIAL INTERROGATORIES, SET ONE

# **RESPONSE TO SPECIAL INTERROGATORY NO. 42:**

The ordinance.

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# **SPECIAL INTERROGATORY NO. 43:**

State all facts that support YOUR contention that "Defendants' operation of a winery beyond the uses allowed under their small winery exemption and engaging in commercial uses that are generally disallowed to all others provide Defendants with an unfair competition advantage over other wineries that are operating lawfully under the exemption or with the permits and observing the lawful limits on commercial activities" as set forth in paragraph 50 of YOUR Complaint.

# **RESPONSE TO SPECIAL INTERROGATORY NO. 43:**

By ignoring the limitation of the small winery exemption and operating a full-blown winery, Defendants are engaging in unfairly advantageous business practices compared to wineries that follow the ordinances and/or have properly applied for a use permit which has been reviewed by county staff and gone through a public Planning Commission hearing for approval. Defendants are engaging in conduct that could be permitted under an appropriate use permit, but have failed to follow through on the required use permit steps as have competitor wineries and Defendants appear to be engaging in conduct that would not be permitted under a use permit. If Defendants are offering services to customers that law abiding competitors are not permitted to offer, Defendants potentially attract customers that might otherwise have selected the goods and services of a competitor.

# **SPECIAL INTERROGATORY NO. 44:**

IDENTIFY every witness that has knowledge of any fact stated in YOUR response to Special Interrogatory No. 44.

# **RESPONSE TO SPECIAL INTERROGATORY NO. 44:**

David Morrison and all other wineries that comply with the controlling regulations.

# **SPECIAL INTERROGATORY NO. 45:**

IDENTIFY all DOCUMENTS which evidence any fact stated in YOUR response to Special Interrogatory No. 44.

# **RESPONSE TO SPECIAL INTERROGATORY NO. 45:**

Defendants are presently unaware of any such documents.

Dated: March 9, 2023 RENNE PUBLIC LAW GROUP By: GEØFFREY SPELLBERG Attorneys for Plaintiffs and Cross-Defendants NAPA COUNTY and THE PEOPLE OF THE STATE OF CALIFORNIA RENNE PUBLIC LAW GROUP Ex.1281-16 -16-

PLAINTIFF/CROSS-DEFENDANT NAPA COUNTY'S RESPONSES TO DEFENDANT/CROSS-COMPLAINANT

HOOPES' SPECIAL INTERROGATORIES, SET ONE

RENNE PUBLIC LAW GROUP

### PROOF OF SERVICE

I, the undersigned, am employed by RENNE PUBLIC LAW GROUP. My business address is 350 Sansome Street, Suite 300, San Francisco, California 94104. I am readily familiar with the business practices of this office. I am over the age of 18 and not a party to this action.

On March 9, 2023, I served the following document(s):

PLAINTIFF/CROSS-DEFENDANT NAPA COUNTY'S RESPONSES TO DEFENDANT/ CROSS-COMPLAINANT HOOPES FAMILY WINERY PARTNERS, LP, HOOPES VINEYARD, LLC and LINDSAY BLAIR HOOPES' SPECIAL INTERROGATORIES, SET ONE

by the following method(s):

Electronic Mail. Based on an agreement of the parties to accept service by e-mail, copies of the above document(s) in PDF format were transmitted to the e-mail addresses of the parties on the attached Service List.

#### **SERVICE LIST**

Katherine H. Falace BUCHALTER 1230 Pine Street St. Helena, CA 94574-1106 Email: kfalace@buchalter.com jgleffe@buchalter.com	Counsel for Defendants HOOPES FAMILY WINERY PARTNERS, LP, HOOPES VINEYARD, LLC and LINDSAY BLAIR HOOPES
Lindsay Blair Hoopes P.O. Box 3600 Yountville, CA 94599 Email: lindsay@hoopesvineyard.com	Co-Counsel for Defendants HOOPES FAMILY WINERY PARTNERS, LP, HOOPES VINEYARD, LLC and LINDSAY BLAIR HOOPES

I declare under penalty of perjury under the laws of the State of California that the foregoing is true and correct. Executed on March 9, 2023 at San Francisco, California.

Bobette T. Bramer

# Exhibit 20

ase 3:24-cv-06256 Document 1-20 Filed 09/05/24 Page 2 of 6



# INTER-OFFICE MEMO



DATE: Oct

October 16, 1989

TO:

Board of Supervisors

FROM:

Margaret L. Woodbury, Chief Deputy County Counsel

RE:

Proposed Winery Definition Ordinance -- Legal Issues

Based upon a review of the proposed winery definition ordinance and research into the legal issues raised by its provisions, it is my opinion that the following portions of the proposed ordinance are most likely to stimulate legal challenge based upon federal or state constitutional or statutory issues. In this memorandum, the relevant text of each provision of concern is summarized, followed by a brief summation of the legal problems, and an assessment of the likelihood of successful legal challenge. Legal problems arising from environmental concerns are not addressed.

1. Unrestricted Retail Sales of Wine-Based Products of 14% or Greater Alcohol Content: §§12202(g)(5)(iii) and 12232(g)(5)(iii)

Summary of Provisions. These two subparagraphs (iii) would allow in the AP and AW zoning districts with a use permit the retail sale of brandy, port, sherry or other wine or wine-based product with an alcohol content of 14% or more produced by or for the winery irrespective of the place where the product is manufactured or the county of origin of the grapes from which the wine or wine-based product was made. By contrast, subparagraphs (i) and (ii) of these same provisions permit retail sales of wine with a use permit in these two zones only if the products soled are fermented, refermented or bottled at the winery or, if produced by or for the winery elsewhere, are made from grapes grown in Napa County.

#### Summary of Legal Issues.

- a. <u>U.S. Constitution</u>, <u>Article XIV</u>, <u>clause 2</u> ("No state shall...deny to any person within its jurisdiction the equal protection of the laws")
- b. <u>Calif. Constitution</u>, <u>Article 1</u>, §7(a) (" A person may not be...denied equal protection of the laws...")
- c. <u>Calif. Constitution</u>, <u>Article 1. §7(b)</u> ("A citizen or class of citizens may not be granted privileges or immunities not granted on the same terms to all citizens...")

Assessment of Likelihood of Successful Legal Challenge. The likelihood of successful legal challenge on all or a combination of the above grounds is high. Although the proposed regulation is merely an "economic" regulation as opposed to one affecting "fundamental rights", it can still withstand legal challenge on any of the above constitutional grounds only if its bears some rational relationship to a conceivable and legitimate state purpose [Hibernia Bank v. State Board of Equalization, (1st District, 1985) 166 Cal.App.3d 393); 62 Ops.Cal.Atty.Gen. 180 (1979)]. Since the County has adequate commercially-

Board of Supervisors October 16, 1989 Page Two

zoned acreage where generic or non-locale specific winegrape products can be sold successfully, the sole justification for permitting retail sales of wine under (i) or (ii) on agriculturally-zoned land is the demonstrable marketing tie-in between premium wine products and the site, either specific or by appellation, of production of the source material. With the fall of generic wine prices in recent years and the continuing high price of County agricultural land it is becoming increasingly the case that premium winegrape production provides one of the few remaining economically-viable agricultural uses of the County's agriculturally-zoned land. This marketing advantage thus promotes continued use of agricultural lands within the County for agricultural purposes. Such promotion is legitimate since the preservation of agricultural land is a declared interest of the State of California (Williamson Act, Government Code §51220). However, this tie-in does not exist where the product is neither made locally nor utilizes local agricultural products, so there does not appear to be any rational relationship between (iii) and any legitimate state purpose.

2. Allowing Existing Wineries 18 Months to Establish by Use Permit Certain
Uses to be Denied Immediately to all New Wineries: §§ 12202(i),
12232(k)

Summary of Provisions. These two provisions grandfather-in public tours, public promotional activities, winery guest picnic areas, and display and sale of wine-related items with the winery or appellation logo in AP and AW zoning districts if engaged in by existing wineries who established those uses either before the uses were prohibited or by obtaining authorization pursuant to use permit during a time when permitted by local ordinances. By doing so these provisions recognize the legal nonconforming status of these prior uses (although not calling it by that name) and confer upon that status protection from the usual "phase-out" rules of the County's present regulations pertaining to legal non-conforming uses. Granting such protection from involuntary loss of legal status is probably within the leeway which the courts permit local agencies when dealing with regulation of legal nonconforming uses.

The problem is with the second half of the first sentence of both provisions. This would give all existing wineries which have not heretofore legally engaged in these uses 18 months to request and be granted use permits for these uses, even though identical new wineries would not be entitled to request authorization for such uses. Since these uses would not exist at the time of adoption of the winery definition ordinance, they would never qualify as legal nonconforming uses.

# Summary of Legal Issues.

- a. See (a), (b), and (c), in (1), above.
- b. Government Code section 65852 (all zoning regulations "shall be uniform for each class or kind of building or use of land throughout each zone...)

Board of Supervisors October 16, 1989 Page Three

"monopolize, or attempt to monopolize or conspire with any other person or persons, to monopolize any part of the trade or commerce among the several Statess or with foreign nations..")

Assessment of Likelihood of Successful Legal Challenge. The likelihood of successful legal challenge on the basis of the constitutional grounds set forth in (a), above, to this difference in the treatment of existing wineries who have not presently established on a legal basis any of these public accessory uses and new wineries which will not be permitted to engage in these uses is extremely high. While the courts grant counties and cities wide leeway as to existing uses due to constitutional constraints because immediate abolition of all or part of a viable non-nuisance businesses may give rise to claims of inverse condemnation under the federal and state constitutions, no such differential protection can be granted to uses established illegally or not yet established at all.

In addition, this provision may well be successfully challenged under (b), above, since state law does not permit local agencies to adopt discriminatory rules for the same types of future uses (wineries) on essentially similar properties within the same zoning districts.

While this provision certainly would promote monopolization of these public use activities by existing wineries as opposed to new wineries, successful challenge under §2 of the Sherman Anti-Trust Act is unlikely unless the County adopts this provision with statements such as "this is what the industry wants, we should not change what the industry wants, this is to protect existing businesses and discourage new businesses, etc.". This is because §2 requires a conspiracy between the regulating county and the regulated (and benefitted) industry which then results in monopolization of economic activities. Mere unilateral adoption by a governmental entity of a regulation which has monopolistic results within the regulated industry will not give rise to a §2 violation (Fisher v. Berkeley, 475 U.S. 260 (1986))

3. Restricting Winery Production Capacity Expansions to Projects Utilizing at least 75% Napa County-Grown Grapes: \$\$12419; 12423

Summary of Provisions. While the application of these two provisions to the various types of wineries is rather complicated, the basic idea (§12419) is that whenever an existing winery expands beyond its presently authorized or legally-established capacity or beyond its present "winery development area", the expansion capacity must obtain no less than 75% of its winegrape source material from grapes grown within Napa County. The winery development area is defined as 120% of the presently-developed area of an existing winery or 15 acres, whichever is greater (§12423).

#### Summary of Legal Issues.

- a. (a), (b), and (c) of (l), above.
- b. (b) and (c) of (2), above.
- c. U.S. Constitution, Article 1, §8 ("The Congress shall Power...to

Board of Supervisors October 16, 1989 Page Four

regulate Commerce with foreign Nations, and among the several States, and with the Indian Tribes"--and, by implication, the states cannot do so unless expressly permitted by the Congress)

- d. <u>U.S. Constitution, Article 1, §10</u> ("No State shall...pass any... Law impairing the obligation of Contracts")
- e. <u>U.S. Constitution</u>, <u>Article 4, §2</u> ("The Citizens of each State shall be entitled to the Privileges and Immunities of Citizens in the several States.")
- f. 15 USCA \$1 (Sherman Anti-Trust Act ("Every contract, combination in the form of trust or otherwise, or conspiracy, in restrain of trade or commerce among the several States, or with foreign nations is declared to be illegal...")

Assessment of Likelihood of Successful Legal Challenge. Despite the long list of issues raised by this proposal, it is actually the most likely of the three areas to withstand legal challenge, particularly if "winery development area" is limited to existing developed areas, eliminating the 20% unrestricted expansion area for existing wineries. Without this modification of §12423, the state law against non-uniform regulations within a given zone might support on its own a successful challenge to this provision.

The reason for this optimism is that there appears at least in concept to be a rational relationship between the 75% rule and the promotion of the preservation of Napa County agricultural land. This is because of such land is primarily used for premium winegrape production and that type of product is highly dependent both for actual quality and consumer acceptance upon its identification with the geographically-unique production areas of its source material. This rational relationship may be sufficient to overcome the equal protection arguments and, combined with the rather minimal effect on interstate commerce (there is by nature of the product very little interstate importation of grapes for this premium market), may overcome the privileges and immunities arguments since the latter comes into play only when local regulations will have a profound effect on interstate harmony [72 Ops.Cal.Atty.Gen. 86 (1989)].

This minimal effect and the inherent geographic identification of the County's premium product may also overcome arguments based upon the Commerce Clause, especially since the federal and state governments have already recognized the special area-specific nature of these products through their various appellation regulations. A good discussion of this is contained in a legal opinion in the possession of our office which was prepared by the legal firm of Townsend & Townsend.

Section 1 of the Sherman Anti-Trust Act applies to local agencies only if the activities regulated are not ones in which the relevant State has expressed an interest in state or local control (Community Communications Company v. City of Boulder 455 U.S. 40 (1982) and the many subsequent cases which expanded on the state action concept). However, in this instance, the EX. 1034-44 mule promotes in a rational way the preservation of agricultural

Board of Supervisors October 16, 1989 Page Five

lands, a purpose which the Legislature of the State of California has declared to be of paramount importance in the preface to the Williamson Act and the state planning agency has found to be of such importance in the <u>CEQA</u> <u>Guidelines</u>, that it has listed (Appendix G, §y) impairment of agricultural lands as a significant adverse environmental impact which must be considered whenever a local agency is considering approval of a discretionary permit. For this reason, challenge to this provision based solely on §2 is unlikely to be successful.

As discussed above, because this provision may have some mildly monopolistic effects in favor of existing wineries, §2 of the Sherman Anti-Trust Act may be a problem, but only if the 20% expansion area is not deleted and that action is explained with the sort of statements indicative of county-industry collusion described in (2), above. Without this provision, the rule would apply evenly to all owners within the zone except those grandfathered-in as to existing legal capacity for independent constitutional reasons (to avoid inverse condemnation) and it is unlikely that anyone could, under these circumstances, show either a significant monopolistic effect or intent to create such an effect on either a local or interstate basis.

Finally, the constitutional prohibition against the local adoption of laws or regulations which impair existing contracts should not by itself support a successful legal challenge. While it is common in the industry for wineries to enter into long-term contracts with growers for grapes, it is unlikely that a court would feel particularly sympathetic towards persons who entered into purely speculative contracts to buy grapes in future years for production capacity for which they had not obtained discretionary approval at the time of execution of the contracts. Since the proposed ordinance grandfathers-in all legally-authorized or legally-established capacity, the 75% rule would not impair any long-term contracts supplying only that capacity.

# Exhibit 21



A Tradition of Stewardship A Commitment to Service

#### Conservation, Development and Planning

1195 Third Street, Suite 210 Napa, CA 94559 www.co.napa.ca.us

> Main: (707) 253-4417 Fax: (707) 253-4336

> > Hillary Gitelman Director

# MEMORANDUM

To:	Napa County Planning Commission and Interested Stakeholders	From:	Hillary Gitelman	
Date:	October 26, 2009	Re:	WDO & Temporary Events	

At the October 6, 2009 joint meeting of the Planning Commission and the Board of Supervisors, planning staff was directed to:

- 1. quickly review any options that might exist for using our temporary events ordinance as a way to permit social and cultural events at wineries;
- 2. offer support to industry group discussions about potential changes to the Winery Definition Ordinance (WDO) of 1990; and
- 3. assemble some data regarding regional economic conditions and characteristics of Napa County wineries.

The first of these subjects is addressed in this memo via a series of five questions and answers which reference relevant sections of the Napa County General Plan and Napa County Code. The staff interpretations and suggestions inherent in these questions and answers are simply initial thoughts, and are provided to frame discussion by the Commission at their November 18, 2009 meeting. Based on input from the Commission and interested stakeholders at that time and in the weeks that follow, staff will formulate a recommendation for consideration by the Commission and the Board around the end of January, when the Board of Supervisors has requested a report on industry group discussions and staff's data gathering efforts.

# Question 1: Are wineries currently allowed to hold weddings, parties and similar cultural and social events?

Answer: Generally no, but it depends on when the winery was established and on what conditions were placed on the winery at the time of its approval. Some wineries were established prior to 1974, before there was a requirement for a use permit. These wineries may continue to host cultural and social events if it was part of their operations prior to 1974 (and if they are recognized via a county-approved certificate of conformity). Wineries approved between 1974 and when the WDO was adopted in 1990 may only host cultural and social events



October 26, 2009 WDO & Temporary Events if they were permitted as part of the winery's use permit. Wineries approved after adoption of the WDO in 1990 may not host cultural and social events because of language included in the definition of "marketing" adopted at that time unless the event qualifies as a "temporary event" and has required permits. Generally, "temporary events" are events protected under the First Amendment of the US Constitution, and are open to the public. (See Question 4 & the definitions provided.)

It should be noted that the prohibition on cultural and social events at post-WDO wineries does not mean that marketing events cannot have a cultural or social component. For example, wine club members may be invited to an event featuring the winery's wine, which also involves music, art, etc. However, the code has been consistently interpreted to prohibit these wineries from hosting weddings, birthday parties, wedding anniversary celebrations, and other purely social events because they have been deemed "unrelated to... education and development" of the persons/groups specified in the definition of "marketing."

Question 2: Are wineries currently allowed to hold business meetings, conferences, and similar events?

Answer: Only if the business meetings are non-commercial and primarily focused on wine education and development. As noted above, wineries established prior to 1974 -- before there was a requirement for a use permit -- may continue to host business meetings, conferences, etc. if these activities were part of their operations prior to 1974 (and if they are recognized via a county-approved certificate of conformity). Wineries approved between 1974 and when the WDO was adopted in 1990 may hold such events if they were permitted as part of the winery's use permit.

Since adoption of the WDO, it has not always been clear whether business meetings and similar events qualify as marketing events. A strict reading of the ordinance would suggest that wineries may *not* host business meetings and the like unless they are "limited to activities for the education and development" of the persons or group involved and are singularly focused on "wine which can be sold at the winery on a retail basis." Under this interpretation, only a business meeting solely focused on the production and sale of wine would be acceptable. However, business meetings that have a marketing objective (e.g. a wine tasting or education event scheduled for a group of bankers as part of a corporate retreat), have often been considered marketing events, as long as a prevalence of such events does not constitute commercial activity or turn the winery into a conference center. Clearly this is one area of the code and the WDO that would benefit from clarification via a code amendment, or the kind of "administrative interpretation" discussed in response to Question 3.

Question 3: Could the County use an "administrative interpretation," rather than a code amendment to allow wineries to hold weddings, parties, business meetings, etc?

Answer: The County could use an interpretation to clarify when business meetings are acceptable. However the County could not use an administrative interpretation to allow weddings, parties, and similar social events. Also, administrative interpretations in general have significant disadvantages over formal code amendments.

By law, "administrative interpretations" or other policies that are adopted by staff or decision-makers may not conflict with regulations or policies formally adopted as part of the County's zoning ordinance or General Plan. Also, because such interpretations may be reversed or reinterpreted with little public notice any time there is a change in staff or a change in the composition of the Commission and/or the Board, they can be considered arbitrary and are not generally viewed as good public policy. Use of an interpretation may also be at odds with General Plan Policy AG/LU-107 which states that "The County shall provide a clear, consistent, timely, and predictable review process..." [emphasis added].

With that said, planning staff understands that the prohibition on cultural and social events and the issues surrounding business meetings described in response to Question 1 & 2 are themselves based on interpretations of code language. In the case of cultural and social events, County staff and policy makers have routinely interpreted birthday parties, weddings, etc. to be cultural and social events that are "unrelated to ... education and development" of the persons and groups called out in the definition of "marketing." This interpretation is supported by the last statement in the definition of marketing: "...but shall not include cultural and social events unrelated to such education and development..."

In the case of business meetings, County staff and policy makers have interpreted some business meetings as falling within the definition of "marketing," while acknowledging that the practice of hosting other business meetings can be considered a commercial activity outside the definition of "marketing." Careful consideration should be given to legal issues and potentially preferable alternatives before using an administrative interpretation to clarify when business meetings are acceptable. While there is no phrase in the code expressly describing these meetings as <u>not</u> falling within the definition of marketing (as there is for social and cultural events), there is still the disadvantage that an administrative interpretation can be reversed with little public notice (i.e. only by posting an agenda 72 hours in advance of the meeting) whenever the composition of the Commission or the Board changes.

Question 4: Could the County use the existing temporary events ordinance to allow weddings, parties, business meetings, etc. at wineries?

Answer: Not without amending the ordinance. Temporary events are by definition (see below) related to "expressive activities" protected by the First Amendment of the US Constitution and are open to the public. Common examples include concerts, lectures, and benefit dinners held by non-profit organizations. Wineries may hold social, cultural, and business-related events using the temporary event ordinance (and independent of their approved marketing programs), but only if the events are open to the public (with or without

payment of an admission charge), and are permitted via the procedures outlined in Chapter 5.36 of Napa County Code. Generally, any temporary event with more than 50 attendees requires a permit, which must be applied for at least 60 days in advance of the event. Obviously, weddings, birthday parties and other events that are *by invitation only* do not fall within the definition of temporary events, so the ordinance would have to be amended to provide another category of temporary event that is by invitation, presuming the Commission and the Board can make the case that such events are expressive activities protected under the First Amendment. This idea is discussed in response to Question 5, below.

Question 5: How could the existing temporary events ordinance be amended to permit weddings, parties and similar cultural or social events at wineries?

Answer: While it would be possible to amend the rules governing temporary events to permit "by invitation only" cultural and social events if these events were considered a form of public expression related to First Amendment rights, there may be unintended consequences of such a change and alternative code amendments would be preferable. Four options are evaluated here.

If the temporary events ordinance was simply amended to allow events that are by invitation only (events like weddings, birthday parties, etc.) by making the argument that these events provide for public expression, then these types of events could be permitted at homes, bams, warehouses, and at other properties throughout the County as well as at wineries. As a result, there could be an excessive number of events, and properties that hold regular events could become commercial enterprises in violation of General Plan policies and zoning restrictions.

This unintended consequence (i.e. the potential over-proliferation of events) could be addressed by enacting a new special events ordinance that is unrelated to the First Amendment and that limits the number of events allowed by invitation only (e.g. up to 100 weddings per year on a first come first served basis, and no more than one such event per property per year). The new special events ordinance would not be specific to wineries, and would allow events at a wide variety of locations via an administrative permit, similar to permit required for hot air balloon launching facilities. Strict limitations would have to be included in the new ordinance to avoid conflicting with General Plan policies and zoning restrictions prohibiting commercial activities in agricultural areas.

Another variation on this theme would be to create a new special events ordinance allowing social and cultural events, but only at wineries and only when such events are held in lieu of permitted marketing events. This approach could make use of the same kind of administrative permit process described above, but also would necessitate changing the definition of "marketing" to avoid internal inconsistencies within Napa County Code. Specifically, the definition of "marketing" would need to be amended along the following lines (proposed new text is underlined):

"Marketing of wine" means any activity of a winery identified in this paragraph which is conducted at the winery and is limited to members of the wine trade, persons who have pre-established business or personal relationships with the winery or its owners, or members of a particular group for which the activity is being conducted on a prearranged basis. Marketing of wine is limited to activities for the education and development of the persons or groups listed above with respect to wine which can be sold at the winery on a retail basis pursuant to Chapters 18.16 and 18.20, and may include food service without charge except to the extent of cost recovery when provided in association with such education and development, but shall not include cultural and social events unrelated to such education and development except as provided in Section (insert section number).

The most efficient way to provide wineries with greater flexibility regarding events would be to avoid establishment of a new administrative permit process and simply adjust the definition of "marketing" further. For example, the following amendment was proposed in 2005 (proposed new text is underlined):

"Marketing of wine" means any activity of a winery identified in this paragraph which is conducted at the winery and is limited to members of the wine trade, persons who have pre-established business or personal relationships with the winery or its owners, or members of a particular group for which the activity is being conducted on a prearranged basis. Marketing of wine is limited to activities for the education and development of the persons or groups listed above with respect to wine which can be sold at the winery on a retail basis pursuant to Chapters 18.16 and 18.20, and may include food service without charge except to the extent of cost recovery when provided in association with such education and development, but shall not include cultural and social events unrelated to such education and development.

Notwithstanding the preceding paragraph, "marketing of wine" may include a cultural, social or business event if such event occurs during the period commencing on the effective date of Ordinance No. 1267 and ending two years from the effective date of Ordinance No. 1267 and if the event conforms to all of the following requirements:

- A. the winery has a valid use permit which specifically allows marketing events to be held at the winery;
- B. the event is limited to members of the wine trade or persons who have pre-established relationships with the winery or its owners, or is being conducted for a particular group on a prearranged basis;
- C. the event involves the education and development of customers for the winery;
- D. the only alcoholic beverages served at the event are wines which can be sold at the winery on a retail basis pursuant to Chapters 18.16 and 18.20 of this Code;
- the only food service provided in association with the event is without charge, except to the extent of cost recovery;
- F. the event is not scheduled to begin or end during "peak" travel times of 4:00 to 6:00 p.m. on weekdays and 1:00 to 4:00 p.m. on weekends;

- G. the event may not include the use of outdoor amplified music unless it is specifically authorized by a use permit modification approved by the zoning administrator pursuant to section 18.10.020 of this Code and is based on an analysis outlining feasible methods for complying with the County's noise ordinance and those methods are included as conditions of approval on the use permit modification;
- H. events within one-quarter mile of residential uses must end (including clean-up) by 10:00 p.m. unless a different time is authorized by a use permit modification approved by the zoning administrator and is based on an analysis outlining feasible methods for complying with the County's noise ordinance and such methods are included as conditions of approval on the use permit modification pursuant to section 18.12.020 of this Code;
- I. the event will not exceed the number of attendees specified in the winery's use permit for visitors to a particular marketing event; and
- the event will be counted towards the total number of marketing events per year authorized by a winery's use permit.

Pre-WDO wineries which have not established specific marketing plans may continue to do marketing activities consistent with the visitation allowed in their existing use permits. Where it is unclear what marketing activities were previously authorized, a use permit modification request or a certificate of extent of legal non-conformity shall be submitted by the permittee to clarify the intensity of marketing activities allowed.

# **Definitions from Napa County Code**

- "Agriculture" means the raising of crops or livestock and includes the following:
   A. Growing and raising trees, vines, shrubs, berries, vegetables, nursery stock, hay, grain and similar food crops and fiber crops;
  - B. Grazing of livestock and feeding incidental thereto;
  - C. Animal husbandry, including, without limitation, the breeding and raising of cattle, sheep, horses, goats, pigs, rabbits and poultry and egg production;
  - D. Sale of agricultural products grown, raised or produced on the premises;
  - E. Farm management uses meeting all of the standards in subsections (E)(1) through (E)(6) of this section.... (excerpt from Napa County Code Section 18.08.040)
- "Marketing of wine" means any activity of a winery identified in this paragraph which is conducted at the winery and is limited to members of the wine trade, persons who have pre-established business or personal relationships with the winery or its owners, or members of a particular group for which the activity is being conducted on a prearranged basis. Marketing of wine is limited to activities for the education and development of the persons or groups listed above with respect to wine which can be sold at the winery on a retail basis pursuant to Chapters 18.16 and 18.20, and may include food service without charge except to the extent of cost recovery when provided in association with such education and development, but shall not include cultural and social events unrelated to such education and development. (Napa County Code Section 18.08.370)
- "Commercial use" means a use that involves the exchange of cash, goods or services, barter, forgiveness of indebtedness, or any other remuneration in exchange for goods, services, lodging, meals, entertainment in any form, or the right to occupy space over a period of time. It does not include the growing and subsequent sale of crops or livestock, the manufacturing, assembly, or processing and subsequent sale at wholesale of a product, or the operation of a telecommunication facility. (Napa County Code Section 18.08.170)
- "Temporary event" or "event" means any festival, fair, show, showcase, house or garden design tour, concert, dance, rally, parade, demonstration or competition of creative athletic form, or any other gathering or assemblage of individuals for the purpose of observing or engaging in expressive activities within the ambit of the First Amendment of the United States Constitution and Sections 2, 3 and 4 of Article 1 of the California Constitution, including, but not limited to, music, dance, theater, speech, athletics, or any other visual, audio, or tactile arts or combination thereof, including incidental retail sales of the products of such activities, as long as such sales are not advertised off-site; which is held at any place other than a highway as defined in Section 10.24.010 of this code, a permanent building or installation constructed and primarily used for the

purpose of conducting such activity or one similar thereto, property owned or leased by the state of California, or property owned or leased by a public school district for use as a public school site, and to which the public is invited or admitted with or without the payment of an admission charge. (excerpt from Napa Count Code Section 5.36.101)

# Relevant Policies from the Napa County General Plan

Goal AG/LU-1:

Preserve existing agricultural land uses and plan for agriculture and related activities as the primary land uses in Napa County.

Policy AG/LU-1:

Agriculture and related activities are the primary land uses in Napa

County.

Policy AG/LU-2:

"Agriculture" is defined as the raising of crops, trees, and livestock; the production and processing of agricultural products; and related marketing, sales and other accessory uses. Agriculture also includes farm

management businesses and farm worker housing.

Action Item AG/LU-2.1:

Amend County Code to reflect the definition of agriculture" as set forth within this plan, ensuring that wineries and other production facilities remain as conditional uses except as provided for in Policy AG/LU-16, and that marketing activities and other accessory uses remain incidental and subordinate to the main use.

Policy AG/LU-13:

The 1990 Winery Definition Ordinance, recognized certain pre-existing wineries and winery uses as well as new wineries. For wineries approved after the effective date of that ordinance, agricultural processing includes tours and tastings by appointment only, retail sales of wine produced by or for the winery partially or totally from Napa County grapes, retail sale of wine-related items, activities for the education and development of consumers and members of the wine trade with respect to wine produced by or at the winery, and limited non-commercial food service. The later activity may include wine-food parings. All tours and tastings, retail sales, marketing activities, and non-commercial food service must be accessory to the principal use of the facility as an agricultural processing facility. Nothing in this policy shall alter the definition of "agriculture" set forth in Policy AG/LU-2.

Policy AG/LU-16:

In recognition of their limited impacts, the County will consider affording small wineries a streamlined permitting process. For purposes of this policy, small wineries are those that produce a small quantity of wine using grapes mostly grown on site and host a limited number of small marketing events per year.

Action Item AG/LU-16.1:

Consider amendments to the Zoning Ordinance defining "small wineries," a "small quantity of wine," "small marketing events," and "mostly grown on site," and establishing a streamlined permitting process for small wineries which retains the requirement for a use permit when the winery is in proximity to urban areas.

# Exhibit 22



Agenda Date: 3/1/2016 Agenda Placement: 9B Set Time: 9:00 AM

Estimated Report Time: 1 hour

# NAPA COUNTY BOARD OF SUPERVISORS Board Agenda Letter

TO: Board of Supervisors

FROM: David Morrison - Director of Planning, Building and Environmental Services

PBES - Building Department

REPORT BY: David Morrison, Director, Planning, Building & Environmental Servi - (707) 253-4805

SUBJECT: Recommendations on Agricultural Protection

# **RECOMMENDATION**

Director of Planning, Building, and Environmental Services requests discussion and direction regarding the recommendations concerning agricultural protection, as forwarded by the Planning Commission from the Agricultural Protection Advisory Committee (APAC).

(CONTINUED FROM DECEMBER 8, 2015 AND JANUARY 5, 2016)

# **EXECUTIVE SUMMARY**

This meeting is intended to provide the Board with an opportunity to hear and consider recommendations made by the Planning Commission to improve agricultural protection, based on guidance provided by the APAC. These recommendations are the result of nine months of work by the two groups, and are the direct outcome of direction provided by the Board of Supervisors at their March 10, 2015, Special Meeting on the cumulative impacts of development on the Napa Valley. This was followed on March 24, with the Board of Supervisors appointing members to the serve on the Committee.

# PROCEDURAL REQUIREMENTS

- 1. Staff reports
- 2. Public comments
- 3. Motion, second, discussion, and vote on the item

# **FISCAL IMPACT**

Is there a Fiscal Impact? No

DEFENDANT'S EXHIBIT 1130 22CV001262

# **ENVIRONMENTAL IMPACT**

ENVIRONMENTAL DETERMINATION: The proposed action is not a project as defined by 14 California Code of Regulations 15378 (State CEQA Guidelines) and therefore CEQA is not applicable.

## BACKGROUND AND DISCUSSION

For a more detailed summary of the background and issues related to this item, please see prior staff reports for Agenda Item 9.D on the Board of Supervisors' meeting of December 8, 2015; and Agenda Item 9.K on the Board of Supervisors' meeting of January 5, 2016.

On March 24, 2015, the Board of Supervisors appointed an Agricultural Protection Advisory Committee (APAC), to address public concerns about the rate, intensity, and location of development within the unincorporated area. The APAC was made up of a broad cross-section of interests, including the wine industry, agriculture, businesses, cities, environmental organizations, neighborhood groups, and at-large members. In order to be forwarded, recommendations were required to receive at least two-thirds support of the committee. The APAC presented their final recommendations to the Planning Commission on September 10, 2015. The Planning Commission completed its review of APAC's work and made their final recommendations to the Board of Supervisors on November 4, 2015.

The Board of Supervisors held its first public hearing regarding the APAC recommendations on December 8, 2015. The hearing ran five hours and testimony was received from 73 different speakers. At the end of the hearing, the Board provided direction to staff regarding 10 of the 14 pending recommendations. The second meeting on January 5, 2016, ran for two hours. Staff provided additional analysis as requested by the Board and received further direction on resolving the remaining four items. Staff has provided a summary of the recommendations accepted by the Board of Supervisors at the previous two hearings (see Attachment A). Note that a clarification has been made to Recommendation No. 14, indicating that the annual report to the Planning Commission would address aggregate wine production and grape sourcing data.

The Board of Supervisors may add, delete, substitute, or modify the recommendations forwarded to them by the Planning Commission. This applies to clarification of the direction provided by the Board of Supervisors on December 8 and January 5, as well as to the four recommendations that have yet to be considered.

## **ACTIONS ALREADY TAKEN**

As the recommendations for agricultural protection nears completion of this first milestone, staff believes that it is important to recall the other efforts that have recently been made by the County to improve the planning process:

- The County's CEQA Guidelines have been revised to require notification to nearby landowners for Erosion Control Plan applications. They were also amended to require that consultants preparing environmental documents for proposed projects contract directly to the County.
- The Board of Supervisors joined Marin Clean Energy, allowing the unincorporated area to access a green energy portfolio.
- The Board of Supervisors adopted new public hearing noticing requirements, expanding the radius from 300 feet to 1,000 feet.
- Staff has been directed to update the appeals process.
- The Affordable Housing Fee on new development has been increased.

- The Board adopted new Water Availability Analysis standards, that replaced the standard assumption for water use in hillside areas with expanded Tier 2 analysis requirements involving more rigorous studies.
- Staff has prepared Traffic Impact Study Guidelines to ensure consistency in project analysis.
- Staff has been directed to complete the draft Climate Action Plan.
- Staff has been directed to update the Circulation Element and prepare a Traffic Impact Fee for new development.
- The Board of Supervisors and Planning Commission held a special joint hearing on the cumulative impacts of new development, attended by 450 people.
- The Board appointed APAC, who completed their work on schedule.
- Staff is regularly coordinating with city representatives on regional land use and water issues.
- Staff has been directed to prepare documents that address the State's requirements for a Groundwater Management Sustainability Plan
- The updated Housing Element has been adopted.
- The Board of Supervisors has held two workshops on code enforcement, which resulted in two additional officers, recordation of violation notices, updated penalties, community clean-up programs, and direction to prepare a code enforcement policy and procedures manual.
- A draft Local Area Management Program (LAMP) has been prepared to address new State requirements on wastewater treatment.

# RECOMMENDATIONS

There are four recommendations remaining for the Board of Supervisors to discuss and provide direction to staff, as provided below. Additional analysis of these items may be found in the staff report for Agenda Item 9.D from the December 8, 2015, public hearing; and Agenda Item 9.K on the Board of Supervisors' meeting of January 5, 2016.

Since the January 5, 2016 Board meeting, staff has been coordinating with a number of interested groups regarding the wording of the recommendations. These groups included: Coalition Napa Valley, Napa County Farm Bureau, Napa Valley Grapegrowers, Napa Valley Vintners, Napa Vision 2050, and Winegrowers of Napa Valley. While there is not unanimity among these various groups on every aspect of the recommendations presented below, staff believes that there is broad consensus on many of the concepts and approaches offered for consideration.

# **APAC Recommendation No. 4**:

Prepare a plan to implement a phased, self-certification compliance program.

The first phase would require all wineries to report their production and grape sourcing data to the County. An ordinance to require production and grape sourcing would be considered late in 2016; would be implemented in 2017, and the first reports would be due in 2018. During this phase, staff would review the existing methodology for calculating wine production for consistency with the ATTB (Alcohol, Tobacco, Tax and Trade Bureau) definition, as well as current types of winery operations. Staff would also work with County Counsel to prepare a series of papers explaining the legal guidelines by which existing vested rights are determined.

The second phase would involve an opportunity for wineries to come in for a voluntary review of their use permit to: (1) consolidate and streamline existing use permit conditions of approval; (2) determine and specify existing vested rights; (3) clarify the scope of activities addressed; and/or (4) consider alternative effective measures of tasting and marketing visitation. The reviews would not involve any change to legally established vesting or permitted rights. Depending on the volume of such requests and the extent of the Planning Division workload, outside planning and legal consultants may be needed to implement this second phase. The current practice of the wine audit would continue through the first and second phases.

The third phase would transition to a practice of strict code enforcement whereby violators would be required to immediately comply with all applicable requirements.

<u>Discussion:</u> As has been evident throughout the discussion over the past year, the issue of winery permitting in Napa County is very complex. The standards and regulations placed on the winery industry far exceeds those imposed on other wine regions in California and/or the United States. This is hardly surprising, given Napa Valley's global pre-eminence, but it creates substantial challenges both in the consideration of new applications as well as the enforcement of existing operations. The issue of code compliance is further complicated by the long history of wineries in Napa, public initiatives, court decisions, State and Federal law, and the multiple layers of regulations that have accumulated at the local level over the decades.

Staff recommends an approach that acknowledges these constraints and also provides a path towards greater consistency and integration in how code compliance is managed. It is a phased approach, that will be implemented over time to allow for both the private sector and County staff to develop the institutional practices needed to achieve greater compliance. This approach would work to align County definitions to more closely align with State and Federal practices, and would establish County guidelines and procedures to make the permitting process clearer and more predictable for all parties involved. The recommendation would also provide a period of time during which the winery owners can work voluntarily with the County to consolidate and clarify existing permit requirements, and/or determine the extent of existing vested rights. All of these actions would be taken with the intent of creating a well-defined regulatory environment, that is equally transparent to owners, the public, staff, and decision makers. Once that goal has been achieved, winery owners would be better prepared to internally monitor their permit conditions, code compliance staff would be in a better position to strictly enforce County standards, and the public would be better served in the more efficient resolution of complaints.

# **APAC Recommendation No. 5**:

Prepare an ordinance to limit the total development area of residential development within AP and AW zoned parcels. Take no action with regards to changing the existing development area of wineries.

<u>Discussion</u>: Current County Code already restricts winery development area (defined as aggregate paved or semi-permeable improvements) to no more than 25 percent of the parcel on which the winery is located, or 15 acres, whichever is less. As such, there are already strong limits on the extent to which wineries are allowed to develop on agriculturally zoned properties. But as highlighted by the APAC, there is no similar limit on housing within the agricultural zones. Every year, Napa builds more new homes than new wineries, and the total number of rural homes far exceeds the number of wineries. Increasingly, homes in the agricultural zones are getting larger, with a correspondingly increasing footprint once associated improvements are included, such as driveways, septic systems, wells, pools, tennis courts, bocce ball courts, cabanas, second units, and guest homes. For smaller parcels, the majority of the value of the property is in its value as a rural residential estate. This increases land prices such that growers and vineyard developers are not able to economically compete ti acquire property, reducing the inventory of land available for agricultural expansion. Consequently, staff is recommending that the County Code be amended to place an area limit on the footprint of new homes and additions to existing homes. The ordinance would not specify a percentage of the total parcel size, as that would make development of vacant one-acre lots impossible and would allow for far too large of a footprint on expansive parcels.

# APAC Recommendation No. 6:

As a part of the guidelines referenced in Planning Commission No. 13, staff reports shall include a calculation of the impermeable outdoor areas (not located within an enclosed structure) proposed for hospitality, and express that calculation as a percentage of the production facility for each Use Permit or Major Modification winery application. In addition, a site plan showing permeable areas designated for hospitality (i.e., lawns, gardens, etc.) shall be included as a part of the winery application, for the purpose of CEQA review.

<u>Discussion:</u> Impermeable surfaces such as porches, verandas, patios, and plazas can be used for outdoor seating at many wineries during pleasant weather. As such, the represent potential hospitality capacity for tasting and marketing visitors, on a seasonal basis. Because these areas are typically paved, they represent a conversion of farmland and raise the question as to whether the total hospitality area (compared to the total production facility) remains incidental and subordinate to the agricultural use. However, wineries have been relying on these areas for many years. Adopting this into an ordinance would create a large and complex determination of existing vested rights, which would require significant staffing resources to address. Instead, staff believes that this issue should be addressed through guidelines, which provide the Planning Commission with the discretion and flexibility needed to consider the unique circumstances of individual applications, on a case-bycase basis. It will also provide the opportunity to gather information that can be used to better guide land use decision-making and policy in the future.

Caves are not included in this recommendation, as they do not affect agricultural land. Similarly, permeable landscaped areas would not be included in the calculation, as they can be ripped and planted, and do not represent a permanent conversion of farmland. However, to the extent that such areas are used for outdoor entertainment, they need to be evaluated under CEQA for issues such as noise, light and glare, parking, etc. Consequently, those areas should be described on a site plan, but not included in the calculation of hospitality area.

# **APAC Recommendation No. 9**:

As a part of any ordinance that implements one or more APAC recommendations, include a statement of policy in the Findings which states that wineries that were legally established prior to adoption of the Winery Definition Ordinance (WDO) are an integral part of the Napa Valley economy. The Board of Supervisors recognizes the legal existence of such wineries and permits their continued right to operate within the conditions of their approved use permits; provided, however that expansion above and beyond that allowed by the approved use permit would only be permitted upon securing a modification to the use permit in accordance with the zoning ordinance. The Board further declares that the conforming structures and uses of legally established wineries are rights that cannot be rescinded, revoked, or traded away without due process.

<u>Discussion</u>: As previously stated by staff in the January 5, 2016, report, it remain staff's position that all property owners are subject to any change in land use regulations, unless the property owner: (1) has obtained statutory vested rights under a development agreement; (2) has a vesting tentative map; or (3) can demonstrate that sufficient development activities have been undertaken to establish common law vested rights. Where these circumstances occur, the property owner's rights prevail over the new regulations. Staff believes that the revised recommendation articulates this balance of public and private interests, and provides a clear framework for evaluating future winery applications with regards to new regulations.

## **NEXT STEPS**

Once the Board of Supervisors has completed providing direction regarding the recommendations on agricultural protection, staff will begin the process of drafting the necessary ordinances, guidelines, and any General Plan policies, (if required). Staff will work with County Counsel and interested parties in developing the more detailed implementation needed to carry out the Board of Supervisors' direction. If significant legal, procedural, or staffing resource issues arise as a result of this process, that would substantially affect implementation, staff will return to the Board of Supervisors for additional discussion and direction before any further work is done on the recommendation in question. Public workshops will be held to review draft ordinances and policies, and staff will prepare the appropriate documents pursuant to the California Environmental Quality Act (CEQA). Hearings on any draft ordinances and policies will be considered by the Planning Commission, before their recommendations are forwarded to the Board of Supervisors for additional public hearings and final action.

# **SUPPORTING DOCUMENTS**

A . Attachment A - Prior Board Actions

CEO Recommendation: Approve

Reviewed By: Helene Franchi

# Exhibit 23

# INTER-OFFICE MEMO



TO: Jeff Redding, Deputy Planning Director

TO: Laura Stitt Sheedy, Deputy County Counsel

BECTIVED

RE: Expiration of Small Winery Use Permit Exemptions

MAR 2 1 1989

DATE: March 21, 1989

NAPA GULE TELEVISION DEPET OF JEHR TO THE OFFICE

### **ISSUE**

This office has been asked to research the question whether a small winery use permit exemption expires one year after approval if not activated, or in the alternative, whether the exemption, once granted, is good indefinitely.

#### ANSWER

As the Napa County Zoning Ordinances are presently written, a small winery which fits the definition of small winery, found at Napa County Code of Ordinances section 12048, is a use allowed without a use permit. The small wineries are allowed in AP, AW and WR Zoning Districts. The regulations in each of those zoning districts state merely that the following uses shall be allowed in all such districts without use permits:

(c) Small Winery. The construction of a new winery or expansion of a existing winery within the conditions contained in the definition of a 'small winery'."

# ANALYSIS

The definition of a small winery pursuant to our own ordinance section 12048, is "any existing winery or proposed new winery with a maximum annual production capacity of 20 thousand gallons of wine that meets the following conditions. A small winery shall be located on a parcel of land 4.0 acres or larger in size. Small winery buildings and related facilities shall not be located in any county-designated environmentally sensitive area. A small winery does not conduct public tours, provide wine tastings, sell wine-related items or hold social events of a public nature. A small winery shall meet all requirements of the County's Design Criteria for 'Small Winery'."

The Design Criteria mentioned in the definition of small winery pertain to fire protection, access roads, parking, set backs and density, building site, construction standards, signs and landscaping. When a proposed use of land meets these design criteria it is exempt from a use permit requirement.

Neither the definition of small winery, the zoning district regulations, nor the design criteria provide that an exemption certificate is necessary in order to qualify as a "small winery" which is allowed on these parcels. Nor do any of the above documents provide that when a small winery is exempt from the use permit criteria the exemption lasts only one year. Because there is no requirement that an exemption certificate be obtained, anyone who meets the criteria may become a small winery. Because the time limit within which a landowner must meet these criteria is not specified, any time that the criteria are met, according to the ordinances and the design criteria, the property is a small winery and does not need a use permit. Therefore, the exemption cannot automatically expire within a year.

As the ordinances and design criteria are now written, the problem of a person with an exemption certificate being able to permanently preclude neighbors from becoming small wineries could be alleviated by stating on the face of an exemption certificate, if the county determines that exemption certificates should be issued, that the grantee's rights are not vested until said certificate is activated by the building of the small winery. In this case, the prior actual use of a parcel as a small winery will have the prior right to the small winery exemption. Thus, if an owner obtains a certificate but does not build his winery, a neighboring owner can still meet the design criteria, build and thereby obtain the prior right.

This does not, however, mean that the County cannot amend its ordinances to require that a small winery is an allowed use only upon the granting of an exemption certificate, which could be an administrative permit. In this case the County can condition the exemption on using the permit within one year of its approval, similar to the time limits imposed already on building permits.

#### CONCLUSION

As the zoning ordinances and design-criteria-are now written, there is no requirement that an exemption certificate be obtained prior to building a small winery nor, if an exemption certificate is obtained, that it expire within one year if not activated. Therefore, once a property owner has proven that the property meets the definition of a small winery it is exempt from the use permit provisions. However, to secure a prior right to operate as against other proposed small wineries in the vicinity, it is agruable that the property owner must actually construct and operate the winery.

LSS/mla D:1600.5

cc: Margaret Woodbury



# NAPA COUNTY

ROBERT WESTMEYER County Counsel

OFFICE OF COUNTY COUNSEL

1195 THIRD STREET, ROOM 301 • NAPA, CALIFORNIA 94559-3001 AREA CODE 707/253-4521

April 10, 1989

OUR FILE NO

MARGARET L WOODBURY, Chief Deputy
JOSEPH C. FOLKARD, Deputy
DAVID L. ZALTSMAN, Deputy
NANCY STUART GRISHAM, Deputy
LAURA STITT SHEEDY, Deputy

Carl Doumani Stags Leap Associates 6150 Silverado Trail Napa, California 94558

Re: Expiration of Small Winery Use Permit Exemption

Dear Mr. Doumani:

I spoke with you last week regarding small winery use permit exemptions. At that time I told you this office does not believe that Napa County's zoning ordinances, as they are presently written, provide for an expiration of the use permit exemption for small wineries.

Small wineries are permitted uses in Agricultural Preserve, Agricultural Watershed and Watershed Recreation zoning districts if the use of the parcel is in accordance with the definition of "small winery", found at Napa County Code of Ordinances §12048, and the design criteria adopted by the Board of Supervisors by resolution, copies of which are attached hereto. If the use of the parcel does qualify as a small winery, then it is exempt from the requirement of obtaining a use permit.

There is no time limit during which a property owner must put his property to use in order to reserve his rights to eventually establish any permitted use. This is so with small wineries in any zoning district which now allow the same as permitted uses.

Small wineries are subject to the winery moratorium imposed by the Board of Supervisors. That moratorium does allow development to continue on wineries that had already acquired a use permit or exemption certificate. If you do have an exemption certificate at this time, then you may continue to build your winery in spite of the moratorium.

Because the small winery exemption is not subject to expiration, there is no requirement that it be "activated" within a given time frame. However, if you fail to obtain building permits and perform pursuant to those permits, a neighboring landowner could conceivably establish a prior right by actually constructing a small winery and thereby preclude you from establishing a winery within a certain distance of that small winery.

As I stated in our telephone conversation a small winery is now a permitted use if it meets the definition of small winery. However, the county may enact new zoning regulations which will put further conditions on the use of a parcel for small wineries. In order to preserve your rights as they now exist you should take advantage of your exclusion from the moratorium, obtain building permits and begin constructing the small winery for which you now have an exemption certificate.

Very truly yours,

LAURA STITT SHEEDY
Deputy County Counsel

LSS/mla D:1600.5

cc: Margaret Woodbury, Chief Deputy County Counsel
Jeff Redding, Assistant Planning Director

# Exhibit 24

SHERYL L. BRATTON (SBN 144209) County Counsel sheryl.bratton@countyofnapa.org SHERRI S. KAISER (SBN 197986) skaiser@countyofnapa.org
OFFICE OF THE NAPA COUNTY COUNSEL 1195 Third Street, Suite 301 Napa, California 94559 Telephone: (707) 254-4521 Facsimile: (707) 259-8220 ARTHUR A. HARTINGER (SBN 121521) ahartinger@publiclawgroup.com GEOFFREY SPELLBERG (SBN 121079) gspellberg@publiclawgroup.com MICHAEL S. COHEN (SBN 339846) mcohen@publiclawgroup.com RENNE PUBLIC LAW GROUP 350 Sansome Street, Suite 300 San Francisco, California 94104 Telephone: (415) 848-7200 Facsimile: (415) 848-7230 Attorneys for Plaintiffs and Cross-Defendants NAPA COUNTY and THE PEOPLE OF THE STATE OF CALIFORNIA

## SUPERIOR COURT OF THE STATE OF CALIFORNIA

# **COUNTY OF NAPA**

NAPA COUNTY and THE PEOPLE OF THE STATE OF CALIFORNIA ex rel. THOMAS ZELENY, as Interim Napa County Counsel, Plaintiffs,

HOOPES FAMILY WINERY PARTNERS, LP. HOOPES VINEYARD, LLC, LINDSAY BLAIR HOOPES, and DOES 1 through 10, inclusive,

Defendants.

Case No. 22CV001262

EXEMPT FROM FEES (GOV. CODE § 6103)

DECLARATION OF AKENYA ROBINSON-WEBB IN SUPPORT OF NAPA COUNTY'S SPECIAL MOTION TO STRIKE

Date: April 25, 2023 Time: 8:30 a.m.

Dept: A, Hon. Cynthia P. Smith

Action Filed: October 20, 2022

Trial Date: None Set





AKENYA ROBINSON-WEBB DECL. ISO NAPA COUNTY'S SPECIAL MOTION TO STRIKE - CASE NO. 22CV001262

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HOOPES FAMILY WINERY PARTNERS, LP, a California limited partnership and HOOPES VINEYARD, LLC, a California limited liability company,

Cross-Complainants,

NAPA COUNTY, DAVID MORRISON, in his official and individual capacity, AKENYA ROBINSON-WEBB, in her official and individual capacities, and ROES 1 through 10, inclusive,

Cross-Defendants.

- I, Akenya Robinson-Webb, declare as follows:
- 1. I have personal knowledge of the facts in this declaration, and if called upon to testify, I could and would testify competently to the facts contained herein.
- 2. I am the Code Compliance Supervisor in the Napa County Department of Planning, Building and Environmental Services Department. I have served in this role since February 20, 2021. Prior to that time, I was a Code Compliance Officer in the Code Compliance Division.
- 3. My responsibilities as Code Compliance Supervisor include managing the Code Enforcement operations of the County. Not only do I manage the Code Compliance staff, but I personally handle Code Enforcement actions.
- In early 2020, the Department's Code Compliance Division received a complaint that the Hoopes Winery located at 6204 Washington Street in Napa were engaged in activities that violated numerous Napa County Code provisions, specifically NCC sections 18.16.020 and 18.08.600.
- 5. These complaints were treated in the same fashion as every other complaint we receive about a resident or business engaging in activities that potentially violate the Napa County Codes. We opened the matter and began an investigation.
- 6. After investigating, we concluded that Hoopes was in violation of the above referenced NCC sections due to its actions in conducting wine tastings, tours, selling wine and non-wine related products at the winery, holding social events, providing food service, violating flood-plain and building regulations and operating what is effectively a children's zoo on the premises.
  - 7. Based upon these investigation results, the Code Compliance Division issued two Notices

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of Apparent Violation. The first was issued on February 14, 2020, and when Hoopes failed to comply with the terms of the Notice and correct the non-conforming conduct, the second Notice of Apparent Violation was issued on May 12, 2021. Those Notices of Apparent Violation are attached hereto as Exhibit A.

- 8. After those two Notices of Apparent Violation were issued, I visited the Hoopes Winery (in October 2021) and observed its operations. My staff also conducted a search of social media and other available data bases for information related to the operations of the Winery.
- 9. When I was at the Winery, I observed that the Winery was still conducting wine tastings, tours of the Winery, providing food service, selling non-wine related products, violating flood plain and building regulations and operating what appeared to be a children's petting zoo. I also observed that the Winery had placed airstream trailers on the property where customers could taste wine and those trailers improperly exceeded the Winery's square footage allotment. Further, the Winery had installed a shed on the property that exceeded 120 square feet (a code violation) and sat in a floodplain which meant that the owners were required to obtain a building permit, a floodplain permit, and provide sufficient floodplain mitigation measures.
- 10. My staff checked the County records and determined that the Hoopes Winery had failed to obtain the appropriate permits for any of these issues. I have also learned through the investigation that Hoopes has converted what was a properly permitted storage room into a non-permitted tasting and entertainment area.
- 11. Despite receiving the two Notices of Apparent Violation referenced above, the Hoopes Winery has failed correct any of the violations or abate any of the violative conduct. I understand from my staff that the Winery has affirmatively indicated it would not abate and correct the issues raised in the two Notices of Apparent Violation.
- 12. In light of the Hoopes Winery's flat-out refusal to comply with the NOVs and abate the improper activities, the County had no other reasonable alternative but to pursue legal action to obtain a Court order halting these improper activities. The decision to bring the action was made by the County Board of Supervisors.
  - 13. All of my involvement in this matter has arisen in the context of performing my

professional duties as the Code Compliance Supervisor for the County of Napa. None of my actions have been based upon spite, malice, ill will or any personal feelings about the Winery or Lindsay Hoopes. The conduct of myself and my staff in this matter is completely consistent with the procedures we always follow when investigating and making code violation determinations following the receipt of a legitimate complaint. All decisions and actions that I and my staff undertook were based upon our professional judgment in responding to these numerous code violations.

14. I do not know nor at any time have held any personal animus toward Lindsay Hoopes, the Hoopes Family Winery, or any associated individuals or companies.

I declare under the penalty of perjury of the laws of the State of California that the foregoing is true and correct. Executed this 8th day of March, 2023 at Napa, California.





Form 1 - Information Sheet Planning, Building & Environmental Services

1195 Third Street, Suite 210 Napa, CA 94559 www.countyofnapa.org

> David Morrison Director

# INFORMATION AND NOTICE REGARDING APPARENT CODE VIOLATION

February 14, 2020

Hoopes Family Winery

Hoopes Family Winery

Via Certified and Regular USPS Mail

Partners, LP

Partners, LP

P.O. Box 3600

6204 Washington Street

Yountville, CA. 94599

Napa, CA. 94599

LOCATION: 6204 Washington Street, Napa, CA; APN 036-110-013 CE20-00017

Dear Property Owner:

The Napa County Department of Planning, Building, & Environmental Services has received information and/or observed that a Code violation exists or has occurred at the above-referenced Property. We have received information that you are exceeding the allowed uses under the approved Small Winery Exemption (approved in 1984 and amended in 1987) by allowing tours, tasting and marketing events without the benefit of a Winery Use Permit. Upon further investigation we have determined that tours and tastings are being conducted in the winery building as well as the garden and two air stream trailers on the property, contrary to your permit and Title 18 of the Napa County Code. Additionally, based on staff observations, there is a chicken shed and storage container on the property that exceeds 120 square feet, requiring building and Floodplain permits. Finally, any outdoor lighting (i.e. string lights) associated with the winery are required to be shielded.

In accordance with Napa County Resolution Number 2018-164, the Code Compliance Program, you are required to operate within the existing legal entitlements for one year from the date of this Notice of Violation before a use permit or modification application may be submitted. At this time you must cease all winery tours, tastings and marketing and return to your approved entitlements under your Small Winery Exemption.

Please refer to the attached notice and informational sheet that describes in more detail the reported or apparent Code violation(s) and the references to the provisions that appear to have been violated.

Please contact us within ten (10) calendar days of the date of this Notice (by February 24, 2020). We look forward to discussing this situation with you and resolving the apparent violation promptly. You may reach me at (707) 265-2325.

Sincerely,

Kelli Cahill.

Code Compliance Officer

Planning, Building & Environmental Services

.Cc: Sharepoint



A Commitment to Service

DATE:	
February 14, 201	20

# REPORTED OR APPARENT CODE VIOLATION

# IMPORTANT ENFORCEMENT INFORMATION

This letter is a courtesy notice to advise you that a code violation exists on the property identified below. We have received information that you are exceeding the allowed uses under approved Small Winery Permit (approved in 1984) and amended in 1987) by allowing tours, tasting and marketing events without the benefit of a Winery Use Permit. The information we received indicates that tastings are being conducted in the winery building as well as the garden and numerous air stream trailers on the property, contrary to Title 18 of the Napa County Code. Based on staff observation, there is a chicken shed on the property that exceeds 120 square feet, requiring a building and a floodplain permit. Finally, outdoor lighting (i.e. string lights) are required to be shielded.

Our Department encourages voluntary compliance and you are being given the opportunity to correct the violation identified in this notice before further enforcement action is taken.

NAME OF PERSON/ENTITY	ADDRESS OF VIOLATION:	MAILING ADDRESS:	JUNI.
Hoopes Family Winery Partners, LP	6204 Washington Street, Napa APN# 036-110-013-000	P.O. Box 3600 Yountville, CA. 94599	

# CODE SECTION(S) VIOLATED:

- Small Winery Exemption (approved 1984 and amneded in 1987) Napa County Code Section 18.16.020 - Agricultural Preserve Zoning District
- Napa County Code Section 18.32.080 Other regulations applicable
- Napa County Code Section 1.20.022 (I) substandard property maintenance as a public nuisance
- Small Winery Exemption
- Calif. Building Code 2019, Chapter 1 Section 105.1 (permits)
- NCC 16.04 -560(A) Permit Required when. Floodplain permits are required for all structures in the floodplain
- Napa County Code Section 18-144-040 -(Nuisance)

# **VIOLATION DESCRIPTION:**

- Conducting a winery business (tastings, tours, and/or marketing events) on Agriculturally (AP) zoned land without a use permit.
- All outdoor lighting shall be shielded and directed onto the subject property only, so that the light source is not visible from adjacent properties.
- (I) Any person owning, leasing, occupying or having charge or possession of any premises or property to permit on such premises or property any parked operable vehicle, recreational vehicle, motorhome, trailer, camper, camper shell or boat to be used for a residential occupancy except on property zoned mobile home parks or in compliance with Chapter 18.126.
- Additional square footage (RV) is not included in the use permit and not approved for winery use.
- The installation/construction of storage containers and outdoor structures without the benefit of a Floodplain permit.
- Structures located in floodplain without benefit of permit.
- Any use of property contrary to the provisions of Title 18 of the County Code shall be declared to be unlawful and a public nuisance.

# CORRECTION(S) REQUIRED AND DEADLINE TO CORRECT:

1. Cease all winery tours, tastings and marketing and return to your approved entitlements under your Small Winery Exemption. In accordance with Napa County Resolution Number 2018-164, the Code Compliance Program, you are required to operate within the existing legal entitlements for one year from the date of this Notice of Violation before a use permit or modification application may be submitted.

- 2. Remove or file for building and flood plain permits for the container and chicken shed.
- 3. Please cease use of the trailers and place in storage.
- 4. Please shield all outdoor lighting, including string lights.
- 5. Please provide TTB winery production forms for the past 3 years (2017, 2018 & 2019).
- 6. Contact me within ten (10) calendar days of the date of this letter (February 24, 2020) to confirm your receipt of this correspondence and schedule a meeting to discuss your options to comply with the code.

Diane Dillon	District #3	
District Supervisor:		
Kelli Cahill	(707) 265-2325	
NAME OF CODE ENFORCEMENT OFFICER:	DEPT. PHONE NUMBER & EMAIL CONTACT:	

YOU FACE THE MEASURES ON THE BACK OF THIS NOTICE UNLESS YOU PROMPTLY CONTACT AND WORK WITH COUNTY STAFF TO ADDRESS THE ABOVE DESCRIBED REPORTED OR APPARENT CODE VIOLATION(S)





Unless you promptly contact County staff and work with staff to address the above-described reported and/or apparent Code violations by the date specified above, one or more of the following code compliance measures will be implemented by the County:

1. Issuance of a Citation pursuant to Napa County Code Chapter 1.28.

Under Chapter 1.28 of the Napa County Code, Code Enforcement staff may issue a Citation. The issuance of a Citation for a violation of the Code shall, unless the violation is corrected prior to the deadline stated in the Citation, result in the imposition of administrative penalties. Such penalties may vary with the type of violation, but currently the lowest penalties that may be levied are as follows:

- \$100 for the first violation
- \$200 for the second violation of the same Code provision within 1 year
- \$500 for the third violation and for each additional violation of the same Code provision within 1 year.
- For violations that pertain to real property, the Citation will be recorded with the Napa County Recorder's office and constitute a lien on the property if you fail to correct the violation by the deadline stated in the Citation.
- You will be given an opportunity to request a hearing before a hearing officer to contest the Citation and/or to contest the administrative penalties or recordation of the Citation.
- If you fail to pay an administrative penalty and/or fail to correct the Code violation after a Citation is issued, the matter
  will then be referred to County Counsel or the District Attorney for further enforcement through civil litigation
  proceedings.
- 2. Issuance of Notice of Nuisance pursuant to Napa County Code Chapter 1.20
- a. Alternatively, the Enforcement Officer shall (unless circumstances dictate otherwise) issue a Notice of Nuisance pursuant to Napa County Code Section 1.20.040, which will be copied to all lienholders of record of the property.
- b. This Notice will include an Order to abate the nuisance by a specified, reasonable time.
- c. If the violation is not corrected by the stated deadline, an abatement hearing may be held before the Napa County Board of Supervisors.
- d. The Board may, if it finds a nuisance exists, order the violator to pay all administrative costs incurred in the course of abatement proceedings and investigation.
- e. Recordation of the notice of nuisance and imposition of administrative penalties under Chapter 1.28 may also occur.
- f. Depending on the nature of the violation and whether it poses a threat to health and safety, County Code Enforcement may choose to engage in summary (immediate) abatement steps to eliminate the nuisance without an administrative hearing before the Board of Supervisors.
- 3. Issuance, if applicable, of a Notice of Violation and Order to Repair or Abate Substandard Housing Conditions pursuant to Health and Safety Code Sections 17980 and 17980.6.
- a. The Notice of Violation as to substandard housing conditions will include an order to remedy the violation(s) within a reasonable period of time.
- b. Administrative penalties under Chapter 1.28 may also be imposed if the conditions are not corrected by the deadline stated in the Notice.
- c. If the violations are not corrected by the deadline, the Notice of Violation will be recorded with the Napa County Recorder's office and constitute a lien on the property.
- d. Failure to correct substandard housing conditions may also result in appointment of a receiver for the property affected by the violation.
- 4. Referral to County Counsel or the District Attorney for Filing of Enforcement Proceedings in Court

Depending on the circumstances and severity of the violation, direct referral of a violation to County Counsel or to the District Attorney for filing of enforcement proceedings may occur at the outset, without the issuance of a Citation or the other Notices described below. Pursuant to Napa County Code Section 1.20.155, in the course of such litigation, the County may seek civil penalties up to \$1,000.00 for each day that the violation continues to exist.

The County's remedies and procedural steps for enforcement of the County Code and other statutes and regulations enforced by the County, as described herein, are cumulative, alternative, and subject to the County's discretion depending on the circumstances presented. The County, in enforcing the County Code and other statutes and regulations, has prosecutorial discretion to select -- based on the particular circumstances -- the appropriate enforcement measures to be taken, as permitted by the County Code and other laws.

# Case 3:24-cv-06256 Document 1-24 Filed 09/05/24 Page 11 of 14



A Tradition of Stewardship A Commitment to Service Form 1 - Information Sheet Planning, Building & Environmental Services

1195 Third Street, Suite 210 Napa, CA 94559 www.countyofnapa.org

> David Morrison Director

# SECOND INFORMATION AND NOTICE REGARDING APPARENT CODE VIOLATION

May 12, 2021

**Hoopes Family Winery** 

Hoopes Family Winery

Via Certified and Regular USPS Mail

Partners, LP

Partners, LP

P.O. Box 3600

6204 Washington Street

Yountville, CA. 94599

Napa, CA. 94599

Scott Greenwood-Meinert (via email)

LOCATION: 6204 Washington Street, Napa, CA; APN 036-110-013 CE20-00017

Dear Property Owner:

On February 11, 2020, The Napa County Department of Planning, Building, & Environmental Services issued a Notice of Apparent Code Violation detailing violations at the above reference property. To date, the violations have not been corrected, including exceeding the allowed uses under the approved Small Winery Exemption (approved in 1984 and amended in 1987) by allowing tours, tasting and marketing events without the benefit of a Winery Use Permit. We have continued to document ongoing tours and tastings being conducted in the winery building as well as the garden and air stream trailers on the property, contrary to your permit and Title 18 of the Napa County Code. Additionally, a chicken/animal shed that exceeds 120 square feet, as the ramp or connection between the sheds was not removed as stated by Patrick Ridder, was constructed on the property. The chicken/animal shed was constructed without benefit of a building permit contrary to the 2019 California Building Code Section 105.1 (Permits Required). Finally, any outdoor lighting (i.e. string lights) associated with the winery are required to be shielded (Napa County Code Section 18.32.080.

In addition to the violations listed above, the following violations have been identified as follows:

1. The Winery Definition Ordinance, The General Plan, and the Napa County Zoning Code define tours and tastings as "accessory" to the production of wine. Accessory uses are defined as uses that are subordinate to the main use and customarily a part thereof. Accessory uses are clearly incidental, and reasonably compatible with the other principal uses and intent of the zoning district. Napa County has clearly defined accessory activities at wineries. Yoga activities are not customarily a part of a winery's production (which is the main use), nor are yoga activities reasonably compatible to the production of wine. Yoga is a system of exercises, more appropriately located at fitness centers, health spas or yoga centers, pursuant to Napa County Your Small Winery Exemption does not allow the winery to be used for commercial yoga classes. Nor does your permit allow marketing of such events, as marketing is incidental, related, and subordinate to the primary use of the winery, which is production.

Where the zoning regulation applicable to a zoning district specifically identify the accessory uses which are permitted in conjunction with a primary use in that zoning district, no other accessory uses in conjunction with the primary use will be permitted in that zoning district. This does not

inGasey3;24rcMrQ6256saDQGUMENT In2Aal JalledaD9lQ5/24t neeQRcliefAfitlAh of agriculture, nor is it subordinate to the small winery.

- Food Service such as meal service and/or picnic for purchase are not allowed without the benefit of
  a commercial food service license pursuant to California Retail Food Code Section 114381a-f, Section
  114387. Additionally, sale of home food products requires a permit pursuant at Napa County Code
  Section 18.104.095.
- 3. All produce sold at the Organic Farmer's Market must be grown on the property. The sale of any produce not grown on the property must cease immediately. Additionally, any produce grown on the property and used in specialty boxes offered as part of virtual cooking classes must cease immediately until you have obtained a permit, pursuant to Calcode (CHSC) Section 113980.
- 4. Retail store being run out of the winery, including advertising the sale of greeting cards, hand sanitizer, candles, soaps, and blankets. Pursuant to Napa County Code Sections 18.16.020, 18.16.030 and 18.16.030(H) stating that only the sale of wine related products are allowed.

In accordance with Napa County Resolution Number 2018-164, the Code Compliance Program, you are required to operate within the existing legal entitlements for one year before a use permit application may be submitted.

You are hereby required to:

- 1) Upon receipt of this notice, immediately cease all winery tours, tastings and marketing and return to your approved entitlements under your Small Winery Exemption. In accordance with Napa County Resolution Number 2018-164, the Code Compliance Program, you are required to operate within the existing legal entitlements for one year from the date of this Notice of Violation before a use permit or modification application may be submitted;
- 2) Upon receipt of this notice, immediately cease all uses that are not accessory to the winery (yoga and bunch, animal sanctuary, and food services).
- 3) Upon receipt of this notice, immediately cease use of the trailers and place in storage;
- 4) Shield all outdoor lighting, including string lights within 30 days of the date of this notice by June 11, 2021;
- 5) Provide TTB forms for the past 3 years (2017, 2018 & 2019) within 30 days of the date of this notice by June 11, 2021; and,
- 6) Submit a complete building permit application and flood plain application for the chicken/animal shed within 60 days of the date of this notice by July 12, 2021;

Please confact me within ten (10) calendar days of the date of this Notice (by May 22, 2021) to discuss the above items and your intent to comply. Failure to comply will result in referral to County Counsel for further action. You may reach me at (707) 265-2325 or kelli.cahill@countyofnapa.org.

Sincerely,

Kelli Cahill,

Code Compliance Officer

Planning, Building & Environmental Services

Ce. Chron, File

Unless you promptly contact County staff and work with staff to address the above-described reported and/or apparent Code violations by the date specified above, one or more of the following code compliance measures will be implemented by the County:

### 1. Issuance of a Citation pursuant to Napa County Code Chapter 1.28.

Under Chapter 1.28 of the Napa County Code, Code Enforcement staff may issue a Citation. The issuance of a Citation for a violation of the Code shall, unless the violation is corrected prior to the deadline stated in the Citation, result in the imposition of administrative penalties. Such penalties may vary with the type of violation, but currently the lowest penalties that may be levied are as follows:

- \$100 for the first violation
- \$200 for the second violation of the same Code provision within 1 year
- \$500 for the third violation and for each additional violation of the same Code provision within 1 year.
- For violations that pertain to real property, the Citation will be recorded with the Napa County Recorder's office and constitute a lien on the property if you fail to correct the violation by the deadline stated in the Citation.
- You will be given an opportunity to request a hearing before a hearing officer to contest the Citation and/or to contest the administrative penalties or recordation of the Citation.
- If you fail to pay an administrative penalty and/or fail to correct the Code violation after a Citation is issued, the matter will then be referred to County Counsel or the District Attorney for further enforcement through civil litigation proceedings.

### 2. Issuance of Notice of Nuisance pursuant to Napa County Code Chapter 1.20

- a. Alternatively, the Enforcement Officer shall (unless circumstances dictate otherwise) issue a Notice of Nuisance pursuant to Napa County Code Section 1.20.040, which will be copied to all lienholders of record of the property.
- b. This Notice will include an Order to abate the nuisance by a specified, reasonable time.
- c. If the violation is not corrected by the stated deadline, an abatement hearing may be held before the Napa County Board of Supervisors.
- d. The Board may, if it finds a nuisance exists, order the violator to pay all administrative costs incurred in the course of abatement proceedings and investigation.
- e. Recordation of the notice of nuisance and imposition of administrative penalties under Chapter 1.28 may also occur.
- f. Depending on the nature of the violation and whether it poses a threat to health and safety, County Code Enforcement may choose to engage in summary (immediate) abatement steps to eliminate the nuisance without an administrative hearing before the Board of Supervisors.
- 3. Issuance, if applicable, of a Notice of Violation and Order to Repair or Abate Substandard Housing Conditions pursuant to Health and Safety Code Sections 17980 and 17980.6.
- a. The Notice of Violation as to substandard housing conditions will include an order to remedy the violation(s) within a reasonable period of time.
- b. Administrative penalties under Chapter 1.28 may also be imposed if the conditions are not corrected by the deadline stated in the Notice.
- c. If the violations are not corrected by the deadline, the Notice of Violation will be recorded with the Napa County Recorder's office and constitute a lien on the property.
- d. Failure to correct substandard housing conditions may also result in appointment of a receiver for the property affected by the violation.

### 4. Referral to County Counsel or the District Attorney for Filing of Enforcement Proceedings in Court

Depending on the circumstances and severity of the violation, direct referral of a violation to County Counsel or to the District Attorney for filing of enforcement proceedings may occur at the outset, without the issuance of a Citation or the other Notices described below. Pursuant to Napa County Code Section 1.20.155, in the course of such litigation, the County may seek civil penalties up to \$1,000.00 for each day that the violation continues to exist.

The County's remedies and procedural steps for enforcement of the County Code and other statutes and regulations enforced by the County, as described herein, are cumulative, alternative, and subject to the County's discretion depending on the circumstances presented. The County, in enforcing the County Code and other statutes and regulations, has prosecutorial discretion to select -- based on the particular circumstances -- the appropriate enforcement measures to be taken, as permitted by the County Code and other laws.

RENNE PUBLIC LAW GROUP
Aftorneys at Law

### PROOF OF SERVICE

I, the undersigned, am employed by RENNE PUBLIC LAW GROUP. My business address is 350 Sansome Street, Suite 300, San Francisco, California 94104. I am readily familiar with the business practices of this office. I am over the age of 18 and not a party to this action.

On March 29, 2023, I served the following document(s):

DECLARATION OF AKENYA ROBINSON-WEBB IN SUPPORT OF NAPA COUNTY'S SPECIAL MOTION TO STRIKE

by the following method(s):

Electronic Mail. Based on an agreement of the parties to accept service by e-mail, copies of the above document(s) in PDF format were transmitted to the e-mail addresses of the parties on the attached Service List.

### **SERVICE LIST**

Katherine H. Falace BUCHALTER 1230 Pine Street St. Helena, CA 94574-1106 Email: kfalace@buchalter.com jgleffe@buchalter.com	Counsel for Defendants HOOPES FAMILY WINERY PARTNERS, LP, HOOPES VINEYARD, LLC and LINDSAY BLAIR HOOPES
Lindsay Blair Hoopes P.O. Box 3600 Yountville, CA 94599 Email: lindsay@hoopesvineyard.com	Co-Counsel for Defendants HOOPES FAMILY WINERY PARTNERS, LP, HOOPES VINEYARD, LLC and LINDSAY BLAIR HOOPES

I declare under penalty of perjury under the laws of the State of California that the foregoing is true and correct. Executed on March 29, 2023 at San Francisco, California.

Bobette T. Bramer

-5-

# Exhibit 25

#### **ORDINANCE NO. 1340**

AN ORDINANCE OF THE BOARD OF SUPERVISORS OF THE COUNTY OF NAPA, STATE OF CALIFORNIA, AMENDING SECTIONS 18.08.370, 18.08.620, 18.16.030, AND 18.20.030 OF THE COUNTY CODE AS THEY RELATE TO THE MARKETING OF WINE, FOOD AND WINE PAIRINGS CONDUCTED AS PART OF TOURS AND TASTINGS AND THE RETAIL SALE OF WINE RELATED PRODUCTS PERMITTED AT WINERIES IN THE AGRICULTURAL PRESERVE (AP) AND AGRICULTURAL WATERSHED (AW) ZONING DISTRICTS

**Whereas**, in 1990 the County adopted a Winery Definition Ordinance (Ordinance No. 497) with the intent of defining uses that are permitted in association with wineries; and

Whereas, the resulting sections of Napa County Code have ensured that wineries approved since adoption of the Winery Definition Ordinance have remained agricultural processing facilities with limited accessory uses, such as tours and tastings, marketing of wine, office, and retail sales; and

Whereas, such uses would be deemed inappropriate in agricultural areas and therefore not permitted unless they remain accessory to the primary use of a winery; and

Whereas, the Winery Definition Ordinance has been successful at limiting commercial uses in agricultural areas by ensuring that wineries remain focused on the business of producing wines, and by ensuring that tours and tastings and marketing of wine play an accessory role; and

Whereas, the preservation of agricultural land requires a reliable market to justify the investment required to acquire, develop and maintain vineyards capable of producing high quality fruit. In this regard, a reliable market for Napa County wine grapes is dependent on the ability of Napa County wineries to promote, market and sell Napa County wines in an increasingly competitive domestic and international market; and

Whereas, Napa County is in competition with other wine regions around the world. Direct sales and consumer visitation at wineries are increasingly important factors enabling Napa Valley wineries to compete, and the quality of the visitor experience affects the competitive position of

Napa Valley wineries; and

Whereas, the existence of wineries within the Agricultural Preserve and Agricultural Watershed zoning districts is a conditional use granted to wineries because the creation, selling and marketing of wine is a necessary and essential adjunct to the agricultural activity of growing grapes, and thereby ensures the long term viability and sustainability of agriculture in Napa County; and

Whereas, the Board of Supervisors is considering adoption of this Ordinance clarifying the definition of "Marketing of Wine," food and wine pairings permitted as part of tours and tastings, the sale of wine related products, and other sections of Napa County Code first adopted as the Winery Definition Ordinance in 1990.

The Board of Supervisors of the County of Napa, State of California, ordains as follows:

**SECTION 1.** Section 18.08.370 (Marketing of Wine) of Chapter 18.08

(Definitions) of the Napa County Code is amended to read in full as follows:

### 18.08.370 Marketing of wine.

"Marketing of wine" means any activity of a winery which is conducted at the winery on a prearranged basis for the education and development of customers and potential customers with respect to wine which can be sold at the winery on a retail basis pursuant to Chapters 18.16 and 18.20. Marketing of wine may include cultural and social events directly related to the education and development of customers and potential customers provided such events are clearly incidental, related and subordinate to the primary use of the winery. Marketing of wine may include food service, including food and wine pairings, where all such food service is provided without charge except to the extent of cost recovery.

Business events are similar to cultural and social events, in that they will only be considered as "marketing of wine" if they are directly related to the education and development of customers and potential customers of the winery and are part of a marketing plan approved as part of the winery's use permit. Marketing plans in their totality must remain "clearly incidental, related and subordinate to the primary operation of the winery as a production facility" (subsection (G)(5) of Sections 18.16.030 and subsection (I)(5) of 18.20.030). To be considered directly related to the education and development of customers or potential customers of the winery, business events must be conducted at no charge except to the extent of recovery of variable costs, and any business content unrelated to wine must be limited. Careful consideration shall be given to the intent of the event, the proportion of the business event's non-wine-related content, and the intensity of the overall marketing plan.

**SECTION 2.** Section 18.08.620 (Tours and Tastings) of Chapter 18.08

(Definitions) of the Napa County Code is amended to read in full as follows:

### 18.08.620 Tours and tastings.

"Tours and tastings" means tours of the winery and/or tastings of wine, where such tours and tastings are limited to persons who have made unsolicited prior appointments for tours or tastings. Tours and tastings may include food and wine pairings, where all such food service is provided without charge except to the extent of cost recovery and is incidental to the tasting of wine. Food service may not involve menu options and meal service such that the winery functions as a café or restaurant.

**SECTION 3.** Section 18.16.030 (Uses Permitted Upon Grant of a Use Permit) of

Chapter 18.16 (AP Agricultural Preserve District) of the Napa County Code is amended to read in

full as follows:

### 18.16.030 Uses permitted upon grant of a use permit.

The following uses may be permitted in all AP districts, but only upon grant of a use permit pursuant to Section 18.124.010:

- A. Farmworker housing and seasonal farmworker centers conforming to Section 18.104.300 or 18.104.310, unless exempt from a use permit requirement under subsection (M) of Section 18.16.020;
- B. Facilities, other than wineries, for the processing of agricultural products grown or raised on the same parcels or contiguous parcels under the same ownership;
  - C. Kennels and veterinary facilities;
  - D. Feed lots:
  - E. Noncommercial wind energy and conversion systems;
  - F. Wineries, as defined in Section 18.08.640;
  - G. The following uses in connection with a winery:
  - 1. Crushing of grapes outside or within a structure,
  - 2. On-site aboveground disposal of wastewater generated by the winery,
  - 3. Aging, processing and storage of wine in bulk,
- 4. Bottling and storage of bottled wine and shipping and receiving of bulk and bottled wine, provided the wine bottled or received does not exceed the permitted production capacity,
- 5. Any or all of the following uses provided that, in the aggregate, such uses are clearly incidental, related and subordinate to the primary operation of the winery as a production facility:
  - a. Office and laboratory uses,
  - b. Marketing of wine as defined in Section 18.08.370,
- c. Retail sale of (1) wine fermented or refermented and bottled at the winery, irrespective of the county of origin of the grapes from which the wine was made, providing nothing herein shall excuse the application of subsections (B) and (C) of Section 18.104.250 regulating the source of grapes; and (2) wine produced by or for the winery from grapes grown in Napa County;
  - H. The following uses, when accessory to a winery:
  - 1. Tours and tastings, as defined in Section 18.08.620,
  - 2. Display, but not sale, of art,
- 3. Display, but not sale, of items of historical, ecological or viticultural significance to the wine industry,
  - 4. Sale of wine-related products,

- 5. Child day care centers limited to caring for children of employees of the winery;
- I. Telecommunication facilities, other than satellite earth stations, that do not meet one or more of the performance standards specified in Section 18.119.200;
- J. Satellite earth stations that cannot, for demonstrated technical reasons acceptable to the director, be located in an Industrial (I), Industrial Park (IP), or General Industrial (GI) zoning district:
- K. Facilities, other than wineries, for the processing of agricultural products where the products are grown or raised within the county, provided that the facility is located on a parcel of ten or more acres, does not exceed five thousand gross square feet, and is not industrial in character. Only those agricultural products raised or processed on-site may be sold at the facility;
- L. Farm management uses not meeting one or more of the standards contained in subsections (E)(2), (E)(3), and (E)(4) of Section 18.08.040.

### **SECTION 4.** Section 18.20.030 (Uses permitted upon grant of a use permit) of

Chapter 18.20 (AW Agricultural Watershed District) of the Napa County Code is amended to read

in full as follows:

### 18.20.030 Uses permitted upon grant of a use permit.

The following uses may be permitted in all AW districts, but only upon grant of a use permit pursuant to Section 18.124.010:

- A. Parks and rural recreation uses and facilities as defined in Chapter 18.08, conforming to the standards in Chapter 18.104;
- B. Farmworker housing and seasonal farmworker centers conforming to Section 18.104.300 or 18.104.310, unless exempt from a use permit requirement under subsection (R) of Section 18.20.020;
- C. Facilities, other than wineries, for the processing of agricultural products grown or raised on the same parcels or contiguous parcels under the same ownership;
  - D. Kennels, horse boarding and/or training stables, and veterinary facilities;
  - E. Feed lots:
  - F. Sanitary landfill sites;
  - G. Noncommercial wind energy and conversion systems;
  - H. Wineries, as defined in Section 18.08.640;
  - I. The following uses in connection with a winery:
  - 1. Crushing of grapes outside or within a structure,
  - 2. On-site, aboveground disposal of wastewater generated by the winery,
  - 3. Aging, processing and storage of wine in bulk,
- 4. Bottling and storage of bottled wine; shipping and receiving of bulk and bottled wine, provided the wine bottled or received does not exceed the permitted production capacity,
- 5. Any or all of the following uses provided that, in the aggregate, such uses are clearly incidental, related and subordinate to the primary operation of the winery as a production facility:
  - a. Office and laboratory uses,
  - b. Marketing of wine as defined in Section 18.08.370,
- c. Retail sale of (1) wine fermented or refermented and bottled at the winery, irrespective of the county of origin of the grapes from which the wine was made, providing nothing herein shall excuse the application of subsections (B) and (C) of Section 18.104.250 regulating the source of grapes; and (2) wine produced by or for the winery from grapes grown in Napa County;

- J. The following uses, when accessory to a winery:
- 1. Tours and tastings, as defined in Section 18.08.620,
- 2. Display, but not sale, of art,
- 3. Display, but not sale, of items of historical, ecological or viticultural significance to the wine industry,
  - 4. Sale of wine-related products;
  - 5. Child day care centers limited to caring for children of employees of the winery;
- K. Telecommunication facilities, other than satellite earth stations, that do not meet one or more of the performance standards specified in Section 18.119.200;
- L. Satellite earth stations that cannot, for demonstrated technical reasons acceptable to the director, be located in an Industrial (I), Industrial Park (IP), or General Industrial (GI) zoning district:
  - M. Campgrounds on public lands conforming to the standards in Chapter 18.104;
- N. Hunting clubs (large) as defined in Chapter 18.08 and subject to the standards in Chapter 18.104;
- O. Facilities, other than wineries, for the processing of agricultural products where the products are grown or raised within the county, provided that the facility is located on a parcel of ten or more acres, does not exceed five thousand gross square feet, and is not industrial in character. Only those agricultural products raised or processed on-site may be sold at the facility; and
- P. Farm management uses not meeting one or more of the standards contained in subsections (E)(2), (E)(3), and (E)(4) of Section 18.08.040.

SECTION 5. After a preliminary review of the Project, the Planning Department determined that this Ordinance would have no potentially significant environmental impacts and recommends adoption of a Negative Declaration.

SECTION 6. Pursuant Chapter 4, Title 7, commencing with Section 65800, of the California Government Code, this Ordinance is consistent with the following policies and goals of the 2008 General Plan Update: Goal AG/LU-3 (Support the economic viability of agriculture, including grape growing, winemaking, other types of agriculture, and supporting industries to ensure the preservation of agricultural lands); Policy AG/LU-13 (The 1990 Winery Definition Ordinance, recognized certain pre-existing wineries and winery uses as well as new wineries. For wineries approved after the effective date of that ordinance, agricultural processing includes tours and tastings by appointment only, retail sales of wine produced by or for the winery partially or totally from Napa County grapes, retail sale of wine-related items, activities for the education and development of consumers and members of the wine trade with respect to wine produced by or at

the winery, and limited non-commercial food service. The later activity may include winefood pairings. All tours and tastings, retail sales, marketing activities, and noncommercial food service must be accessory to the principal use of the facility as an agricultural processing facility. Nothing in this policy shall alter the definition of "agriculture" set forth in Policy AG/LU-2); Policy AG/LU-2 ("Agriculture" is defined as the raising of crops, trees, and livestock; the production and processing of agricultural products; and related marketing, sales and other accessory uses.

Agriculture also includes farm management businesses and farm worker housing); Goal E-1 (Maintain and enhance the economic viability of agriculture.); and Policy E-1 (The County's economic development will focus on ensuring the continued viability of agriculture in Napa County).

SECTION 7. If any section, subsection, sentence, clause, phrase or word of this Ordinance is for any reason held to be invalid by a court of competent jurisdiction, such decision shall not affect the validity of the remaining portions of this Ordinance. The Board of Supervisors of the County of Napa hereby declares it would have passed and adopted this Ordinance and each and all provisions hereof irrespective of the fact that any one or more of said provisions be declared invalid.

SECTION 8. This Ordinance shall be effective thirty (30) days from and after the date of its passage.

SECTION 9. A summary of this Ordinance shall be published at least once 5 days before adoption and at least once before the expiration of 15 days after its passage in the Napa Valley Register, a newspaper of general circulation published in the County of Napa, together with the names of members voting for and against the same.

The foregoing Ordinance was introduced and public hearing held thereon before the Napa County Conservation, Development and Planning Commission at a regular meeting of the Commission on the 21<sup>st</sup> day of April, 2010, and was passed at a regular meeting of the Board of Supervisors of the County of Napa, State of California, held on the 11<sup>th</sup> day of May, 2010, by the following vote:

AYES:

**SUPERVISORS** 

WAGENKNECHT, CALDWELL, LUCE, DODD

and DILLON

NOES:

SUPERVISORS

**NONE** 

ABSTAIN:

**SUPERVISORS** 

**NONE** 

ABSENT:

**SUPERVISORS** 

**NONE** 

DIANE DILLON, Chair

Napa County Board of Supervisors

ATTEST: GLADYS I. COIL Clerk of the Board of Supervisors

By	7.			
D١	γ:			

### APPROVED AS TO FORM Office of County Counsel

By: Laura J. Anderson (by e-signature)

Deputy County Counsel

By: <u>Susan Ingalls</u> (by e-signature) County Code Services

Date: April 23, 2010

Approved by the Napa County Board of Supervisors

Date: May 11, 2010

Processed by:

Deputy Clerk of the Board

I HEREBY CERTIFY THAT THE ORDINANCE ABOVE WAS POSTED IN THE OFFICE OF THE CLERK OF THE BOARD IN THE ADMINISTRATIVE BUILDING, 1195 THIRD STREET ROOM 310, NAPA, CALIFORNIA ON MAY 11, 2010.

GLADYS I. COIL. CLERK OF THE BOARD

### **RESOLUTION NO. 2010-48**

## A RESOLUTION OF THE NAPA COUNTY BOARD OF SUPERVISORS, STATE OF CALIFORNIA, ESTABLISHING INTERPRETIVE GUIDANCE ON MARKETING ACTIVITIES FOR WINERIES

**WHEREAS**, wineries were established shortly after the planting of vineyards in Napa County and have been an important component of Napa County agriculture since the nineteenth century; and

WHEREAS, wineries have historically engaged in accessory uses in order to market and sell wine directly to consumers in addition to sales through other channels; and

WHEREAS, the County adopted a Winery Definition Ordinance in 1990 with the intent of defining uses that are permitted in association with wineries; and

WHEREAS, the resulting sections of Napa County Code have ensured that wineries approved since adoption of the Winery Definition Ordinance have remained agricultural processing facilities with accessory uses, such as tours and tastings, marketing of wine, office, and retail sales; and

WHEREAS, such uses would be deemed inappropriate in agricultural areas and therefore not permitted unless they remain incidental and subordinate to the primary use of a winery as an agricultural processing facility; and

WHEREAS, since adoption of the Winery Definition Ordinance, the County has relied on the ordinance in granting use permits and use permit modifications, and has attempted to implement provisions of the ordinance consistently and fairly; and

WHEREAS, the County, existing winery operators, and applicants seeking approval to construct new wineries all benefit from a common understanding of the requirements and restrictions added to Napa County Code with adoption of the Winery Definition Ordinance; and

**WHEREAS**, the County is now considering adoption of an ordinance clarifying the definition of "Marketing of Wine" and other sections of Napa County Code first adopted as the Winery Definition Ordinance in 1990; and

**WHEREAS**, the County wishes to complement the proposed ordinance with a resolution of Board policy providing interpretive guidance; and

**WHEREAS**, the interpretive guidance provided herein is intended to improve the quality of winery applications and compliance with winery requirements, and may be amended or supplemented by Board of Supervisors Resolution from time to time,

**NOW, THEREFORE, BE IT RESOLVED** by the Board of Supervisors of the County of Napa as follows:

- 1. The Interpretive Guidance provided in Exhibit "A" reflects the Board's interpretation of winery-related sections of the zoning ordinance; and
- 2. The zoning ordinance shall control in the event of any conflict between the ordinance and this Resolution and/or Exhibit "A."
- 3. This Resolution shall take effect at the same time as the concurrent ordinance clarifying the definition of "Marketing of Wine" and other sections of Napa County Code.

THE FOREGOING RESOLUTION WAS DULY AND REGULARLY ADOPTED by the Board of Supervisors of the County of Napa, State of California, at a regular meeting of the Board held on the 11th day of May, 2010, by the following vote:

AYES:

**SUPERVISORS** 

WAGENKNECHT, CALDWELL and DILLON

NOES:

**SUPERVISORS** 

LUCE and DODD

ABSENT:

**SUPERVISORS** 

**NONE** 

IANE DILLON, Chair

Napa County Board of Supervisors

ATTEST: GLADYS I.COIL Clerk of the Board of Supervisors

Bv:

APPROVED AS TO FORM
Office of County Counsel

APPROVED BY THE BOARD OF SUPERVISORS

By: Laura J. Anderson (by e-signature)

Deputy County Counsel

Date: April 23, 2010

Date: May 11, 2010

Processed by:

## Exhibit A Interpretative Guidance

### I. Events Permitted as part of "Marketing of Wine"

Since the adoption of the Winery Definition Ordinance in 1990, Napa County Code has allowed activities for the education and development of customers and potential customers at wineries under the definition of "marketing of wine." Cultural and social events that are unrelated to education and development are explicitly not permitted, while cultural and social events that <u>are</u> directly related to education and development have always been allowed. Business events are similar to cultural and social events, in that they are only permitted as part of "marketing of wine" if they are directly related to the education and development of customers and potential customers of the winery and are part of an approved marketing plan that in its totality is "clearly incidental, related and subordinate to the primary operation of the winery as a production facility" (Sections 18.16.030(G)(5) and 18.20.030 (I)(5)).

The following are some examples of marketing events, including cultural and social events that the County considers directly related to education and development of consumers. These events fall within the definition of "marketing of wine." In each case, the example describes the intent of the event, the wine-related content, and the non-wine related content.

- 1. A winery invites 250 members of their wine club to the winery for a special harvest musical event. Catered food is served, the previous year's vintage is tasted from the barrel, and a string quartet performs.
- 2. Every year on December 5, a winery throws a Repeal Party for 100 invited distributors, wine shop owners, restaurant owners, and wine writers. No presentations are made, winemaking is not formally discussed, no food is served, but copious amounts of wine are consumed.
- 3. On Arbor Day, a winery owner invites 15 of her closest friends (many, but not all, of whom are regular purchasers of her wine) to a special luncheon event. Guests assemble around a heritage oak, various smoked and wood-grilled foods are served; the event culminates in the opening of the winery's ultra rare Arbor Day Cuvee, a cabernet sauvignon that has been aged for three years in untoasted oak barrels.

Examples of cultural and social events that are <u>not</u> permitted include weddings, wedding rehearsals, anniversary parties, and similar events where the education and development of consumers is subordinate to non-wine-related content.

The following are some examples of business events that the County considers directly related to education and development of consumers, and therefore fall within the

definition of "marketing of wine." In each case, the example describes the intent of the event, the wine-related content, and the non-wine related content.

- 1. A three hour (total) tour of the winery and private tasting event is provided for employees of a national bank. Half of the event is taken up by the regional bank manager delivering a speech addressing business prospects for the coming year.
- 2. The COO of a Rutherford winery leads a tour of the facility's state of the art energy efficiency and wastewater recycling programs and hosts a round table discussion about green house gas reduction efforts in the County which includes County staff, Sacramento lawmakers, and local business leaders. The afternoon ends with a wine and cheese reception featuring the winery's biodynamically certified wines.
- 3. A half-day corporate retreat for a San Rafael-based software firm's 35-member account management group. From 10 to 1 they enjoy a tour of the cellars, a tasting, and a winemaker-hosted blending lab. From 1 to 2 there is a buffet luncheon featuring estate-produced wines; over lunch the group discusses the technical aspects of the firm's new 3D rendering tool.

Examples of business events that are <u>not</u> permitted include non-winery related staff meetings, conferences, shareholder meetings, and similar events where the education and development of consumers is subordinate to non-wine-related content.

The above examples are provided for guidance only. They are not intended to constitute an exhaustive list of all cultural, social, or business marketing events which are either consistent with or inconsistent with the "marketing of wine."

Under no circumstances may winery facilities be rented out to third parties as venues for parties, meetings, or events the way that restaurants or hotels might rent their banquet halls or meeting rooms.

### II. <u>Conversion of Existing Structures</u>:

To discourage property owners from constructing residences and barns with the express intent of converting them to wineries, the County does not generally support use permit proposals seeking to convert existing buildings to winery use if the buildings have been constructed or substantially modified within the last 5-7 years.

### III. The Appropriate Intensity of Marketing Programs:

To ensure that the intensity of winery activities is appropriately scaled, the County considers the remoteness of the location and the amount of wine to be produced at a facility when reviewing use permit proposals, and endeavors to ensure a direct relationship between access constraints and on-site marketing and visitation programs.

### IV. Annual "Spot" Audits:

The Conservation, Development and Planning Department's code enforcement program is generally complaint-driven; however the Department and the Planning Commission will continue their practice of encouraging compliance with winery production volumes by annually auditing a random sample of permitted wineries, using data provided by the wineries to State and federal agencies. As staffing allows, the annual "spot" audit may be expanded to consider compliance with winery visitation and marketing programs using data collected by the wineries in conformance with their conditions of approval.

### V. <u>Temporary Certificates of Occupancy:</u>

The Building Department will continue their practice of allowing new wineries to produce wine after a temporary certificate of occupancy (TCO) has been granted, and to prohibit wineries from opening to the public for tours and tasting or for marketing events until they have a final certificate of occupancy. TCOs are generally not to be used to allow production of wine for more than one year.

Last Amended: May 11, 2010

# Exhibit 26

SUPERIOR COURT OF THE STATE OF CALIFORNIA				
COUNTY OF NAPA				
HONORABLE MARK S. BOESSENECKER, JUDG	GE, PRESIDING, DEPARTMENT 5			
000				
NAPA COUNTY and THE PEOPLE OF THE	CERTIFIED CORV			
STATE OF CALIFORNIA ex. rel.	CERTIFIED COPY			
THOMAS ZELENY, as Interim Napa	)			
County Counsel,	)			
Plaintiffs,	)			
VS.	) No. 22CV001262			
HOOPES FAMILY WINERY PARTNERS, LP,	) VOLUME 4			
HOOPES VINEYARD, LLC, LINDSAY BLAIR	) PAGES 429-615			
HOOPES, and DOES 1 through 10,	)			
inclusive,	)			
Defendants.	)			
	_)			
AND RELATED CROSS-ACTION.	)			
	_)			
REPORTER'S TRANSCRIPT C	F PROCEEDINGS			
Wednesday, January	31, 2024			
COURTHOUSE, NAPA, C	CALIFORNIA			
Reported by: VALERIE PRINCE, CSR	#7946, RPR, CRR, CRC			

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1	SESSIONS	
2	JANUARY 31, 2024	PAGE
3	MORNING SESSION	436
4	AFTERNOON SESSION	525
5		
6		
7		
8		
9		
10	INDEX OF WITNESSES	
11	PLAINTIFF:	PAGE
12	CHARLENE GALLINA	
13	Cross-Examination by Ms. Hoopes	436
14	Redirect Examination by Mr. Spellberg	514
15	EDWARD KREISBERG	
16	Direct Examination by Mr. Hartinger	525
17	Cross-Examination by Ms. Falace	551
18	Redirect Examination by Mr. Hartinger	569
19	CHARLENE GALLINA	
20	Redirect Examination by Mr. Spellberg (Resumed)	570
21	Recross-Examination by Ms. Hoopes	597
22	KELLI CAHILL	
23	Direct Examination by Mr. Spellberg	603
24		
25		
26		
27		
28		

1		INDEX OF EXHIBITS			
2			ID	AD	WD
3	50-1	Page 7937, an e-mail confirming		527	
4		reservation for The Oasis by			
5		Hoopes Vineyard			
6	50-2	Pages 7938-7940, Reservation		529	
7		confirmation			
8	50-3	Pages 9350-9352, Reservation		530	
9		reminder			
10	50-4	Page 7941, In preparation for your		532	
11		visit at The Oasis by Hoopes			
12		Vineyard			
13	50-5	Page 7946, Photograph		534	
14	50-6	Page 7947, Photograph		535	
15	50-7	Page 7948, Photograph		536	
16	50-8	Pages 7949-7952, Photographs		537	
17	50-9	Page 7953, Photograph		541	
18	50-10	Pages 7954-7969, Photographs		543	
19	50-11	Pages 7970-7973, Photographs		546	
20	50-12	Page 7979, Photograph		548	
21	50-13	Page 7981, Photograph		548	
22	50-14	Page 7984, Photograph		549	
23	50-15	Page 7986, Photograph		549	
24	50-16	Page 7988, Photograph		550	
25	1003	County of Napa, Conservation,		500	
26		Development and Planning Commission,			
27		Use Permit Application, Cook's			
28		Flat Associates, October 25, 1973			

1	1011	Napa County General Plan	472
2	1032	Inter-Office Memo to Jeff Redding	465
3		from Laura Stitt Sheedy,	
4		March 21, 1989	
5	1033	Letter from Jeffrey Redding to	466
6		Dough Stelling, June 16, 1989	
7	1043	Minutes of the Meeting of the	447
8		Board of Supervisors, County of	
9		Napa, January 16, 1990	
10	1044	Findings of Overriding	451
11		Consideration, Winery Definition	
12		Ordinance Adoption, January 17, 1990	
13	1045	Minutes of the Meeting of the	448
14		Board of Supervisors, County of	
15		Napa, January 17, 1990	
16	1048	Resolution No. 90-10	453
17	1050	Minutes of the Meeting of the	454
18		Board of Supervisors, County of	
19		Napa, January 23, 1990	
20	1055	Ordinance No. 1082	455
21	1060	Napa County Conservation,	484
22		Development and Planning	
23		Department, Small Winery	
24		Exemption Certificate	
25		Modification, Agenda Item #2	
26	1067	Napa County General Plan, June 2008	474
27	1072	Napa County Board of Supervisors	510
28		Ordinance No. 1340	

1	1137	Napa County Board of Supervisors	507
2		Ordinance No. 1420	
3	1167	E-mail from Art Coon to Joshua S.	440
4		Devore, David Balter, Marissa	
5		Buck, September 25, 2018	
6	1179	Napa County Planning Commission	506
7		Board Agenda Letter, 5/15/2019	
8	1183	Amended Application for Alcoholic	506
9		Beverage License, Hoopes	
10		Vineyard, August 8, 2019	
11	1190	Napa County Board of Supervisors,	485
12		Board Agenda Letter, 10/15/2019	
13	1297	Pages 37-44, Summit Lake	513
14		Vineyards Application for Small	
15		Winery Use Permit Exemption	
16	1337	Winery Database Listing, County	494
17		of Napa, February 2019	
18	1338	Winery Database Listing, County	494
19		of Napa, October 2018	
20	1448	County production from January	445
21		17, 2024, except page 1	
22	1453	CDPC Recommended Version of Draft	509
23		Ordinance Amending Title XII of	
24		Napa County Code	
25	1477	Napa County Local Procedures For 478	480
26		Implementing the California	
27		Environmental Quality Act	
28			

1	1478	Legal Services Agreement between	566
2		Mr. Kreisberg and Mr. Hartinger	
3	1479	E-mail between Mr. Kreisberg and	567
4		Mr. Hartinger	
5			
6			
7			
8			
9			
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```
1
             (Court comes to order, 11:27 a.m.)
 2
             THE COURT: We're back on the record. Both sides are
 3
   present. Ms. Gallina is on the witness stand. Continue
    cross-examining.
 4
 5
             BY MS. HOOPES: And, Ms. Gallina, which document are
        0.
 6
    you looking at at the moment?
 7
             I think I was looking at 1137-1, which is Ordinance
        Α.
 8
    1440.
             Is it 1420?
 9
        Q.
             Oh, 1420, I'm sorry. I should put on my glasses.
10
        Α.
11
    Thank you.
12
        0.
             And does that look like a true and accurate
13
    representation of an ordinance document originating with Napa
14
    County?
15
        Α.
             That is correct.
16
             MS. HOOPES: And, Your Honor, at this time we'd like
17
    to move that into evidence, if there's no objection.
18
             MR. SPELLBERG: No objection.
19
             THE COURT: 1137 is received.
20
             (Exhibit 1137 admitted into evidence.)
21
             BY MS. HOOPES: And do you see that this created an
        Q.
22
    amendment to the definition of agriculture, if you look at
23
    page 2?
24
             Yes, I do.
        Α.
25
             And if you go on to page 3 --
        0.
26
             Yes.
        Α.
27
             -- do you see subsection H2?
        Q.
28
             Yes, I do. You want me to read it?
        Α.
```

- 1 Q. No.
- 2 A. Okay.
- 3 Q. Do you see that it says, "Agriculture shall include
- 4 | the following, but only upon grant of a use permit pursuant to
- 5 | Section 18.124.010, or unless previously issued a small winery
- 6 | certificate of exemption." Do you see that?
- 7 | A. Yes, I do.
- 8 Q. And under subsection 2, do you see that it says,
- 9 | "Marketing, sales, and other accessory uses"?
- 10 A. Yes.
- 11 Q. And if I could have you -- I believe my colleague got
- 12 | you the next binder.
- I don't know if the Court was so equipped, but we're
- 14 | gonna now look at 1453.
- 15 And, Ms. Gallina, do you see this document?
- 16 A. Yes, I do.
- 17 Q. Do you recall that prior to the enactment of the WDO,
- 18 | the Planning Commission submitted a draft version of the
- 19 ordinance to the Board of Supervisors?
- 20 A. It would have been what they were recommending, yes.
- 21 | Q. Of course. And if I could have you look at the
- 22 | bottom right-hand corner, it says, "CDPC recommended."
- 23 A. Yes.
- Q. And that was the prior name of the Planning
- 25 | Department in Napa County; is that correct?
- 26 A. That is correct.
- Q. And it says, "Version January 4, 1990"; is that
- 28 | correct?

1 Α. Yes. 2 So does this look like a true and accurate copy of 0. 3 the recommendation made by the Planning Commission to the Board of Supervisors? 4 5 Α. Yes, at the time. For the time, yes. Today we would 6 create a resolution and sign it and send it to the Board along 7 with the attached ordinance, draft ordinance. 8 Q. But just today. 9 Α. Yes. And do you see under -- on page 3, Section 7 --10 0. 11 Α. Yes. 12 Q. It says that Section 12048 of the Napa County Code is 13 repealed? 14 Α. Yes. 15 MR. SPELLBERG: I'm sorry, what section? 16 THE COURT: 12048. MR. SPELLBERG: Oh, I see, section -- I'm sorry. 17 18 Thank you, Your Honor. 19 MS. HOOPES: And that's Napa Bates ending in 2496. 20 And, Your Honor, at this time we'd like to admit Exhibit 1453 21 into evidence. 22 MR. SPELLBERG: No objection. 23 THE COURT: 1453 is received. 24 (Exhibit 1453 admitted into evidence.) 25 BY MS. HOOPES: And, Ms. Gallina, I believe there's 0. 26 just one last ordinance, and that's gonna be 1072. 27 Yes, I have it. Α. 28 And, Ms. Gallina, do you recognize this document? Q.

A. Yes, I do.

1

2

- Q. And what do you recognize this to be?
- 3 A. This is an ordinance of the Board of Supervisors
- 4 amending Sections 18.08.370, .620, 18 -- regarding -- as they
- 5 | relate to marketing of wine, food and wine pairings conducted
- 6 as part of tours and tastings and the retail sales of
- 7 | wine-related products permitted at wineries in the
- 8 Agricultural Preserve and Agricultural Watershed District.
- 9 Q. And if you go to page 8, at the top that is marked
- 10 Resolution Number 2010-48. Do you recognize that document?
- 11 A. Yes, I do.
- 12 Q. And I believe just earlier you said that today if you
- 13 | were passing an ordinance, you would attach the resolution to
- 14 | that ordinance; is that correct?
- 15 A. Yes, or you would -- this would be a second action
- 16 because this is the guidance on marketing activities for
- 17 | wineries, and it's a resolution. So it's different from the
- 18 ordinance. It's a resolution establishing interpretative
- 19 quidelines on marketing activities.
- 20 MS. HOOPES: And, Your Honor, at this time we'd like
- 21 to admit 1072, please.
- 22 MR. SPELLBERG: No objection.
- 23 THE COURT: 1072 is received.
- 24 (Exhibit 1072 admitted into evidence.)
- 25 Q. BY MS. HOOPES: And at page 10, there is the
- 26 | Interpretive Guidance I think that you indicated in your
- 27 | testimony; is that correct?
- 28 A. That is correct.

- Q. And this was intended to be the guidance to wineries of what types of activities they could do on the property; is that correct?

  A. Yes. And we still use this document today in our
  - Q. So the types of activities that are allowed to occur on a particular property are based on the content of their particular activity.
- 9 A. It's -- yes, how the activity's being conducted, yes.
  - Q. And who participates in that activity.
- 11 A. That is correct.

review of applications.

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- Q. And it says on example 2 that even where winemaking is not discussed but copious amounts of wine are consumed, that's okay.
  - A. Yes, because these are examples of marketing events, including cultural and social events, that the County considers directly related to education and development by consumers, and these events fall within the definition of marketing of wine, and so 1 through 3 are examples of those activities.
- MS. HOOPES: And, Your Honor, the last thing I
  believe there's a stipulation of counsel that Exhibit 1297,
  just Exhibit A.
- 24 THE COURT: Go ahead.
- MS. HOOPES: And then in pages 37 -- and can you project that to the iPad?
- 27 MS. BARTHOLEMY: Yeah. Yeah.
  - Q. BY MS. HOOPES: And I'm gonna project it to the iPad

```
1
    for you --
 2
        Α.
             Okay, thank you.
             -- so you don't have to grab the document.
 3
        Q.
             And, Ms. Gallina, do you see what we've marked as
 4
    Defendants' 1297?
 5
 6
        Α.
             Can you make it larger, please? Can you expand?
 7
             Thank you.
 8
             This is Summit Lake Vineyards Small Winery Use Permit
 9
   Exemption.
             And do you see at the top right-hand corner that
10
        0.
11
    there's a designation that says P-UP-AP Small Winery?
12
        Α.
             Yes.
13
        0.
             And that matches the notation that we saw on Cook's
14
    Flat; is that correct?
15
        Α.
             I believe so, without having to go back and look.
16
        Q.
             That's okay.
17
             MS. HOOPES: Since that is admitted, I don't believe
    that there's anything further.
18
19
             THE COURT: So you're stipulating that -- let's be
20
    clear about there. You're stipulating that 1297 in its
21
    entirety is admitted or just page 37?
22
             MS. HOOPES: Just Exhibit A.
23
             MR. SPELLBERG: Just Exhibit A to the document,
24
    Your Honor.
25
             MS. HOOPES: Yeah, so it's pages 37 through 44,
    Your Honor.
26
27
             THE COURT: So 1297, pages 37 through 44 are
28
    admitted.
```

1 (Exhibit 1297 admitted into evidence.) 2 MS. HOOPES: And we're gonna stop sharing this 3 document. And the last one was originally marked by Plaintiffs, 4 it is Defendants' Exhibit 1452. It was marked -- it's the 5 6 workflow history for CE20-00017. 7 0. And we're gonna put that up -- no, no, 8 Ms. Gallina. We'll put it up for the Court and for you on the screens or however you wanna review it. 10 Α. Okay. This was the document you indicated is maintained 11 0. 12 within the department, and each individual employee tracks 13 their actions and time designated by their name; is that 14 correct? 15 That is correct. Α. 16 Q. And so any input with your name was input by you; is 17 that correct? 18 Α. That is correct. 19 And that's at or near the time of that event? Q. 20 It is on the day of that event. Α. 21 Okay. And so if I could have you look at --Q. 22 Or it represents the day of the event. You could do 23 it the next day, but you would identify what day that event 24 happened. 25 And if I could have you look at page 3, please, 0. there's an annotation here that says July 29th, 2020. That 26 27 was the date of the Zoom call; is that correct? 28 Yes, it was. Α.

1 And you input this information into the workflow. 0. 2 Α. Yes, I did. 3 Q. And you indicated that it was a call about potential tasting violations; is that correct? 4 5 Α. Yes. 6 0. So when you stated earlier that they had been 7 confirmed, that was not accurate; is that correct? 8 Α. Well, that --9 MR. SPELLBERG: Your Honor, I object to the form of the question. We haven't referenced the earlier comment. 10 MS. HOOPES: Nothing further. It's okay. 11 THE COURT: All right. So the question is withdrawn? 12 13 MS. HOOPES: Yes. 14 THE COURT: All right. And when you said nothing 15 further, you're completed with your cross? 16 MS. HOOPES: Yes. 17 THE COURT: Okay. 18 Redirect? 19 MR. SPELLBERG: Thank you, Your Honor. 20 REDIRECT EXAMINATION OF CHARLENE GALLINA 21 BY MR. SPELLBERG: 22 So, Ms. Gallina, good afternoon. Let me start with 23 some of the exhibits that were shown to you just recently while they're fresh in our mind. And I'd like to show you 24 25 what was page 59 of Exhibit 1179. And I'll put that up on the 26 screen so we all see it. 27 Α. It's upside down. 28 Yeah, I know. I'm trying to flip it. All right. Q.

And so this is a chart that was shown to you showing a number of wineries, correct?

- A. Yes. That was for the Matthiasson, it was the Matthiasson use permit, the Planning Commission staff report, and that's the winery comparison analysis.
  - Q. The comparison analysis?
- A. Yes.

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- 8 Q. What was Matthiasson Winery, what were they asking 9 for?
- 10 A. They were a small winery exemption that came in and
  11 asked for a use permit to increase production, asked for tours
  12 and tastings, marketing events, and probably employee
  13 increase, without looking at the staff report.
- Q. So they initially had the same status as Hoopes has now, the small winery exemption?
  - A. That is correct.
  - Q. And then they asked for a use permit?
- A. Yes, that is correct, as well as a viewshed application too.
- Q. So over here, these wineries that are listed, these are just other wineries that are being used as comparison with what Matthiasson is asking for?
  - A. So if I can -- if I can just clarify, because I produced the template that staff is supposed to use, so this is a comparison of the same size gallonage, and they are supposed to look at pre-WDO wineries and list those, look at small winery exemption wineries and also WDO wineries and any wineries that are located in the Napa Valley Business Park

- 1 | that have the similar production size.
- 2 Q. Okay. And --
- 3 A. And we pull that information -- sorry -- from the
- 4 database and then we put it in this table.
- 5 Q. Okay. And some of these wineries that are listed
- 6 here are operating under a use permit, right?
- 7 A. Yes.
- 8 Q. And some are operating under small winery use permit
- 9 exceptions.
- 10 A. Yes.
- 11 Q. And one of the comparison -- comparative wineries is
- 12 down here near the bottom Hopper Creek Winery. Can you tell
- 13 us what that is?
- 14 A. That is correct, but I can't read it from this far.
- 15 O. Oh. Let me see if I can --
- 16 A. If you can read it for me, that would be great. Or
- 17 can I find the exhibit really fast? Sorry, those charts are
- 18 really small.
- 19 Q. Yeah, I'm having trouble getting it just right here.
- 20 | There we go. Trial and error, sometimes you get the right
- 21 | result.
- 22 So there's Hopper Creek that's listed there. Do you
- 23 | see that?
- 24 A. Yes, I do.
- 25 Q. And what is -- what was Hopper Creek?
- 26 A. It was the small winery exemption that they were
- 27 | talking about in this trial.
- 28 Q. And Hopper Creek was the small winery exemption at

# Exhibit 27

## 2023

Adopted April 27, 1991

Revised May 10, 1977

Revised August 18, 1987

Revised June 5, 1990 {Ordinance 854}

Revised August 2, 1999 {Ordinance 1160}

Revised August 31, 2004 {Resolution 04-150}

Revised November 21, 2006 {Resolution 06-198}

Revised August 9, 2011

{Resolution 2011-95}

Revised January 26, 2016 {Resolution 2016-06}

Revised June 7, 2016

{Resolution 2016-72}

Revised October 4, 2016

{Resolution 2016-131}

Revised November 22, 2016

{Resolution 2016-167}

Revised September 26, 2017

{Resolution 2017-156}

Revised April 23, 2019

{Resolution 2019-053}

Revised February 4, 2020

{Resolution 2020-12}

Revised January 1, 2021

{Resolution 2020-133}

Revised April 18, 2023

{Resolution 2023-59}



# A Tradition of Stewardship A Commitment to Service

## NAPA COUNTY ROAD & STREET STANDARDS

Department of Planning, Building & Environmental Services 1195 Third Street \* 2nd Floor \* Napa, California 94559

Phone: (707) 253-4417 \* Fax: (707) 299-4138 \* www.countyofnapa.org

### **Table of Contents**

SECT	TON	PAGE NO.
1.	OBJECTIVES	1
2.	SCOPE OF STANDARDS	2
	Disaster Reconstruction	2
	Exempt	3
3.	EXCEPTIONS TO STANDARDS	3
4.	DEFINITIONS	5
5.	LOCAL RESPONSIBILITY AREA (LRA) EXCEPTION	9
6.	[RESERVED.]	10
7.	[RESERVED.]	10
8.	PRIVATE ROAD DEVELOPMENTS	10
9.	PARKING REQUIREMENTS	10
10.	PEDESTRIAN, BICYCLE AND/OR BUS FACILITIES	11
11.	CURB, GUTTER AND SIDEWALK	11
12.	RESIDENTIAL DRIVEWAYS	12
13.	COMMERCIAL, INDUSTRIAL AND NON-RESIDENTIAL ROADS	12
14.	STREET AND ROAD CLASSIFICATIONS	12
	Major Roads	13
	Minor Roads	13
15.	DESIGN CRITERIA	14
	Roadway Width	14
	Roadway Surface	14
	Roadway Grade	14
	Road Radius	15
	Vertical Curves	15
	Roadway Turnarounds	16
	Roadway Turnouts	16
	Roadway Structures	16
	One-Way Roads	17
	Dead-End Roads	17
	Agricultural Roads	17
	Residential Driveways	17
	Design Criteria Chart	19

16.	INDUSTRIAL AND COMMERCIAL DEVELOPMENT	20
17.	TRAFFIC CONTROL DEVICES	20
	Left Turn Lane Warrant Graph	22
18.	TYPICAL CROSS SECTIONS	
	C-1 Arterial Cross Sections	24
	C-2 Arterial Cross Sections Without Parking	24
	C-3 Collector Cross Sections	25
	C-4 General Minor Cross Sections	27
	C-5 Non-Continuing Minor, Loop Road and Cul-De-Sac	28
	C-6 One Way Loop Cross Sections	28
	C-7 Common Drive Cross Sections	29
	C-8 Industrial Collector Standards	30
	C-9 Industrial Minor	31
	C-11 Standard Driveway Turn Out	34
	C-13 Standard Hammerhead Turnaround	36
	C-14 Residential Driveway Shunt Turnaround	36
19.	DETERMINATION OF TRAFFIC VOLUMES	38
20.	DETERMINATION OF STRUCTURAL SECTION	38
	Traffic Index Chart	39
	Structural Section Thickness Chart	39
21.	GRADING REQUIREMENTS AND SOILS INVESTIGATIONS (FOR ROADS)	41
22.	DRAINAGE REQUIREMENTS	41
	Design Discharge For Small Basins	44
	Watershed Types and Factors	45
	Precipitation Chart – Lower County	48
	Precipitation Chart – Upper County	49
	Mean Annual Precipitation vs. 60 Minute Rainfall	50
	Intensity – Duration Chart	51
	Critical Slopes and Capacities of Round Pipes Table	51
	Nomograph Chart	53
	Unlined Channel Velocity	53
23.	PLANNED UNIT DEVELOPMENT AND OTHER TYPES	55
24.	ASSESSMENT DISTRICTS	55
25.	PARCEL MAP IMPROVEMENTS - RESIDENTIAL DEVELOPMENT	56
26.	PARCEL MAP IMPROVEMENTS - COMMERCIAL AND INDUSTRIAL	
	DEVELOPMENT	57

27.	SPECIFICATIONS	57
	Road and Streets	57
	Utilities	58
	Drainage	59
	Street Signs	59
	Monuments	59
	General	60
	Hydrant/Fire Valve	60
	Signing of Water Sources	61
	Permits	61
STA	NDARD DETAILS	62
	P-1 On Lot Parking Detail	63
	P-2 Driveway Connection to Arterial Roads – Rural Roads	64
	P-3 Residential Driveway and Adjoining Sidewalk	64
	P-4 Commercial and Industrial Driveway and Adjoining Sidewalk	
	P-5 Standard Vertical Curb and Gutter	
	P-6 Mountable Curb	68
	P-7 P.C.C. Cross Gutter	69
	P-8 Standard Asphalt Dike	70
	P-9 Typical Dike Installation	71
	P-10 Trench Backfill Typical Section	72
	P-11 Drainage Outlet	73
	D-1 Storm Drain Inlet Type "A"	74
	D-2 Storm Drain Inlet Type "B"	75
	D-3 Storm Drain Inlet Type "C"	76
	D-4 Standard Barricade	
	D-5 Driveway Setback	78
	D-6 Standard Street Sign	79
	D-6a Standard Street Signs, Type 'A' and Type 'B'	80
	Subdivision Street Monuments Accuracy	
	D-7 Survey Monument	82
	D-8 Off Street Parking	83
	D-9 Handicap Symbol	
	D-10 Wheel Chair Ramp	85
	D-11 Gated Entrance	
	D-12 Address Signage	87

## 1. OBJECTIVES

The following material was originally prepared through the cooperation of the Road Standards Advisory Committee of 1970. Since then, updates have been incorporated to reflect changes in accepted health and safety practices and to comply with changes in County Ordinances and State and Federal Law. These Road and Street Standards ("Standards") attempt to meet the related interests of several other agencies, including but not limited to, the Resource Conservation District, California Board of Forestry and Fire Protection (CBOF), CAL FIRE, Napa County Fire Department, Napa County Planning, Building and Environmental Services (PBES) Department, Napa County Public Works Department, the Federal Emergency Management Agency, and the California Department of Fish and Wildlife. The objectives of these Standards are summarized below:

- (a) To provide reasonable Standards that relates to terrain and parcel size.
- (b) To preserve the natural landscape and desirable aesthetic features while balancing the needs of property owners.
- (c) To encourage the location of roads to minimize disturbance or impacts on wetlands, critical native plant communities, or other environmentally sensitive areas.
- (d) To minimize diversion and concentration of storm runoff, including selection of appropriate discharge locations, outlet dispersion appurtenances and selection of practices that maximize soil infiltration.
- (e) To encourage use of native grasses and other native plant materials for erosion control and habitat enhancement.
- (f) To minimize alteration of streams and ephemeral drainage at discharge outfalls, utilizing "bio-technical" stream stabilization techniques and preservation of natural stream morphological conditions.
- (g) To identify "impacted" runoff basins where special design considerations may be necessary to minimize downstream flooding and other impacts to neighboring properties.
  - (h) To provide adequate safety and service.
  - (i) To provide low maintenance cost road facilities.
  - (j) To produce Standards compatible with city requirements within areas of influence.
  - (k) To produce Standards which equal or exceed the State Minimum Fire Safe Regulations.

The Standards were developed and revised over the years in an effort to meet all of the objectives noted above while striving to maintain the preservation of the health, safety, and welfare of the public. The 2023 revisions are intended to provide clarification and flexibility in order to ensure conformance with local, State and Federal regulations while also incorporating appropriate general engineering and construction practices and accommodation of unique project elements.

Users of the Standards are encouraged to become familiar with all of the codes, rules, regulations, and guidance documents available. These include, for example, the State Minimum

Fire Safe Regulations<sup>1</sup>; the Conservation Regulations; Floodplain Ordinance; Grading Ordinance; Policies, Practices and County Code Sections Administered by the Environmental Health Division of the PBES Department; County Fire Code; Policies and Procedures of the California Department of Fish and Wildlife (DFW); the State Water Resources Control Board's Construction General Permit; the BASMAA Post-Construction Manual; and the Napa Countywide Stormwater Pollution Prevention Program Erosion and Sediment Control Plan Guidance manual. Roadway design guidance can be found in "A Policy on Geometric Design of Highways and Streets" generated by the American Association of State Highway and Transportation Officials ("AASHTO"), and the Caltrans "Highway Design Manual" and "Standard Specifications." Where these Standards refer to the Caltrans Specifications or the Caltrans Standard Specifications, the reference shall mean the current edition of the Caltrans Standard Specifications.

## 2. SCOPE OF STANDARDS

These Standards are not applicable retroactively to existing roads, streets and driveways or facilities. These Standards shall apply to all construction within the unincorporated portions of Napa County beginning on the date they are adopted by the Board of Supervisors. Activities which will trigger application include, but are not limited to:

- (a) Application for a building permit for new construction (as defined in Section 4), not relating to an existing structure.
  - (b) Reserved.
- (c) Application for a Use Permit or any modification thereto resulting in an increase in average daily trips (ADT) and/or proposing an affected activity described in subsections (a), (d), and (e).
- (d) A change of use and/or occupancy classification of an existing structure resulting in a higher hazard, based on life and fire risk as defined in the California Fire Code.
- (e) Road construction, including construction of a new road that does not currently exist, or the extension of an existing road, construction or extension of an existing road that was not legally established, or the construction of a new parking lot.
  - (f) New subdivisions created by Parcel Map or Final Map.
  - (g) Conditional certificates of compliance.
- (h) Left turn lane warrant and/or other public road improvement required by the Director of Public Works.
- (i) Application for an Administrative Permit proposing an affected activity described in subsection (a), (d), and (e) above.

#### **DISASTER RECONSTRUCTION**

In the event a legally constructed residential, commercial or industrial structure(s) is destroyed by a Disaster, the reconstruction or repair of that legally constructed structure(s) may

<sup>&</sup>lt;sup>1</sup> The State Minimum Fire Safe Regulations are set forth at Title 14, the Natural Resources Division of the California Code of Regulations, Division 1.5, Chapter 7 Fire Protection, Subchapter 2, Articles 1-5.

be considered new construction related to an existing structure and not subject to these Standards provided all of the following conditions are met:

- (a) The replacement structure does not increase the total legal square footage of the residential, commercial, or industrial building or buildings that previously existed;
- (b) The replacement structure does not change the use of the building that had previously existed before the disaster; and
- (c) The Fire Marshal determines that:
  - The access was not a contributing factor in delaying or prohibiting emergency responders from accessing the original structure or for safe evacuation during the disaster; and
  - ii. The access provides reasonable ingress, egress, and capacity for evacuation and emergency response during future emergencies.

If all of the conditions above cannot be met, then reconstruction of the structure shall be considered new construction not relating to an existing structure and shall be subject to these Standards accordingly.

#### **EXEMPT**

These regulations do not apply where an application for a Building permit is filed after January 1, 1991, for Building construction on a parcel that was formed from a parcel map or tentative map (if the final map for the tentative map is approve within the time prescribed by Napa County Code) approved prior to January 1, 1991, to the extent that conditions relating to the perimeters and access to the Building were imposed by the parcel map or final tentative map approved prior to January 1, 1991.

# 3. EXCEPTIONS TO STANDARDS

- (a) A property owner or leaseholder of a site seeking an exception to an applicable provision of the Standards shall make a written request to the Director of PBES for review and concurrence by the County Engineer and Fire Marshal. The request shall state the specific section(s) for which an exception is requested, material facts supporting the contention of the developer, the details of the exception or mitigating measures proposed, a map showing the proposed location and siting of the exception or mitigation measures, and shall be accompanied by that fee established by resolution of the Board of Supervisors.
- (b) An application for an exception from these Standards submitted in connection with a building permit clearance for a single family residence shall be decided by the Zoning Administrator after the appropriate environmental review has been completed by the PBES Department. An application for an exception from these Standards submitted in connection with a use permit, variance, subdivision map or other discretionary permit shall be heard and decided by the Planning Commission or other approving body at the same time as the use permit, zoning variance, subdivision map or other discretionary permit.

- (c) An exception to these Standards, when properly submitted, reviewed, and approved by the Zoning Administrator, Planning Commission or other approving body, is intended to serve as an alternate method by which adherence to these Standards may be achieved at the same time as the County assures compliance with its goal to protect and ensure the preservation of the unique features of the natural environment. It is also intended to ensure compliance with the State Responsibility Area (SRA) Fire Safe Regulations and procedures set forth therein.
- (d) An exception to these Standards may be allowed as provided if one or more of the following findings can be made and the findings in subsection (e) can also be made:
  - i. The exception will preserve unique features of the natural environment which includes, but is not limited to, natural water courses, steep slopes, geological features, heritage oak trees, or other trees of least six inches in diameter at breast height and found by the decision-maker to be of significant importance, but does not include human altered environmental features such as vineyards and ornamental or decorative landscaping, or artificial features such as, rock walls, fences or the like;
  - The exception is necessary to accommodate physical site limitations such as grade differentials; and/or
  - iii. The exception is necessary to accommodate other limiting factors such as recorded historical sites or legal constraints.

Exceptions are only allowed "where the exceptions provide the same overall practical effect as 'the SRA Fire Safe Regulations' towards providing defensible space." Exceptions shall be made on a case-by-case basis only. Exceptions granted by the County shall be forwarded to the Sonoma-Lake-Napa Unit of CAL FIRE.<sup>2</sup>

- (e) The Zoning Administrator, Planning Commission, or other approving body shall not grant an exception unless it finds that grant of the exception, as conditioned by the Zoning Administrator, the Planning Commission, or other approving body provides the same overall practical effect as these Standards towards providing defensible space, and consideration towards life, safety, and public welfare. Monetary hardship alone shall not be considered as a basis for an exception.
- (f) The Fire Department shall recommend to the Zoning Administrator, the Planning Commission or other approving body that certain conditions (as determined necessary by the Fire Department) be imposed on the project to achieve the same overall practical effect as these Standards towards providing defensible space, consideration of life, safety and public welfare and not compromising civilian egress or Fire Department access. Such conditions may include, but are not limited to, installation of built-in fire protection systems, limited marketing events or visitors to the site, and improved defensible space for structures and roads.

<sup>&</sup>lt;sup>2</sup> 14 CCR 1270.07 and 1270.09.

- (g) Notwithstanding the above, a request for an exception to these Standards for a public road or public drainage facility (i.e., catch basins, storm drain lines, bio-retention areas, etc.) shall be decided by the Director of Public Works and determined on a case-by-case basis.
- (h) The grant or denial of an exception shall be considered part of the decision of the underlying permit and appeals shall be processed in the same manner as provided by the Napa County Code for appeals of the underlying permit.

# 4. **DEFINITIONS**

'AB' Aggregate Base – a gravel mixture meeting material and compaction

requirements as defined in Section 26 of the Caltrans Standard Specs.

'Access' The vehicular route from the nearest publicly maintained Road to

Building construction.

'Average Daily Traffic' (ADT) The average 24-hour traffic volume, both in-bound and out-

bound, at a given location during peak season (e.g. harvest season

August 15 – October 31).

'Bay' A clearly delineated space in a designated parking area

'Building' Any structure used or intended for supporting or sheltering any use

or occupancy except utility and miscellaneous Group U structures.

'CAL FIRE' California Department of Forestry and Fire Protection -Sonoma-

Lake-Napa Unit of CAL FIRE.

'Caltrans' The State of California, Department of Transportation.

'Caltrans Standard Specs' State of California, Department of Transportation, Standard

Specifications in latest edition.

'County Engineer' The PBES Engineering Manager or designee.

'Dead-end road' A road that has only one point of vehicular ingress/egress, including

cul-de-sacs and Roads that loop back on themselves.

'Defensible Space' The area within the perimeter of a parcel, development,

neighborhood or community where basic wildland fire protection practices and measures are implemented, providing the key point of defense from an approaching wildfire or defense against encroaching wildfires or escaping structure fires. The perimeter as used in this regulation is the area encompassing the parcel or parcels proposed for construction and/or development, excluding the physical structure itself. The area is characterized by the establishment and maintenance of emergency vehicle access, emergency water reserves, street names and building identification, and fuel modification measures.

'Developer'

The owner of land on which activities are proposed which are subject to the application of these Standards, as listed in Section 2 (Scope of Standards) above, or designated representative of the landowner.

Disaster

A Local Emergency Declaration by the Board of Supervisors declaring a specific event as a distaster.

'Distance Measurements'

All specified or referenced distances are measured along the ground, unless otherwise measured.

'Drivable Shoulder'

See shoulder.

'Drivable Swale'

A shallow sloped drainage way that runs parallel to the travel lane of a driveway and is surfaced with non-erodible material designed to support apparatus weighing 75,000 pounds at all times even during periods of saturation. For guidance refer to Section 1411.7 of Chapter 7, Division 2, Title 21 of the California Code of Regulations for axle weight distribution.

'Driveway'

A vehicular pathway that serves no more than four (4) Residential Units and any number of non-commercial or non-industrial Utility or Miscellaneous Group U Buildings on each parcel. A Driveway shall not serve commercial or industrial uses at any size or scale.

'Dwelling Unit'

See residential unit.

'Engineer'

The agent of the developer with the responsibility for the preparation of construction plans for the activities which are subject to the application of these Standards, as listed in Section 2 (Scope of Standards) above.

'Exception'

An alternative to the specified standard requested by the developer that may be necessary due to health, safety, environmental conditions, physical site limitations or other limiting conditions such as recorded historical sites that mitigates the problem. 'Fire Apparatus' A vehicle designed to be used under emergency conditions to

transport personnel and equipment or to support emergency response, including but not limited to the suppression of fires.

'Fire Marshal' The Napa County Fire Department Fire Marshal or designee.

'Fuel Modification Area' An area where the volume of combustible vegetation has been

reduced, providing reduced fire intensity and duration.

'Greenbelts' A facility or land-use, designed for a use other that fire protection,

which will slow or resist the spread of a wildfire. Includes parking lots, irrigated or landscaped areas, golf courses, parks, playgrounds, maintained vineyards, orchards or annual crops that do not cure in the field. Subdivision and other developments, which propose greenbelts as a part of the development plan, shall locate said greenbelts strategically, as a separation between wildland fuels and structures. The locations shall be approved by the local authority having jurisdiction and may be consistent with the CAL FIRE Unit

Fire Management Plan or Contract County Fire Plan.

'Hammerhead/T' A "T" shaped, three-point Turnaround space for Fire Apparatus on a

Road or Driveway, being no narrower than the Road or Driveway

that it serves.

'HMA' Hot Mix Asphalt (HMA) meeting material and compaction

requirements as defined in Section 39 of the Caltrans Standard Specs.

'Inspection Authority' The CBOF has certified the several Napa County Ordinances that

expressly incorporate these Standards into the Napa County Code (14 CCR Sections 1270.1 and 1270.3). In accordance with 14 CCR Section 1270.05, Napa County has been delegated Inspection Authority for ensuring compliance with the SRA Fire Safe

Regulations.<sup>3</sup> For the purposes of Napa County's implementation of

this authority and compliance with the Standards, "Inspection

Authority" and/or "Local Jurisdiction" shall be vested with the Napa

County Fire Chief who with their authority has delegated the

Inspection Authority to the Napa County Fire Marshal.

<sup>&</sup>lt;sup>3</sup> A copy of the aforementioned letter from CAL FIRE delegating Inspection Authority in accordance with 14 CCR 1270.05 is attached to these Standards as Appendix "A".

'Inter-Visible Turnout' Turnouts where the driver of a vehicle within a turnout can visibly identify a vehicle in the other turnout and vice versa.

'New Construction' Construction of a new structure not relating to an existing structure.

New structures relating to an existing structure include but are not limited to: accessory utility and miscellaneous Group U buildings,

and guest cottages

'Paved' A road surface meeting either the minimum structural section of 2

inches HMA over 5 inches Class 2 AB or as designed and approved by the County Engineer with both meeting Caltrans Standard Specs

for material type and compaction.

'PBES' Planning, Building and Environmental Services Department.

'Occupancy' The Purpose for which a Building, or part thereof, is used or

intended to be used.

'One-way Road' A Road that provides a minimum of one Traffic Lane width designed

for traffic flow in one direction only.

'Residential Unit' Any Building or portion thereof which contains living facilities,

including provisions for sleeping, eating, cooking, and/or sanitation for one or more persons. Manufactured homes, mobile homes, and

factory-built housing are considered residential units.

'Road' A public or private vehicular pathway to more than four (4)

Residential Units, or to any industrial or commercial Occupancy.

'Roadway' Any surface designed, improved or ordinarily used for vehicle travel

that is either publicly owned and maintained, or privately owned

and maintained, but dedicated for public use.

'Same Practical Effect' Means an exception or alternative with the capability of applying

accepted wildland fire suppression strategies and tactics, and provisions for fire fighter safety, including, but not limited to:

(a) Access for emergency wildland fire equipment,

(b) Safe civilian evacuation,

(c) Signing that avoids delays in emergency equipment response,

(d) Available and accessible water to effectively attack wildfire or

defend a structure from wildfire, and

(e) Fuel modification sufficient for civilian and fire fighter safety.

'Shoulder' Vehicular access adjacent to the traffic lane.

'Structure' That which is built or constructed or any piece of work artificially

built up or composed of parts joined together in some definite

manner.

'Traffic Lane' The surfaced portion of a Road or Driveway that provides a single

line of vehicle travel.

'Travel Way' The combination of Traffic Lane and drivable Shoulder that shall

constitute the full width area a vehicle can safely traverse.

'Turnaround' An area which allows for a safe opposite change of direction for Fire

Apparatus at the end of a Road or Driveway.

'Turnout' A widening in a Road or Driveway to allow vehicles to pass.

'Utility and Miscellaneous

Group U Buildings' A Structure of an accessory character or a miscellaneous Structure

not classified in any specific Occupancy permitted, constructed, equipped, and maintained to conform to the requirements of Title 24,

California Building Standards Code.

'Wildfire' Has the same meaning as "Forest Fire" in Public Resources Code

Section 4103 as may be amended.

'Zoning Administrator' The Napa County Director of Planning, Building and Environmental

Services has been appointed by the Napa County Board of

Supervisors to serve as the Napa County Zoning Administrator in accordance with the Napa County Code and Government Code

Sections 65900, et seq.

## 5. LOCAL RESPONSIBILITY AREA (LRA) EXCEPTION

Improvements to an existing driveway are not required for the construction of new second dwelling units located in the LRA and not designated within a Very High Fire Hazard Severity Zone (VHFHSZ) as determined by the Office of the State Fire Marshal. For new second dwellings that require new access driveways, the new access driveways shall be constructed to the residential driveway standard from the point of access to the new second dwelling unit.

Furthermore, in addition to the exceptions provided for in Section 3(d), of these Standards, owners and leaseholders of property that is located completely within the LRA and not designated as being in a VHFHSZ, may apply for an exception to these Standards. The exception request must provide measures which provide safe access for emergency apparatus, safe civilian

evacuation, and the avoidance of delays in emergency response based on the demands of the property as determined by the County Engineer and Fire Marshal on a case-by-case basis.

Unlike exceptions within the SRA or for property located within the VHFHSZ, exceptions for property located completely within the LRA *may* be permitted when they do not provide the same overall practical effect as the SRA Fire Safe Regulations. The overall safety of the residents, visitors, and first responders to fires and other incidents within Napa County, however, will remain a factor in determining whether or not an exception shall be granted for property solely within the LRA that is not in a VHFHSZ. Section 3 of these Standards shall apply to properties designated as being in a VHFHSZ.

The application for an exception will be made in the manner addressed in Section 3 of these Standards. Any exceptions granted under this provision must comply with all applicable Federal, State, and Local laws and regulations. The provisions of Section 5 exclude any public road improvement required by these Standards or by the Director of Public Works.

#### 6. [RESERVED.]

## 7. [RESERVED.]

#### 8. PRIVATE ROAD DEVELOPMENTS

Private road developments may be allowed upon specific approval of the County and are subject to the same improvement requirements as public road requirements. However, the roads will not be maintained by the County. In order to secure access rights for the public, developers are generally required to offer to dedicate roadways, but the County will not accept maintenance responsibility for the roads that are to remain private.

#### 9. PARKING REQUIREMENTS

- (a) Off-street parking space requirements for new or modified structures and new uses shall be as required by Napa County Code Chapter 18.110 and 18.104 or as required by the County Engineer or approving body based on the required parking demand associated with the proposed use, see Detail P-1 and D-8 for design standards. Parking maximums may be set and enforced by the County Engineer or approving body to prevent over-supply of parking that could stimulate unnecessary vehicle trips or commercial activity exceeding the site's capacity.
- (b) Full street parking consisting of bays, parallel parking lanes, or an acceptable alternate as long as the distance from the parking bay to the lot served does not exceed 150 feet. Set back requirements shall be shown on a document to be recorded concurrently with the final subdivision map, parcel map, and/or development project. All streets without on-street parking provisions shall be posted with "No Parking" signs or other suitable regulatory devices.

- (c) An equivalent combination on lot parking and street parking may be approved by the County Engineer or approving body on a case-by-case basis.
- (d) A parking demand survey may be required for any project proposing a substantial reduction in existing parking spaces as determined by the County Engineer.
- (e) Housing and employment development projects shall include electric vehicle charging stations.

#### 10. PEDESTRIAN, BICYCLE AND/OR BUS FACILITIES

- (a) Fully improved Portland<sup>4</sup> cement concrete sidewalks will be provided on both sides of all roads as required by County Engineer in accordance with the typical cross sections.
- (b) An improved walkway will be provided on both sides of urban arterial and collector roads as required by County Engineer.
- (c) Where development is located on an existing bus route, the Napa Valley Transportation Authority shall be consulted for recommended improvements based on the Transit Improvement Standards Handbook.
- (d) Bicycle parking facilities shall be provided for all nonresidential uses as specified in Napa County Code chapter 18.110.040

Parking areas containing twenty or more spaces shall establish pedestrian crosswalks across the parking lot which shall connect building entries to sidewalks, pedestrian paths, or outdoor use areas. Crosswalks shall incorporate appropriate special paving or treatment and landscaping to separate and define the pedestrian area from vehicular areas.

Additional pedestrian and/or bicycle facilities may be required if there is a potential for concentrated pedestrian and/or bicycle traffic in the opinion of the County Engineer. The Countywide Bicycle Plan and Countywide Pedestrian Plan shall be consulted for bicycle and pedestrian treatments.

#### 11. CURB, GUTTER AND SIDEWALK

If all driveway locations within a subdivision are predetermined and constructed at the time of overall subdivision development, vertical curb and gutters with sidewalk improvements will be required.

<sup>&</sup>lt;sup>4</sup> At the discretion of the County Engineer, types of cement that provide the same overall practical effect as Portland cement concrete may be utilized.

If driveway locations are not provided at the time of subdivision road development, the mountable curb per Standard Detail P-6 will be used and any required sidewalks will be located with one side contiguous with the right of way line. Mountable curb will not be used on steep grades where it would be a hazard to the public, as determined by the County Engineer.

Entries to driveways along arterial collectors and minor streets shall be separated by a minimum distance of one hundred twenty-five feet or as required by the director of Public Works.

## 12. RESIDENTIAL DRIVEWAYS

As part of the construction triggering application of these Standards, the property owner shall meet the Road and/or Driveway provisions (as defined in these Standards) applicable to the proposed improvement and site-specific conditions, from the nearest publicly maintained road access to the new or improved structure. Refer to Section 15 for specific design criteria. Group "R" shall apply as defined in Section 310 of the California Building Code, and as defined in Section 1.1.3.1.1 of the California Residential Code.

#### 13. COMMERCIAL, INDUSTRIAL AND NON-RESIDENTIAL ROADS

As part of a new commercial, industrial, and non-residential (excluding Group U as defined by the California Building Code) use or improvements to an existing commercial, industrial or non-residential building requiring a building permit, the developer shall provide a minimum 20 foot wide Road with a minimum of one foot of shoulder on each side of the roadway from the nearest publicly maintained road to the improved structure. See Detail C-7, Common Drive, for cross-section information. See Details D-5 and P-4 for urban driveways and Detail P-2 for rural driveways. As an alternative to meeting the Road requirement the developer may provide a one-way loop road in accordance with these Standards and as approved by the County Engineer and Fire Marshal.

# 14. STREET AND ROAD CLASSIFICATIONS

The following list of street and road types is intended to be representative of typical subdivision development and does not include all roads and streets that will be encountered. Geometric requirements relative to highways, expressways, major roads, access roads, roads with access on one side only, and others are not specifically included in these Standards; requirements for such facilities will be determined on a case-by-case basis. See the appropriate subsequent sections for requirements for roads serving commercial and industrial areas. All roads are required to be paved with the exception of agricultural roads and residential driveways which shall be surfaced per Detail C-10. Upon request and approval by the County Engineer and Fire Marshal on a case-by-case basis, a common drive may meet the surfacing requirements as outlined in Detail C-10. Pavement structural sections shall be determined by the designed traffic index. The minimum structural section shall be two inches of HMA over five inches of Class 2 AB in accordance with Section 27 of these Standards.

# MAJOR ROADS

(a)	Street or Road Arterial	Definition Connects collectors to highways, and other major arterials; functions primarily to carry traffic, estimated traffic volume 5,000 vehicles per day or more. May be two or more lanes, with or without median strips, and may have controlled access.
(b)	Collector	Generally collects traffic from lesser roads and also serves as access to adjacent land. Estimated traffic volume 1,000 to 5,000 vehicles per day.
		MINOR ROADS
(c)	General Minor	Serves primarily as access to adjacent land, carries up to 1,000 vehicles per day. Serves as access to more than six (6) parcels or developments that have a legal and practical potential for re-division into more than six (6) parcels.
(d)	Loop Road and Non-Continuing Minor	Serves abutting property; carries up to 250 vehicles per day.
(e)	Cul-de-Sac	Serves as an access road to abutting property; traffic volume up to 250 vehicles per day. (Cul-de-sac situations with lengths greater than 1,000 feet shall be provided with turnaround areas at 1,000 foot intervals and emergency access unless it is not considered feasible by the County Engineer.)
(f)	One Way Loop Roads	Serves as alternative access to residential, commercial, industrial, and non-residential uses. A minimum of one traffic lane width designated for traffic flow in one direction maximum length one-half mile; traffic volume up to 100 vehicles per day.
(g)	Common Drive	See definition of Road.
(h)	Residential Driveway	See definition of Driveway
(i)	Agricultural Road	Serves agricultural related single use facilities which cumulatively generate less than or equal to 40 ADT along its access. Turnouts must be inter-visible. This access is not applicable to winery uses.

(j) Split level means a roadway where each direction of travel

has a different vertical alignment. Split level construction is permissible in all of the above defined categories if the

design is satisfactory to the County Engineer.

(k) Special Purpose Way This applies to access to utility and miscellaneous Group U

buildings, secondary access roads, emergency roads, bicycle paths, equestrian trails and other similar facilities when required by either the Fire Marshal, County Engineer or County Code. The design will depend on each particular situation and be approved by the County Engineer and Fire

Marshal. Acceptable provisions for maintenance must be

established and dedication may be required.

# 15. DESIGN CRITERIA

Tabulated herein are the design criteria applicable to each of the street and road classifications in Section 14, (a) through (i) in terms of minimum design speed, minimum horizontal radius, minimum stopping sight distance, and maximum slopes. The radii shown are based on a negative cross slope of two percent which is typical for a newly-constructed street or road. If the street or road is super-elevated, the radius can be reduced accordingly. All Streets, Roads, and Driveways shall have a minimum longitudinal slope of 0.5 percent.

**ROADWAY WIDTH**: All streets, drives, and roads shall be constructed to provide a minimum of two ten (10) foot traffic lanes, of homogeneous surface, and a minimum of one (1) foot of shoulder on each side of the roadway providing two-way traffic flow to support emergency vehicle and civilian egress, unless other standards are provided herein, or additional requirements are mandated by the inspection authority or local subdivision requirements.

**ROADWAY SURFACE**: The surface shall provide unobstructed vehicular access. Roadway surfaces shall be designed and maintained to support the imposed load of fire apparatus weighing at least 75,000 pounds. For guidance, refer to Section 1411.7 of Chapter 7, Division 2, Title 21 of the California Code of Regulations for axle weight distribution. No traffic calming devices shall be installed on any private roadway surface unless approved by Fire Marshal.

**ROADWAY GRADE**: The grade for all roads, streets, private lanes and driveways shall not exceed sixteen (16) percent. The roadway grade may exceed sixteen (16) percent, not to exceed twenty (20) percent, provided the following provisions are met:

(a) The length of road, street, private lane or driveway that exceeds a roadway grade of sixteen (16) percent but has a roadway grade equal to or less than eighteen (18) percent shall be surfaced with a minimum of two (2) inches of HMA over five (5)5 inches of Class 2 AB.

- (b) The length of road, street, private lane or driveway that exceeds a roadway grade of eighteen (18) percent but has a roadway grade equal to or less than twenty (20) percent shall be surfaced with a minimum of three (3) inches of HMA over five (5) inches of Class 2 AB or approved equal designed by a licensed engineer, shall not have a length greater than three hundred (300) feet, and shall have a roadway grade not exceeding ten (10) percent for one hundred (100) feet immediately preceding and ensuing the section of road with the roadway grade of eighteen (18) to twenty (20) percent.
- (c) The Inspection Authority retains the discretion to deny applications that meet the above Standards if there are other concerns that lead to the determination that these mitigations do not have the same overall practical effect of a sixteen (16) percent grade. There is no exception to a roadway grade greater than twenty (20) percent.
- (d) Provided subsections (a) and (b) above are met to the satisfaction of the Inspection Authority, and that the Inspection Authority has not denied the application per subsection (c), the proposed design shall be construed as meeting the same overall practical effect as meeting this standard and shall be considered an approved road exception.

ROAD RADIUS: No roadway or roadway structure shall have a horizontal inside radius of curvature of less than fifty (50) feet and additional surface width of four (4) feet shall be added to curves of fifty (50) to one hundred (100) feet radius; two (2) feet to those from one hundred (100) to two hundred (200) feet. A road horizontal inside radius of curvature less than fifty (50) feet may be approved for Roads and Driveways (excluding Roads serving commercial, industrial, or non-residential uses) provided the following:

- (a) The horizontal curve is designed and modeled by a licensed professional engineer demonstrating that a fire apparatus (fire apparatus to be determined by the Fire Marshal) can negotiate the proposed horizontal inside radius, and
- (b) Clearance of three (3) feet shall be provided on the far front bumper radius and provide two (2) feet of additional clearance for the inside rear wheel radius.
- (c) The Inspection Authority retains the discretion to deny applications that meet the above Standards if there are other concerns that lead to the determination that these mitigations do not have the same overall practical effect as intended.
- (d) Provided subsections (a) and (b) above are met to the satisfaction of the Inspection Authority, and that the Inspection Authority has not denied the application per subsection (c), the proposed design shall be construed as meeting the same overall practical effect as meeting this standard and shall be considered an approved road exception.

**VERTICAL CURVES**: The length of vertical curves in roadways, exclusive of gutters, ditches, and drainage structures designed to hold or divert water shall not be less than one hundred (100) feet. A vertical curve less than one hundred (100) feet in length may be approved provided the following:

(a) The vertical curve is designed by a licensed professional engineer demonstrating that a fully loaded fire apparatus (fire apparatus to be determined by the Fire Marshal) can negotiate the sag and crown with a minimum clearance of four (4) inches.

- (b) The Inspection Authority retains the discretion to deny applications that meet the above Standards if there are other concerns that lead to the determination that these mitigations do not have the same overall practical effect as intended.
- (c) Provided subsection (a) above is met to the satisfaction of the Inspection Authority, and that the Inspection Authority has not denied the application per subsection (b), the proposed design shall be construed as meeting the same overall practical effect as meeting this standard and shall be considered an approved road exception.

ROADWAY TURNAROUNDS: Turnarounds are required on driveways over three hundred (300) feet in length, on dead-end roads, shall be within fifty (50) feet of the building, and shall be unobstructed at all times. Turnarounds shall have a maximum longitudinal slope no greater than ten (10) percent and the cross-slope perpendicular to the longitudinal slope shall not exceed five (5) percent. Longitudinal slope is defined as the slope corresponding to the long axis of a fire apparatus as it travels into, out of, and through a turnaround. The slope shall be maintained beginning and ending at the point of tangency of the edge of the curves for the turnaround. The minimum turning radius for a turnaround shall be forty (40) feet (Detail C-12). If a hammerhead is used, the top of the hammerhead shall be a minimum of sixty (60) feet in length (Detail C-13). An alternative to the hammerhead turnaround is the shunt turnaround (Detail C-14). A turnaround other than those listed above can be designed and proposed for review to the County Engineer and Fire Marshal for possible acceptance of use.

**ROADWAY TURNOUTS**: Turnouts shall be a minimum of twenty-two (22) feet wide and thirty (30) feet long with a minimum twenty five (25) foot taper on each end. Turnouts shall be spaced a maximum of four hundred (400) feet apart. Where multiple turnouts are required, they shall be inter-visible to satisfy spacing requirements unless allowed by the County Engineer or approving body. See Detail C-11.

#### **ROADWAY STRUCTURES:**

- (a) All driveway, road, and private lane roadway structures shall be designed and maintained to support at least 75,000 pounds and provide the minimum vertical clearance of 13 feet, 6 inches. For guidance, refer to Section 1411.7 of Chapter 7, Division 2, Title 21 of the California Code of Regulations for axle weight distribution;
- (b) Appropriate signing including, but not limited to, weight or vertical clearance limitations, one-way road or single traffic lane conditions, shall reflect the capability of each bridge;
- (c) Where a bridge or an elevated surface is part of a fire apparatus access road, the bridge shall be constructed and maintained in accordance with the current edition of the American Association of State and Highway Transportation Officials (AASHTO) Bridge Design Specifications. Existing, older bridges may be maintained and rehabilitated in accordance with the AASHTO Standard Specifications for Highway Bridges, 17th Edition, published 2002 (known as AASHTO HB-17) hereby incorporated by reference. Bridges and elevated surfaces shall be designed for a live load sufficient to carry the imposed loads of fire apparatus. Vehicle load limits shall be posted at both entrances to bridges when required by Napa County.

- (d) Where elevated surfaces designed for emergency vehicle use are adjacent to surfaces which are not designed for such use, barriers, or signs, or both, as approved by Napa County, shall be installed and maintained.
- (e) A bridge with only one traffic lane may be authorized by Napa County; however, the bridge shall have unobstructed visibility from one end to the other and turnouts at both ends.

ONE-WAY ROADS: All one-way roads shall be constructed with a minimum of one twelve (12) foot Traffic Lane, not including Shoulders, and have a minimum of 14-feet of horizontal clearance. Shoulder requirements shall apply per Detail C-6. All one-way roads shall connect to a two-lane roadway at both ends and shall provide access to an area zoned for no more than ten (10) Residential Units. In no case shall a one-way road exceed 2,640 feet in length. A turnout shall be placed and constructed at approximately the midpoint of each one-way road.

#### **DEAD-END ROADS:**

(a) The maximum length of a Dead-end Road, including all Dead-end Roads accessed from that Dead-end Road, shall not exceed the following cumulative lengths, regardless of the number of parcels served:

Parcels zoned for less than one acre
Parcels zoned for 1 acre to 4.99 acres
1,320 feet
Parcels zoned for 5 acres to 19.99 acres
2,640 feet
Parcels zoned for 20 acres or larger
5,280 feet

All lengths shall be measured from the edge of the Road surface at the intersection that begins the Road to the end of the Road surface at its farthest point. Where a dead-end road crosses areas of differing zoned parcel sizes requiring different length limits, the shortest allowable length shall apply.

- (b) Where parcels are zoned 5 acres or larger, turnarounds shall be provided at a maximum of 1,320 foot intervals.
  - (c) Each dead-end road shall have a turnaround constructed at its terminus.

AGRICULTURAL ROADS: Agricultural roads shall be constructed to provide fourteen (14) feet of travel way and unobstructed vertical clearance of thirteen (13) feet, six (6) inches along its entire length. The travel way shall, at a minimum, consist of a ten (10) foot wide all weather surfaced travel lane with four (4) feet of drivable shoulder (see Detail C-10). The drivable shoulder may be placed on both sides of the travel lane with the total shoulder width summing to four (4) feet. For agricultural roads between one hundred fifty (150) and eight hundred (800) feet in length, a standard inter-visible turnout shall be provided near the midpoint of the roadway as approved by the County Engineer. Where agricultural driveways exceed eight hundred (800) feet in length, standard inter-visible turnouts shall be provided no more than four hundred (400) feet apart (see Detail C-11).

**RESIDENTIAL DRIVEWAYS**: Residential driveways shall be constructed to provide fourteen (14) feet of travel way and unobstructed vertical clearance of thirteen (13) feet, six (6) inches along its entire length. The travel way shall, at a minimum, consist of a ten (10) foot wide all weather

surfaced travel lane with four (4) feet of drivable shoulder (see Detail C-10). The drivable shoulder may be placed on both sides of the travel lane with the total shoulder width summing to four (4) feet. Residential driveways between one hundred fifty (150) and eight hundred (800) feet in length shall have a standard inter-visible turnout near the midpoint of the driveway as approved by the County Engineer. Where residential driveways exceed eight hundred (800) feet in length, standard inter-visible turnouts shall be provided no more than four hundred (400) feet apart (see Detail C-11).

There are two types of Residential Driveways defined below:

Rural Area – A residential driveway connected to a rural County road per Detail P-2. Urban Area – A residential driveway connected to a County road with curb, gutter and sidewalk improvements, and has a driveway approach per Detail P-3.

Residential construction triggering application of these Standards, as defined in Section 2, where access is served by a Road that does not meet minimum Roadway Width requirements may improve the access with Inter-visible Turnouts, spaced pursuant to Table 15.1, shall be considered as meeting the same overall practical effect for Roadway Width. The Fire Marshal and the County Engineer shall determine compliance to Table 15.1 on a case-by-case basis.

Table 15.1

Turnout Spacing Interval for a Residential Road

	Number of Residential Units* Served by Existing Road			
Level of Improvement	6+	5	4	3
Main Dwelling	250 ft	300 ft	350 ft	-
2nd Dwelling Unit (ADU)	250 ft	300 ft	350 ft	-
Main Dwelling with an ADU	200 ft	250 ft	300 ft	350 ft

<sup>\*</sup>Residential units do not include guest cottages.

While turnouts spaced at the above noted distances would be ideal, the Fire Marshal and the County Engineer will work with the developer to space turnouts per site conditions. The standard number of turnouts required shall be determined by dividing the total length of the driveway by the applicable spacing in the above table and rounding up to a whole number. The number of turnouts may be reduced through an Exception to the Standards, as defined in Section 3. The intent of requiring turnouts noted above is to improve an otherwise non-

compliant Road to the maximum extent practicable through individual development with the goal of ultimately achieving a Road that is compliant with the Standards for its entire length.

# **DESIGN CRITERIA CHART**

Street	Min. Design	Min. Centerline	Min. Stopping	Max. Grade
	Speed (mph)	Radius (ft)	Sight Distance (ft)	( percent)
Arterial	40	825	275	8
Collector	35	585	225	10
General Minor	20	220	150	16
Loop Road and Non Continuous Minor	20	120	110	16
Cul-de-Sac	20	120	110	16
One Way Loop road	20	506	110	165
Common Drives	15	506	75	165
Residential Driveway	15	506	75	165
Agricultural Road	15	506	75	165

 $<sup>^{5}</sup>$  Roadway grade may exceed 16 percent, not to exceed 20 percent, provided the provisions of this section are met.

<sup>&</sup>lt;sup>6</sup> Minimum horizontal inside radius.

# 16. INDUSTRIAL AND COMMERCIAL DEVELOPMENT

Industrial references in these Standards are applicable to all appropriately zoned lands.

Road cross sections for existing County roads and State highways which have full improvement widths different from these Standards shall be improved to provide additional pavement width and thickness plus additional right of way, all as determined by the County Engineer.

Structural pavement sections shall be based upon a minimum traffic index of 6.0 and appropriate "R" value.

Bus turnouts and related sidewalks may be required as a condition of development.

Where on-street parking is allowed, a sidewalk shall be provided on the same side of the street as the parking lane. The sidewalk shall be Portland cement concrete. Where no sidewalk is required, an unpaved, clear walkway shall be provided.

Where off-street loading and service facilities are required; those facilities shall meet the provisions outlined in Napa County Code Chapter 18.110.060.

Consistent with the Board policy of accepting into the road system only those roads improved to County Standards, any new roads or drainage improvements proposed under a parcel map or final map to be accepted for maintenance by the County or by a County Service Area shall first be improved to full improvement in accordance with the Standards.

In any land divisions where road and drainage improvements are proposed to be privately maintained, the developer shall furnish covenants calling for maintenance of such improvements. Covenants shall run with the land and be recorded with the final map or parcel map.

## 17. TRAFFIC CONTROL DEVICES

The California Manual on Uniform Traffic Control Devices, the Caltrans Standard Specs and the Caltrans Highway Design manual shall be utilized to determine traffic warrants, design and construction procedures for all traffic control devices with the exception of left-turn lanes. Warrants for construction of a left-turn lane on County maintained roads as defined in Sections 18.112.040 through 18.112.080 of the County Code shall be as follows:

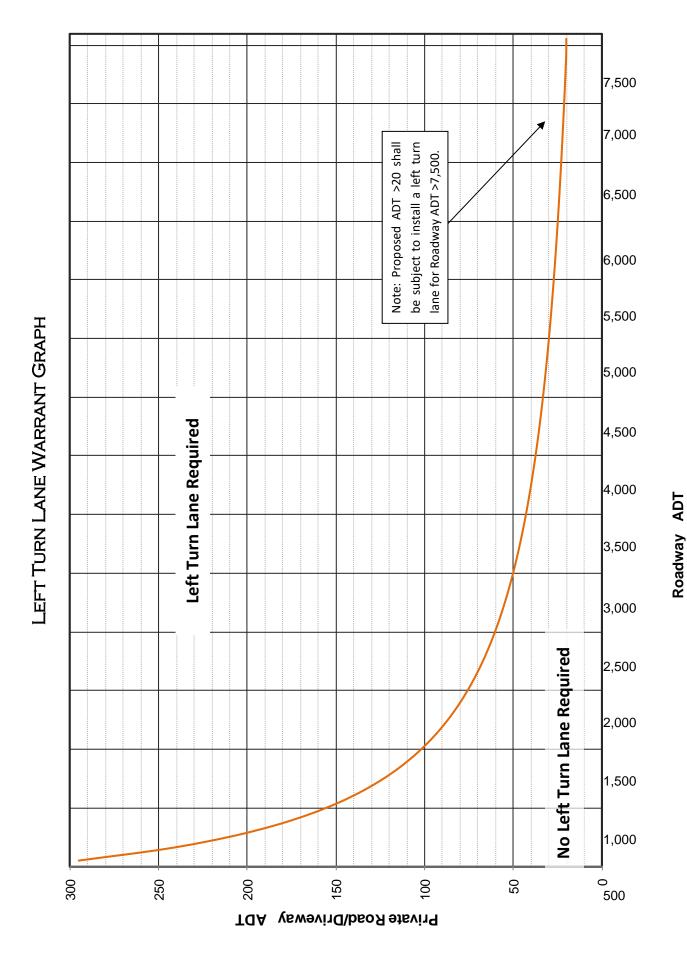
<u>Left-Turn Lane Warrants</u>: Use Permits or modifications thereof shall trigger the application of the following warrants to determine the necessity for a left-turn lane for the proposed use.

(a) Application of the following Left-Turn Lane Warrant Graph based on road average daily traffic (ADT) and the projected ADT of the proposed use. The chart is a representation of probable conflict between turning traffic and advancing traffic. Private Road or Driveway ADT is

the total average daily traffic utilizing the facility. A left-turn lane will not be considered for uses generating an ADT of 10 or less.

- (b) If the corner sight distance in advancing direction, measured from the driveway, is less than required per Caltrans design standards (usually the posted speed limit multiplied by 11, read in feet) a left-turn lane shall be installed.
- (c) If traffic conditions or turning movements pose a considerable threat to public safety, as determined by the Director of Public Works, a left-turn lane shall be installed.

<u>Design</u>: Design of the left-turn lane shall be prepared by a Licensed Civil Engineer and be based on the County Standard Detail LTL-1, available at the PBES Department. Installation of a left-turn lane on a County public road shall require an encroachment permit issued by the Department of Public Works and the property owner shall be required to enter into a one-year maintenance agreement including appropriate bonding. Installation of a left-turn lane on a State Highway requires an encroachment permit issued by Caltrans.



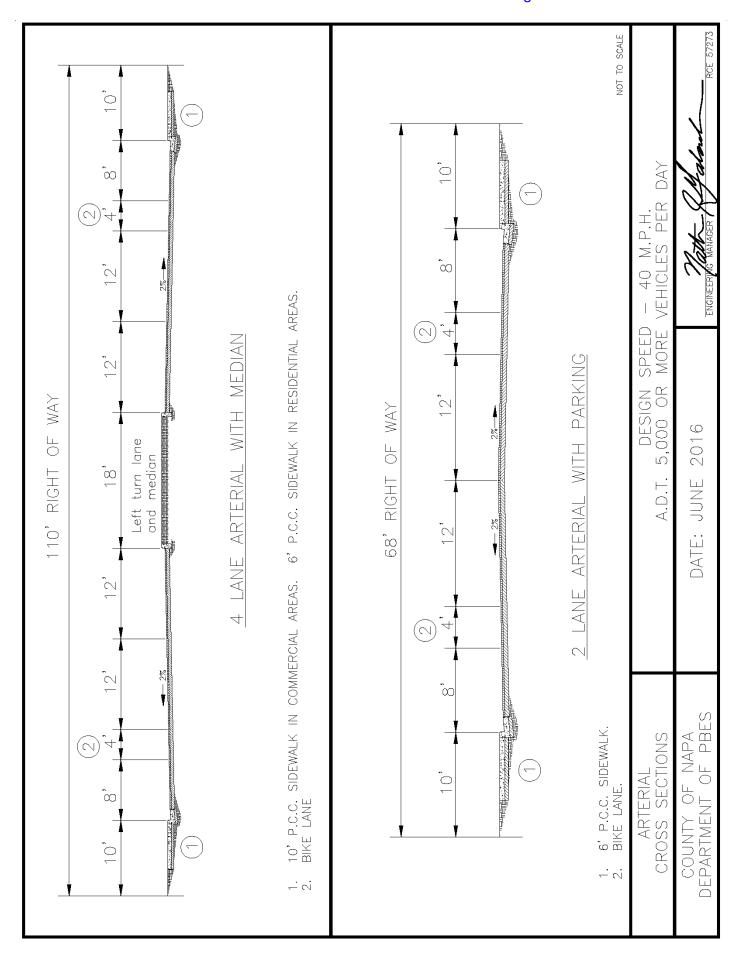
Page | 22

# 18. TYPICAL CROSS SECTIONS

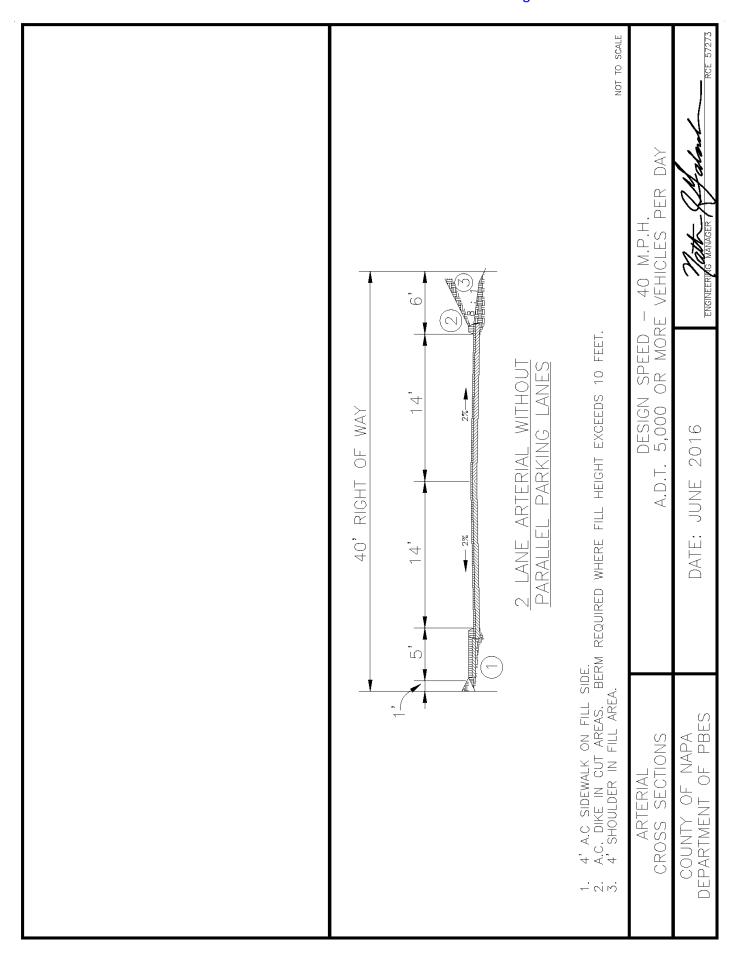
The cross sections which follow are intended to represent typical applications in land development and do not include all possibilities or elements of design that may be required or permitted. The minimum right of way for any public street or road will not be less than forty (40) feet. In addition, slope easements extending ten (10) feet beyond the top of cut or toe of fill will be required whenever the vertical height of the cut or fill exceeds 5 feet. Easements are not required when cut or fill slopes are flatter than 3:1 (H:V).

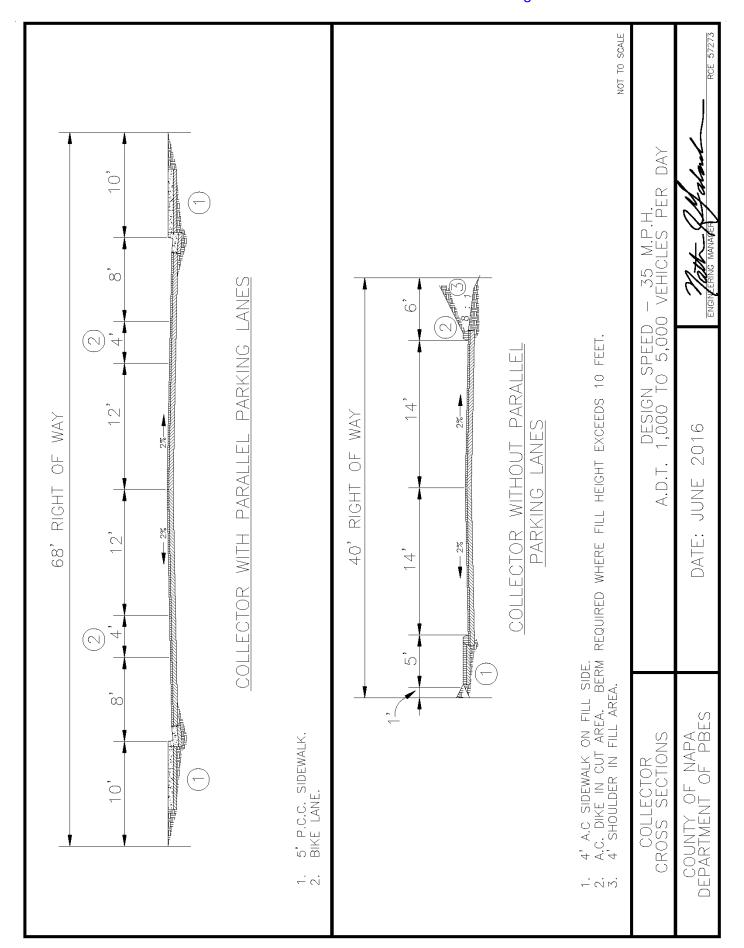
Please note that for simplification, mountable curb is not shown on the typical sections. When it is used, the sidewalks must be located as shown on the Standard Details.

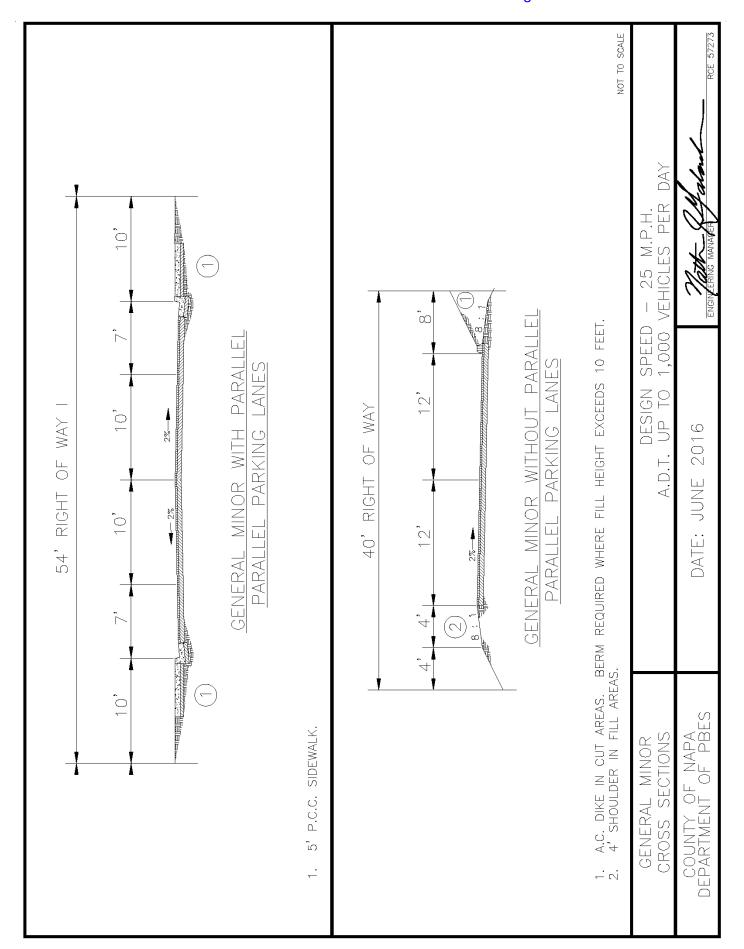
Fill slopes higher than ten (10) feet will be protected with asphalt concrete dikes or other acceptable means. Super-elevations and continuous cross slope streets without a crown may be permitted and encouraged in specific cases upon the approval of the County Engineer.

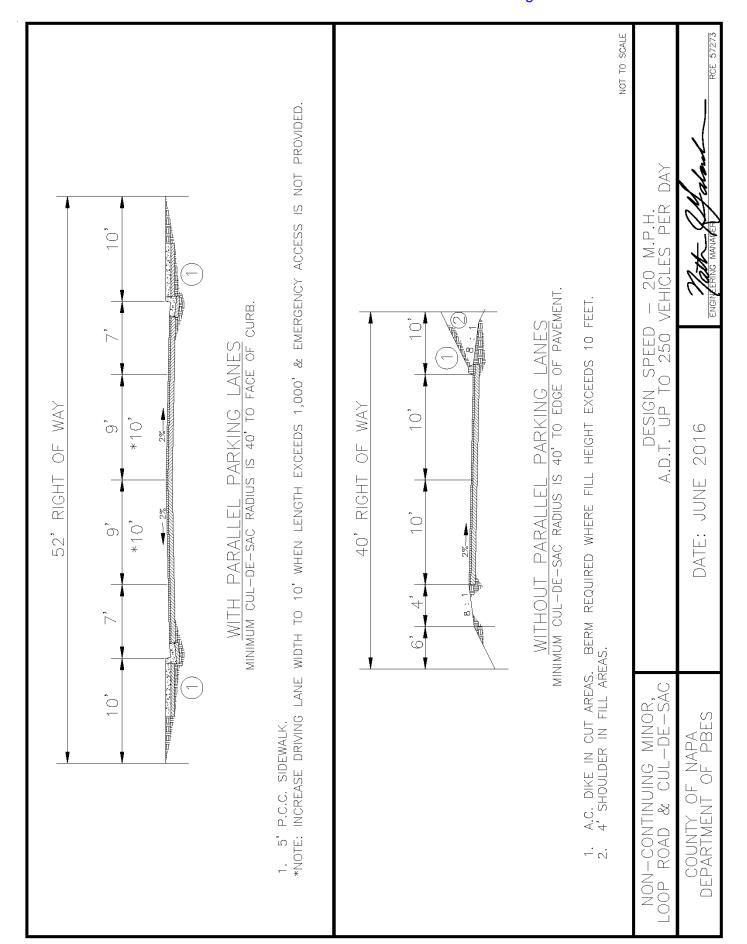


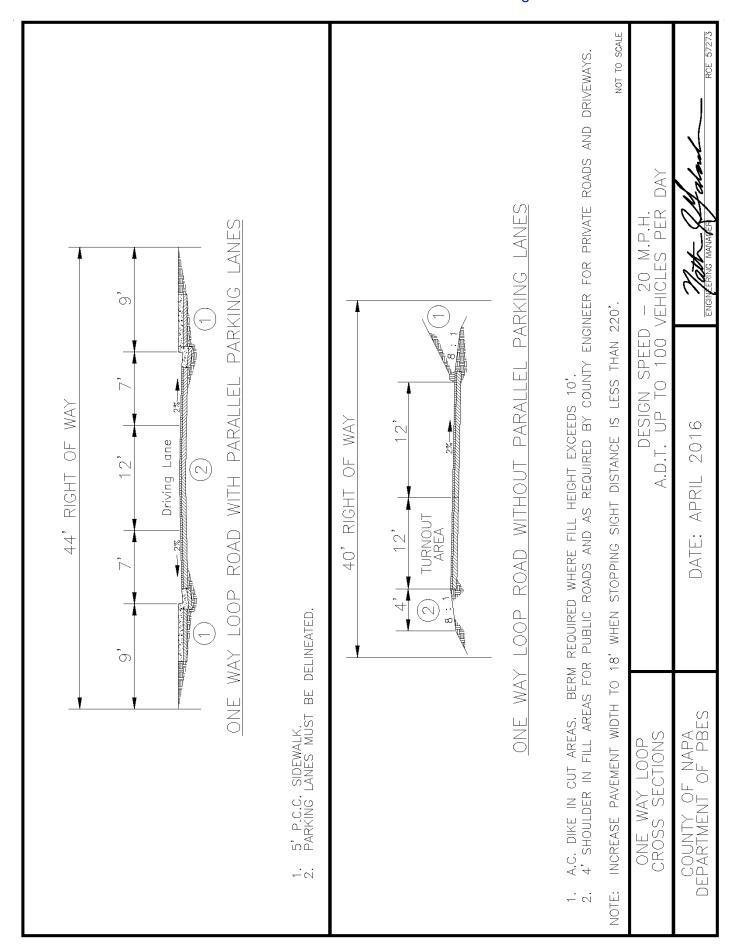
DETAIL C-1

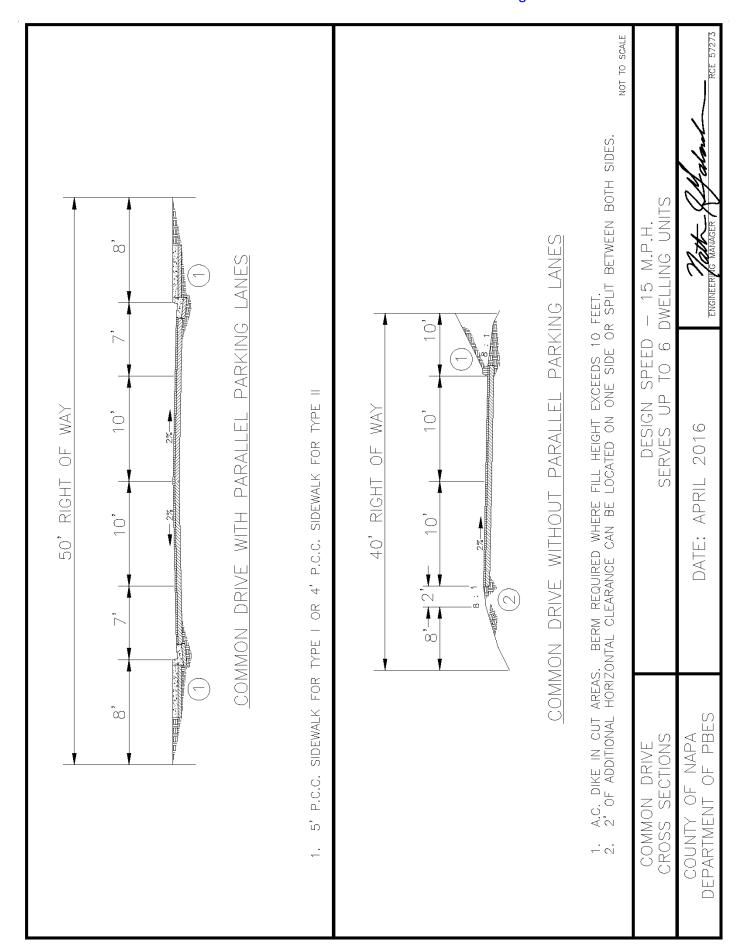


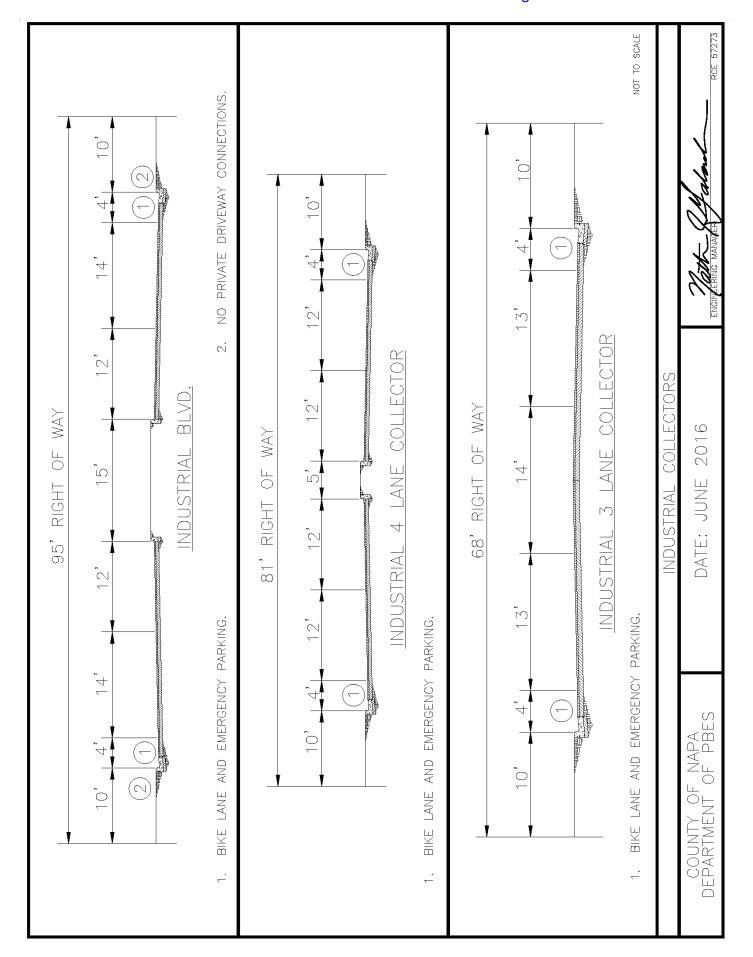




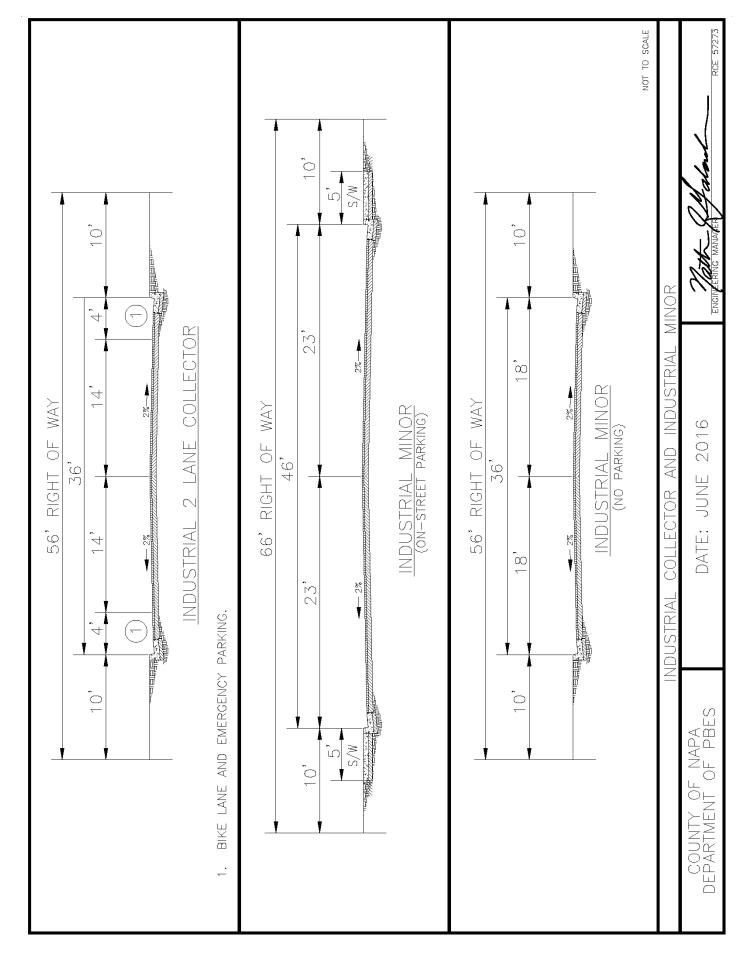




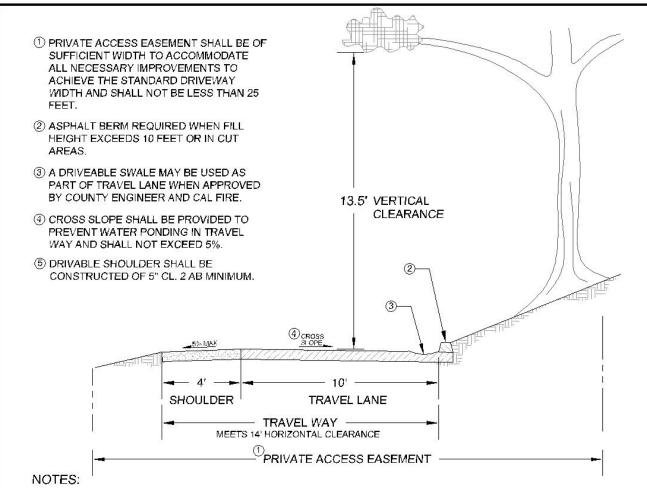




DETAIL C-8



DETAIL C-9



- 1. SEE SECTION 15 OF THESE STANDARDS FOR DESIGN CRITERIA.
- 2. ROAD SURFACING REAUIREMENTS FOR TRAVEL LANE (APPLIES TO RESIDENTIAL DRIVEWAYS AND AGRICULTURAL ROADS):

TRAVEL LANE ALL WEATHER SURFACE OPTIONS	RANGE OF € GRADE FOR SURFACE OPTION
5" CL. 2 AB	0% - 5% (MAX)
5" CL. 2 AB WITH DOUBLE SEAL COAT	0% - 16% (MAX)
2" HMA / 5" CL. 2 AB	0% - <18% (MAX)
3" HMA / 5" CL. 2 AB	0% - 20% (MAX)

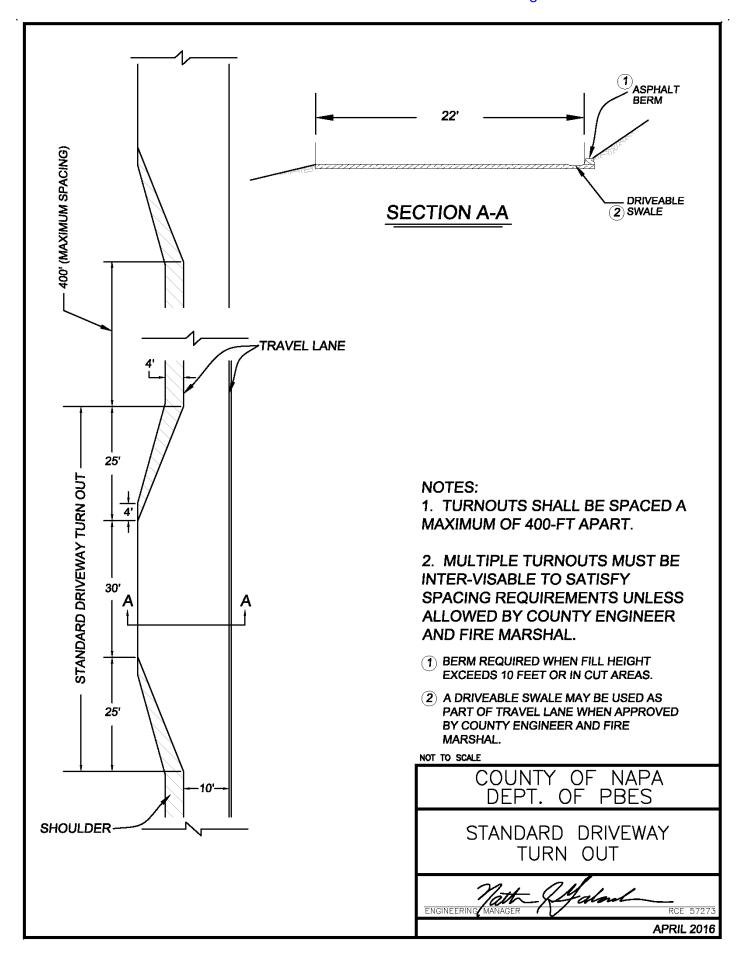
NOT TO SCALE

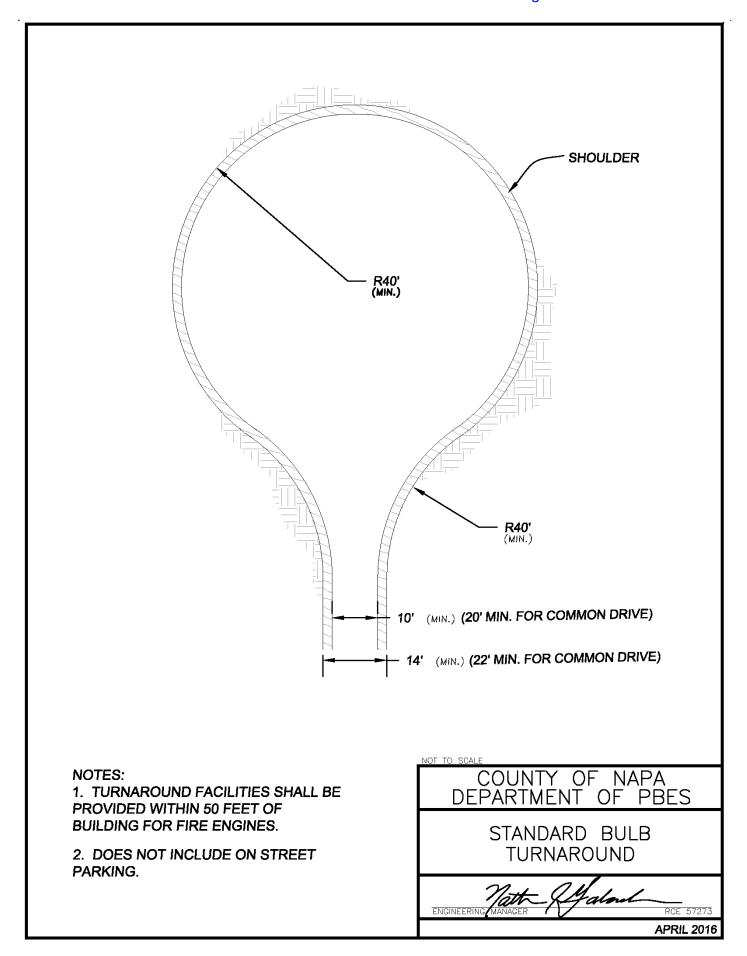
- SEE THE FOLLOWING DETAILS FOR DESIGN OF DRIVEWAY APPURTENANCES:
  - > CONNECTION TO COUNTY ROAD -DETAIL P-2 (RURAL) OR DETAIL P-3 (URBAN)
  - > STANDARD DRIVEWAY TURNOUT -DETAIL C-11
  - > STANDARD DRIVEWAY TURNAROUND -DETAIL C -12, C -13 OR C -14
- 4. PROVIDE REFLECTOR TYPE ADDRESS NUMBER PLACARDS IN ACCORDANCE WITH ARTICLE 3 OF THE LATEST VERSION OF THE CBOF STATE RESPONSIBILITY AREA FIRE SAFE REGULATIONS.

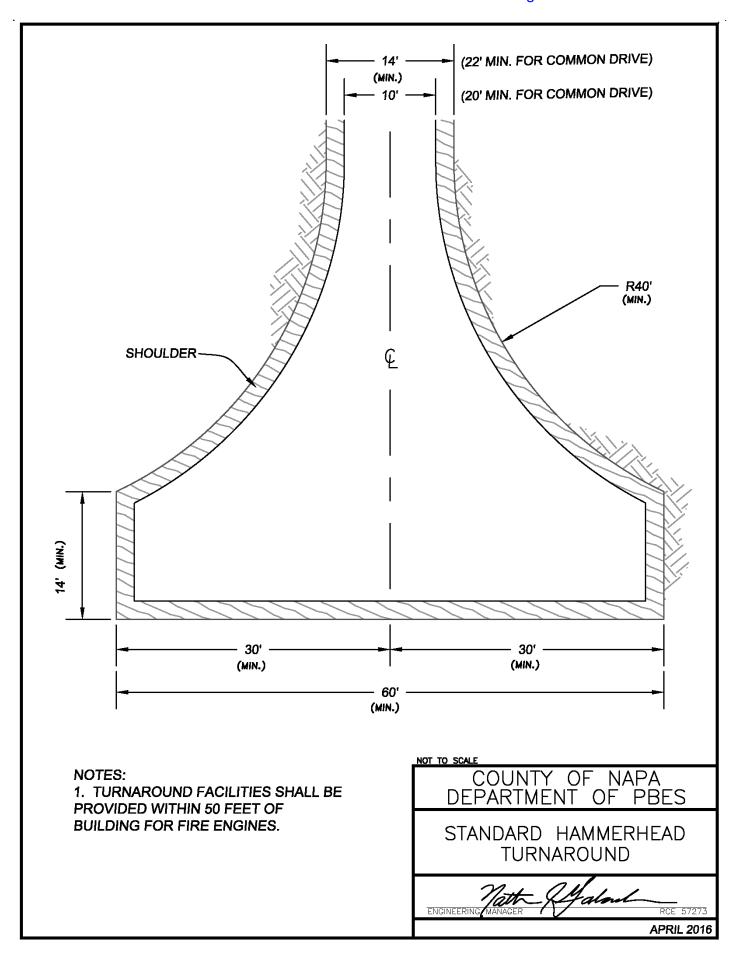
COUNTY OF NAPA DEPARTMENT OF PBES

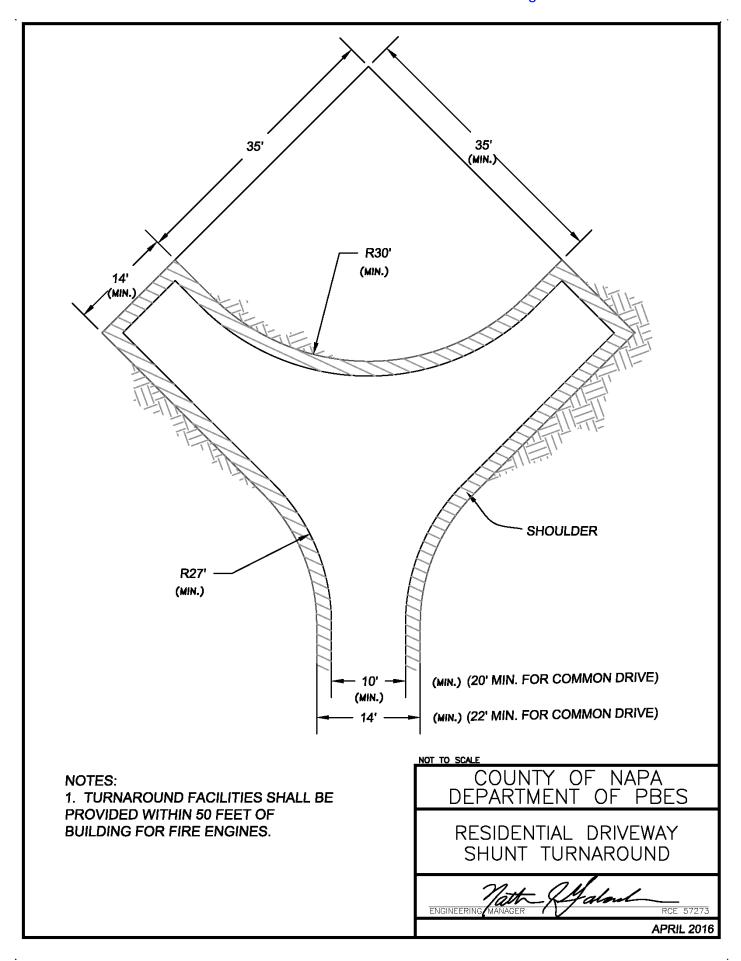
RESIDENTIAL DRIVEWAY OR AGRICULTURAL ROAD

JANUARY 2020









#### 19. <u>DETERMINATION OF TRAFFIC VOLUMES</u>

Traffic volumes for new streets or roads will be computed on the basis that each single-family dwelling unit generates an average of ten (10) ADT. The developer's engineer is required to submit a traffic analysis showing the calculated traffic volumes for all new streets or roads and the estimated pattern of traffic flow plus any other data that could have a bearing on the proper street classification. This report shall be submitted with the project application to enable an early determination of the street and road system to be used. The traffic analysis shall include existing and projected 10-year truck traffic volumes. Traffic index adjustments of anticipated truck trips are <u>not</u> included in Figure 1. Adjustments to the traffic index shall be made to account for the truck traffic.

The report will be reviewed by the County Engineer using estimated traffic flow patterns based on the layout of each development and normal driver behavior, and the street classifications will be determined. Planned unit developments and other types that may have unique traffic characteristics will be investigated on an individual basis.

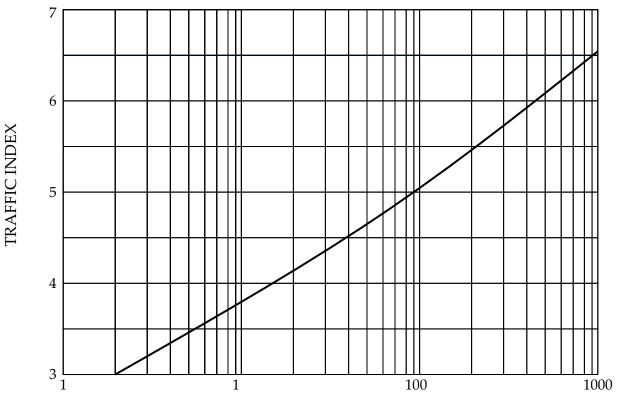
#### 20. <u>DETERMINATION OF STRUCTURAL SECTION</u>

Pavement design will be based on Caltrans design procedures using the traffic index and the resistance value as the design variables. Traffic index values will be developed by the County Engineer based on Figure 1 which shows the relationship between the number of houses served and the traffic index.

Resistance values will be furnished by the developer and will be based on soil tests taken at proposed sub-grade at intervals of five hundred (500) feet and/or where there is a definite change in the soil conditions. The lowest resistance value will be used for design unless it can be shown that the material is substantially different than that used in the other tests. In heavy clay soils, expansive conditions may be encountered that will require special attention. The use of soil stabilization to increase the resistance value may be allowed in certain instances upon approval of the County Engineer. The accompanying chart (Figure 2) gives the minimum values of surfacing and base and the total section thickness for various traffic indices. Seal coat pavements may be used on minor roads if the structural section is adequate for the Traffic index and soil conditions.

The minimum pavement section shall be two (2) inches of HMA and five (5) inches of Class 2 AB or a structural equivalent. Residential Driveways and Agricultural Roads in the rural area shall meet surfacing requirements per Detail C-10. Roads in rural areas may utilize surfacing requirements outlined in C-10 with prior approval from the County Engineer and Fire Marshal. The pavement structural section shall be constructed in accordance with Section 27 of these Standards.

# CHART FOR ESTIMATION OF TRAFFIC INDEX USING A HOUSE COUNT



NUMBER OF HOUSES SERVED

Notes: For use only within subdivisions for residential and residential collector streets.

Chart is based on a 10 – year design life.

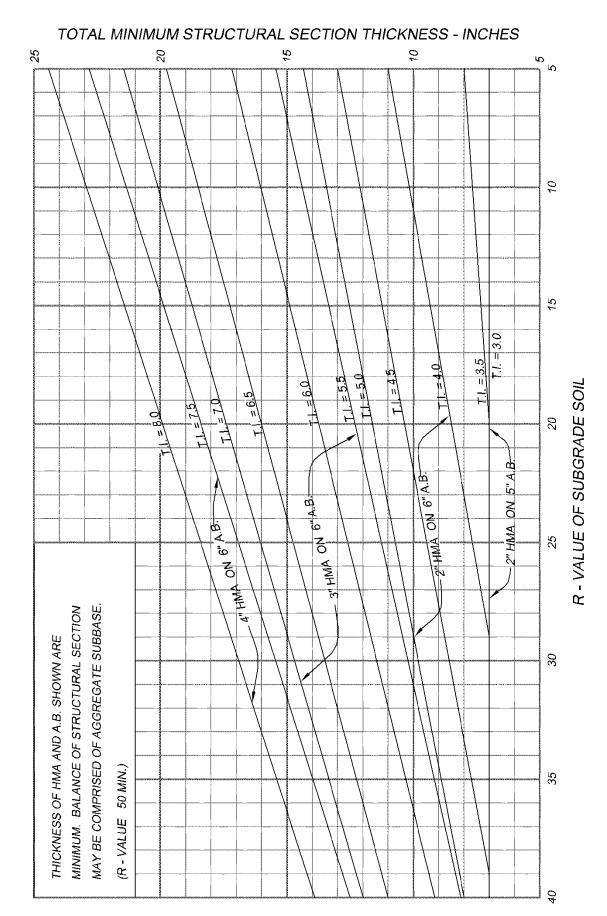


FIGURE 2

#### 21. GRADING REQUIREMENTS AND SOILS INVESTIGATIONS (FOR ROADS)

Geologic investigations will be required on developments of 40 acres or more in size to determine safe cut and fill slopes and unusual soils situations and may be required on smaller parcels if considered necessary by the County Engineer. In the absence of soils tests, all cut and fill slopes shall be flatter than 2:1 (H:V); flatter slopes to conform to the existing terrain are encouraged. Slope rounding at the top of cuts and toe of fills is required under all conditions. In addition, all cut and fill slopes except in rock shall be seeded with durable, hardy species of native grass or other acceptable plants or grasses that do not require irrigation. Geologic reports and soil investigations will conform to criteria set by the County Engineer and State code.

#### 22. <u>DRAINAGE REQUIREMENTS</u>

General:

The purpose of drainage improvements is to provide protection from flooding and reduce or eliminate maintenance costs and erosion damage. Erosion is particularly troublesome in sloped areas and whatever steps deemed necessary will be taken to reduce erosion and its attendant problems. The paved roadbed shall be used wherever possible to carry runoff, and the typical sections may be modified to accomplish this. Concentrated runoff shall not be discharged onto native ground under any circumstances.

- (a) Minimum Pipe Size: 18 inches in diameter or equivalent
- (b) Material: Metal, concrete or high density polyethylene plastic (up to 36 inch diameter, corrugated outer wall and smooth inner liner) pipes are suitable for culverts; concrete shall generally be used for comprehensive drainage systems. Cast-in-place concrete pipe is not allowed in the County right of way. Concrete pipe shall be Class III minimum. When metal pipes are used, they shall be asphalt coated and dipped or sufficient data shall be submitted to substantiate a 50-year service life in accordance with California Test Method No. 643.B. Culverts 24 inches in diameter or less with four feet or less of cover to flow line may be designed for a 25 year service life.
- (c) Erosion Protection: (see subsection (i) also) All culverts shall have flared end sections or concrete headwalls. Erosion protection shall be provided at all culvert outlets and at culvert inlets where abrupt changes in channel alignment are encountered. Typical erosion protection consists of keyed rock riprap surrounding sensitive areas. Erosion Protection measures shall be detailed and approved by the County Engineer. See Detail P-11 for a typical Drainline Outlet installation.
- (d) Abrasion Protection: Paved inverts are required for metal pipe culverts when the velocity in the channel is five feet per second or more.
- (e) Minimum Cover: The minimum cover over pipes installed within the road right of way shall be as required for pipe strength, loading conditions, and hydraulic requirements.

- (f) Runoff computations: Figure 7-811.6 of the State Planning Manual, provided on Page 42 of this manual, is generally acceptable for computing runoff in rural areas. Additional field information and possible revised criteria should be developed for culverts or systems requiring 66-inch diameter or larger pipe. A tabular chart for each drainage basin incorporating elevation of the most remote point of the watershed above the point of concentration, length of the channel from the most remote point to the point of concentration, intensity, area of the tributary basin, percentage of runoff, design discharge for 100 year and 10-year runoff {Q10 = (2/3) Q100} and velocities should be submitted with proposed improvement plans or made a part of the improvement plans. In rural areas, runoff factors can be determined by summing up the values shown on Figure 3. The minimum time of concentration shall be 10 minutes for any drainage basin. For developed areas or areas that have a potential for future development, Figure 3.1 will give runoff factors.
- (g) Design Capacity: Culverts shall be designed to pass a 10-year runoff without head on the inlet under free outfall conditions, and a 100-year runoff with a head not higher than the nearest edge of the traveled way. Entrance capacity for the 10-year runoff will generally control culvert design. Comprehensive drainage systems shall be designed to carry a 10-year runoff without head and a 100 year runoff using the head available in the appurtenant structures. Figure 4 gives the critical capacities of the most common pipe sizes.

The following exceptions are allowed for Common Drives per Detail C-7:

- i. In flood hazard areas as designated on the FIRM map, culverts shall be sized to the 10 year runoff without head and assuming no adjacent inundation. The minimum pipe size shall be 18 inch.
- ii. In the remaining areas culverts shall either meet the requirements set forth in subsection (g) above, or pass a runoff equal to the capacity of the upstream channel, and together with the road being designed for this purpose, convey the 100 year runoff without damage to the road. The minimum pipe size shall be 18 inch.
- (h) Curbs and Gutters: Curbs and gutters shall be designed to carry a 100 year runoff without overtopping the curb or the back of sidewalk. Generally, drainage water in gutters will not be allowed to travel more than 1,000 feet.
- (i) Roadside Ditches: Roadside ditches, where allowed, shall be designed to carry 10-year runoff with six inches of freeboard. The minimum slope shall be 0.25 percent and paving or rocklining will be required when the velocity would cause erosion in an unpaved ditch. Roadside ditches generally will not be allowed in areas that are to be developed into lots unless the area is very remote and the lots are unusually large. Permissible velocities for unlined ditches and channels are given in Figure 5.
- (j) Channels: Channels may be used in place of pipe when the required pipe size would be larger than 48 inches in diameter. Existing natural channels and creeks may remain unimproved in built up areas if the flow of water is continuous throughout the year and if the channel or creek

is adequate to carry a 100-year runoff with 1 foot of freeboard or more and with minimal backflow effect. Existing inadequate creeks and channels shall be improved as required to obtain capacity to carry a 100-year runoff with 1 foot of freeboard within the boundaries of the area to be developed. The design of large channels shall also be reviewed and approved by the Napa County Flood Control and Water Conservation District.

Natural ravines and swales may remain undisturbed if it is determined that this would not create drainage or erosion problems.

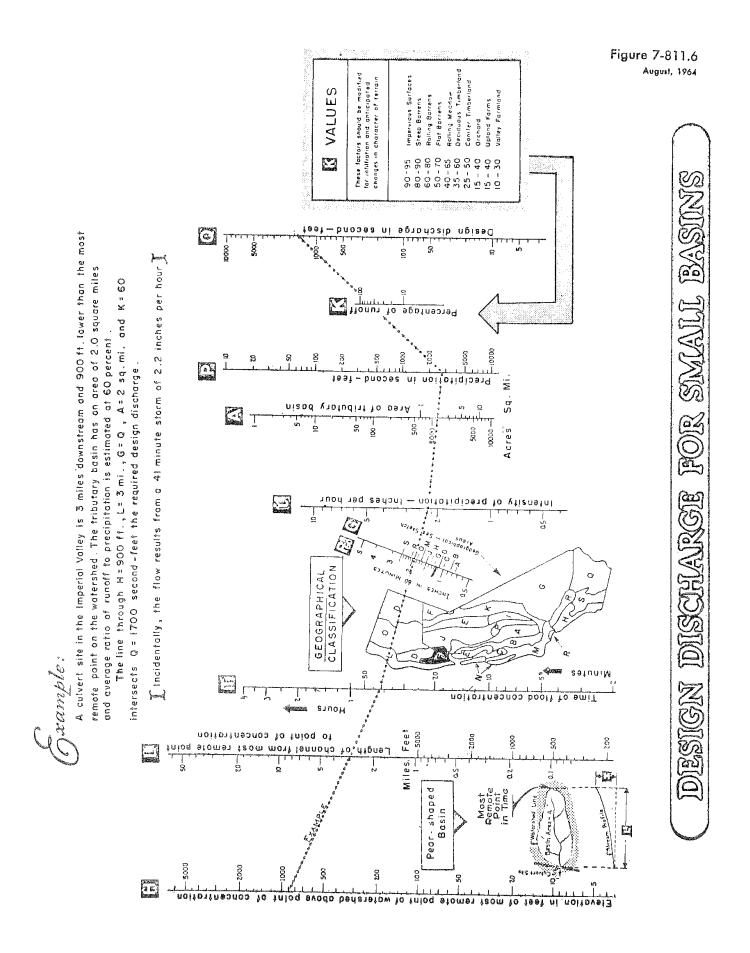
- (k) Bridges: Bridges shall be designed to pass a 100-year runoff with a minimum of two (2) feet of freeboard. Streams which carry large floating debris may require greater freeboard at bridge sites. Abutments shall be protected from erosion damage which may necessitate use of rip-rap or other suitable material and methods. Abutments on fill material will not be allowed unless supported on piles and the fill is adequately protected from erosion. Piers in the waterway area shall have no opening. Bridges shall generally conform to standards and guidelines of the Caltrans.
- (l) Outfall Requirements: Drainage water originating within or passing through a development shall be disposed of in a natural watercourse, which may require work outside of the development site. A watercourse is defined as: a running stream of water; a natural stream, including rivers, creeks, runs, and rivulets. There must be a stream usually flowing in a particular direction, though it need not flow continually. It may sometimes be dry. It must flow in a definite channel, having a bed, sides, or banks; it must be something more than a mere surface drainage over the entire face of a tract of land, occasioned by unusual freshets or other extraordinary causes. It does not include the water flowing in the hollows or ravines of land, which is the mere surface flow from rain and is discharged through them from a higher to a lower level, but which at other times are destitute of water. Such hollows or ravines are not watercourses.

Special attention must be given to drainage in sloped areas because of the potential for erosion damage and maintenance problems. Overbank storm drain outlets shall provide adequate slope protection and erosion control measures as directed by the County Engineer. Typical protection measures include placement of rock rip rap or a concrete pad to capture the culvert outfall drainage and discharge it safely at the base of the slope. See Detail P-11.

Miscellaneous Design Criteria: Loss of head through structures shall be calculated using standard engineering methods and equations. Roughness factors for use in design shall be as follows:

1.	Concrete pipe over 36 inch diameter	0.013
2.	Concrete pipe less than 36 inches	0.015
3.	Corrugated Metal Pipe	0.021
4.	CMP with paved invert	0.019
5.	Smooth walled HDPE Pipe	0.012

#### DESIGN DISCHARGE FOR SMALL BASINS



#### WATERSHED TYPES AND FACTORS

# RUN-OFF PRODUCING CHARACTERISTICS OF WATERSHEDS SHOWING FACTORS FOR EACH CHARACTERISTIC FOR VARIOUS WATERSHED TYPES

#### WATERSHED TYPES AND FACTORS

WATERSHED THES AND FACTORS				
Run-off Producing Features	Extreme	High	Normal	Low
Relief	0.28 – 0.38  Steep, rugged terrain, with average slopes above 30%	0.20 – 0.28  Rolling, with average slopes of 10 to 30%	0.14 – 0.20  Rolling, with average slopes of 5 to 10%	0.08 – 0.14  Relatively flat land, with average slopes of 0 to 5%
Soil Infiltration	0.12 – 0.16  No effective soil cover either rock or thin soil mantle of negligible infiltration capacity.	0.08 – 0.12  Slow to take up water; clay or shallow loam soils of low infiltration capacity imperfectly	0.06 – 0.08  Normal; well drained light and medium textured soils sandy loams, silt, and silt loams.	0.04 – 0.06  Slow to take up water; clay or shallow loam soils of low infiltration capacity imperfectly
Vegetation Cover	0.12 – 0.16  No effective plant cover; bare or very sparse cover.	or poorly drained.  0.08 – 0.12  Poor to fair; clean cultivation crops or poor natural cover; less than 20% of drainage area under	0.06 – 0.08  Fair to good; about 50% of area in good grassland or woodland; not more than 50% of area in	or poorly drained.  0.04 – 0.06  Good to excellent; about 90% of drainage area in good grassland, woodland, or
Surface	0.10 – 0.12  Negligible; surface depressions, few and shallow; drainage ways steep and small; no marshes.	good cover.  0.08 – 0.10  Low well-defined system of small drainage ways; no ponds or marsh.	cultivated crops.  0.06 – 0.08  Normal; considerable surface depression storage; lakes, ponds, and marshes.	equivalent crop.  0.04 – 0.06  High; surface storage high; drainage system not sharply defined; large floodplain storage or large number of ponds or marshes.

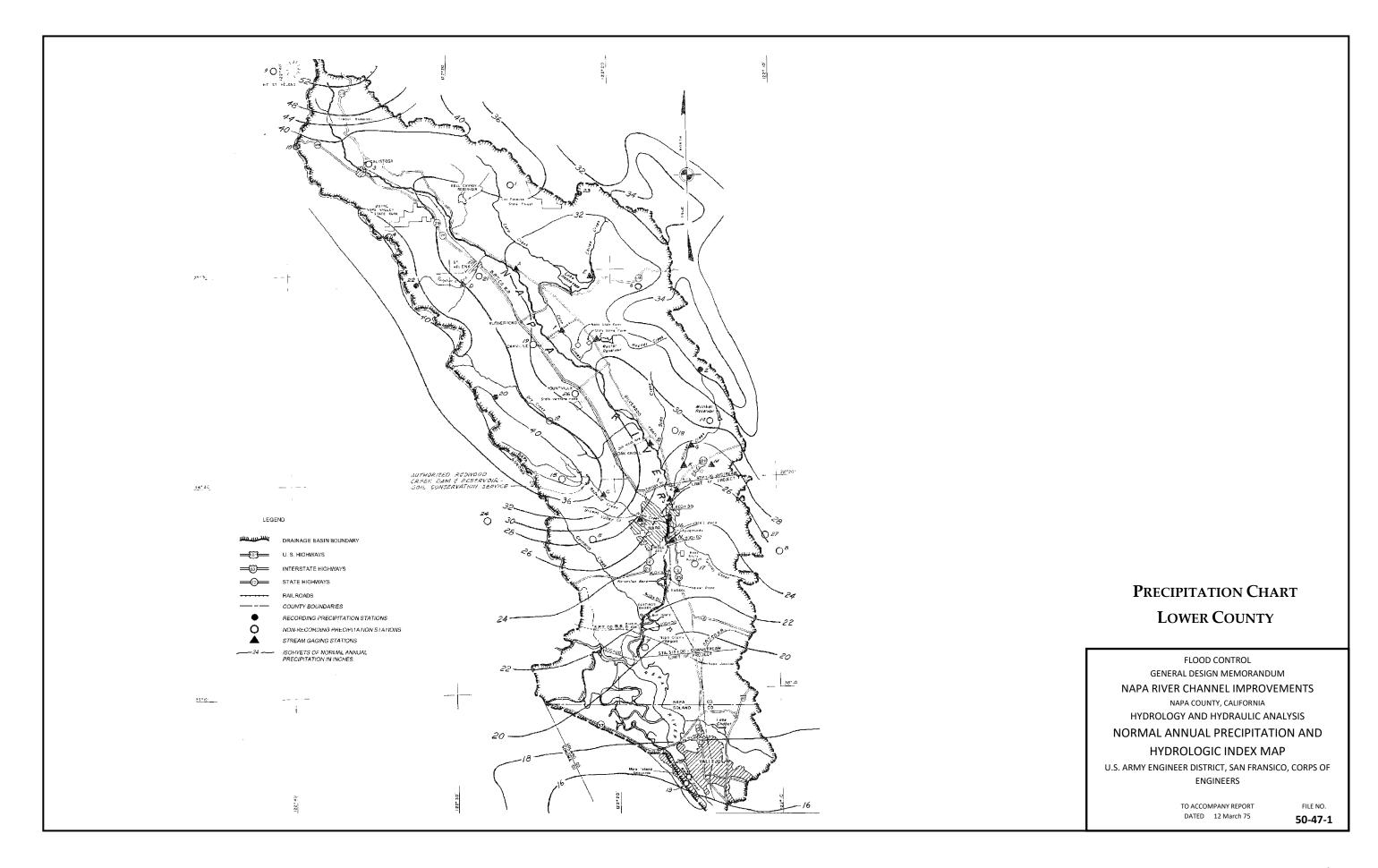
THE RUNOFF FACTOR IS DETERMINED BY THE SUM OF THE FACTORS FOR RELIEF INFILTRATION, COVER, AND SURFACE. NOT APPLICABLE TO BUILT UP AREAS.

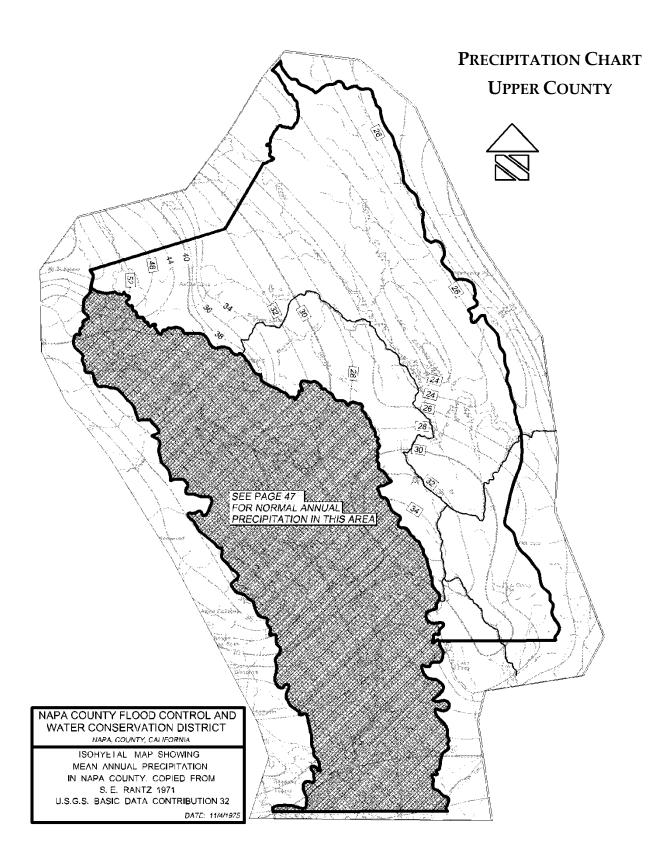
FIGURE 3

# **Runoff Coefficient for Developed Areas**

Type of Davidonment	Coefficient	
Type of Development	Mild Slope	Steep Slope
Low Density Residential 1-3 Units/Acre	0.40	0.60
Medium Density Residential 4-9 Units/Acre	0.45	0.65
High Density Residential 10 or more Units/Acre	0.60	0.75
Limited Industrial	0.60	0.80
Industrial	0.75	0.90
Commercial	0.80	0.90
Schools	0.45	0.65
Parks	0.25	0.50

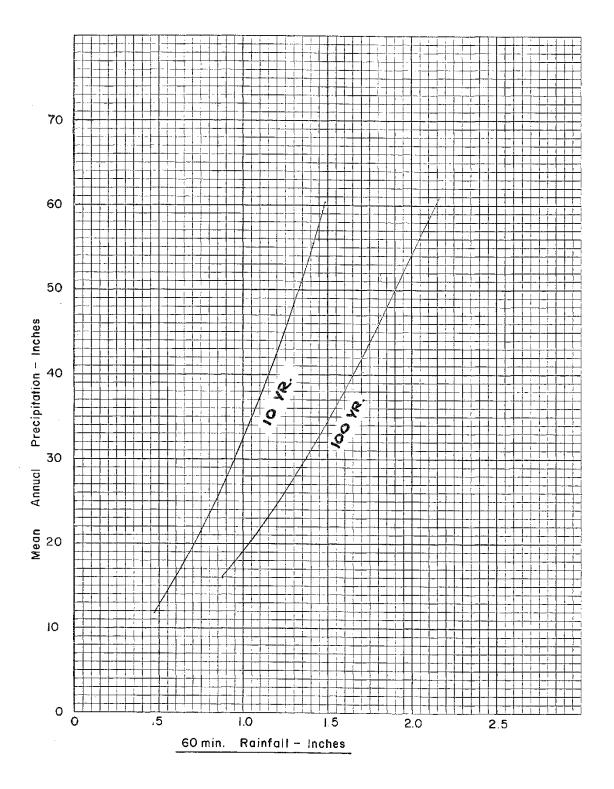
FIGURE 3.1





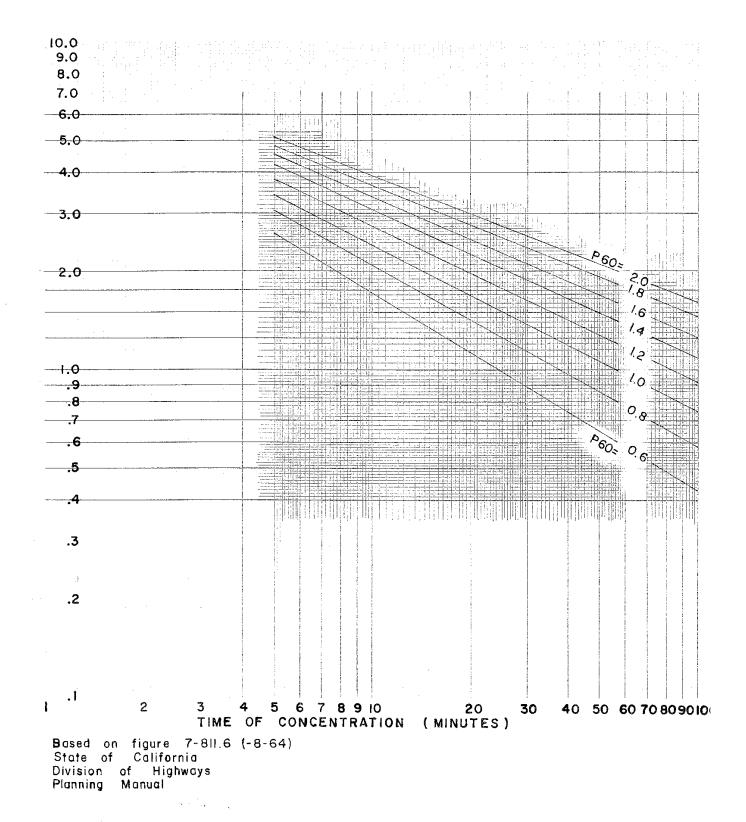
PRECIPITATION CHART – UPPER COUNTY

# MEAN ANNUAL PRECIPITATION VS. 60 MINUTE RAINFALL





### **INTENSITY – DURATION CHART**

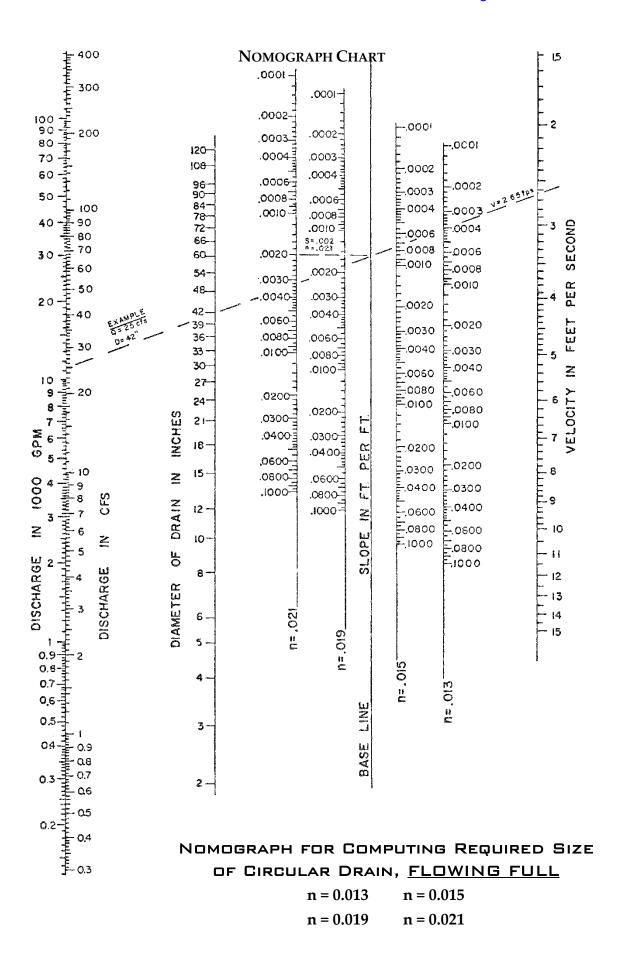


cogarithecte, 2 s 2 Cycles

## CRITICAL SLOPES AND CAPACITIES OF ROUND PIPES TABLE

Depth of Flow = 0.6887 D					
Diameter			Critical	Critical	Critical
of Pipe	Area	Velocity	Slope	Slope	Capacity
(inches)	(05768d <sup>2</sup> )	(ft/s)	N=0.015	N=0.025	(CFS)
6	0.14	3.16	0.0132	0.0367	0.5
8	0.25	3.66	0.0119	0.0330	0.9
10	0.40	4.08	0.0110	0.0306	1.6
12	0.58	4.48	0.0104	0.0290	2.6
15	0.90	5.01	0.0097	0.0270	4.5
18	1.30	5.48	0.0091	0.0252	7.1
21	1.77	5.92	0.0086	0.0239	10.5
24	2.31	6.33	0.0083	0.0230	14.6
27	2.92	6.72	0.0080	0.0221	19.6
30	3.61	7.08	0.0077	0.0213	25.6
36	5.19	7.75	0.0072	0.0200	40.2
42	7.07	8.38	0.0069	0.0191	59.2
48	9.23	8.95	0.0066	0.0182	82.6
54	11.68	9.50	0.0063	0.0176	111.0
60	14.42	10.01	0.0061	0.0169	144.3
66	17.45	10.50	0.0059	0.0164	183.2
72	20.76	10.97	0.0057	0.0159	227.7

FIGURE 4



#### UNLINED CHANNEL VELOCITY

# Recommended Permissible Velocities for Unlined Channels

Types of Material in Everystian Section	Permissible Velocity (FT/Sec)		
Types of Material in Excavation Section	Intermittent Flow	Sustained Flow	
Fine Sand (Noncolloidal)	2.5	2.5	
Sandy Loam (Noncolloidal)	2.5	2.5	
Silt Loam (Noncolloidal)	3.0	3.0	
Fin Loam	3.5	3.5	
Volcanic Ash	4.0	3.5	
Fine Gravel	5.0	4.0	
Stiff Clay (Colloidal)	6.0	4.5	
Graded Material (Noncolloidal)			
Loam to Gravel	6.5	5.0	
Silt to Gravel	7.0	5.5	
Gravel	7.5	6.0	
Coarse Gravel	8.0	6.5	
Gravel to Cobbles (Under 6 inches)	9.0	7.0	
Gravel to Cobbles (Under 8 inches)	10.0	8.0	

FIGURE 5

#### 23. PLANNED UNIT DEVELOPMENT AND OTHER TYPES

Developments other than the normal single family residential and recreational subdivisions will be improved with facilities that are consistent with the objectives and criteria in the preceding pages. Specific design elements will be determined by the County Engineer on an individual basis.

#### 24. ASSESSMENT DISTRICTS

Improvement requirements for assessment districts are the same as for privately financed developments. However, before an assessment district can be formed, the developer must comply with the requirements of the County's assessment district policy. An excerpt from the County's policy is included below for reference. Full copies of the policy may be obtained from the Department of Public Works.

- (a) Purpose of Policy.
  - i. To facilitate the acquisition and construction of public facilities in those portions of the County designated on the Napa County General Plan as suitable for commercial or industrial uses if needed to promote any of the following:
    - (A) The health and welfare of the developed areas;
    - (B) The promotion of the orderly development of the County;
    - (C) The development of needed commercial or industrial property.
  - ii. Residential improvements shall not be eligible for assessment financing.
- (b) Policy considerations regarding the need for an assessment district.

  Factors to be considered in reviewing a request that a special assessment district be formed shall include, but not be limited to, the following:
  - i. Is there a need for the development of additional commercial and industrial zoned lots in the community?
  - ii. Is the inventory of existing improved parcels in the community adequate?
  - iii. Will the proposed assessment, when added to the existing public indebtedness in the area to be assessed, result in an unusually high tax rate or collection charge being assessed which will tend to make the sale or use of the property uneconomic?
  - iv. Does the County anticipate debt issuance during the applicable calendar year for purposes of general County operations, which, in the absence of any assessment district debt authorization, would make total County debt issuance eligible for the applicable small issuer arbitrage exemption rule?
- (c) Facilities eligible for funding through assessment financing. Facilities the construction of which may be financed through assessment proceedings are limited to public facilities located within dedicated rights-of-way or easements which the County or other local agency will be required to maintain and operate. The types of facilities to be financed are:
  - i. Streets:
  - ii. Drainage facilities;

- iii. Public utilities, whether privately or publicly owned, which are appurtenant and incidental to streets or which otherwise provide significant public benefit if not appurtenant or incidental to streets; and
- iv. Landscaping when used in conjunction with other public improvements listed above.

#### 25. PARCEL MAP IMPROVEMENTS - RESIDENTIAL DEVELOPMENT

Divisions of land by Parcel Map fall into three general categories: (1) those adjacent to a county road, (2) on an existing private road, and (3) on a proposed new road which may be private or public. Road improvement requirements are as follows:

#### Case I – Adjacent to County Road

<u>Parcel Size</u>	<u>Improvement</u>
0 to less than ¾ acre	Full improvements including curb, gutter and sidewalk as
	required for the particular road and dedication of right of way
	to contain the improvements.
3/4 to 2 acres	1. Widen the existing road to provide a minimum 60 foot
	long parking lane per lot exclusive of driveways, or
	2. Provide improved all weather surface in parking areas in
	accordance with County Standards for 4 cars per lot in
	addition to garage and carport, or
	3. Provide 60 foot building setback from right of way line.
	A statement shall be placed on a document recorded
	concurrently with the Parcel Map explaining the parking
	options and also clearly indicating that one of the three
	options must be provided before or at the time that a building
	permit is finalized. On parcels already improved with
	dwellings, the parking requirements must be met prior to
	recordation of the Parcel Map.

#### Case II – On Existing Private Roads

The portion of the existing private road fronting or crossing the proposed parcels shall be improved to the appropriate subdivision road standard as determined by the County Engineer. That portion of the private road between the subject parcel and the County Road shall be improved to meet the requirements of a Common Drive per Detail C-7. Parking shall be as required for Case I.

Right of way dedication

#### Case III – New Roads

More than 2 acres to 200 acres

Parcel map divisions on new roads, public or private, shall be served by roads constructed to the appropriate subdivision standard. New roads that do not connect to an existing publicly

maintained road system will not be accepted into the County Road System. Parking shall be as required for Case I.

# 26. PARCEL MAP IMPROVEMENTS - COMMERCIAL AND INDUSTRIAL DEVELOPMENT

Full road and drainage improvements shall be constructed for all parcel map divisions in areas zoned industrial or commercial.

#### 27. <u>SPECIFICATIONS</u>

The following specifications shall apply to all developments, public or private.

#### **ROAD AND STREETS**

Street and road work shall conform to approved Plans and Profiles, the Napa County Standard typical sections, these special requirements, and Caltrans Standard Specs, except that all Portland cement concrete shall be "Class B," with  $1\frac{1}{2}$  inch maximum aggregate.

Roadway excavation shall be in accordance with Section 19-2 of Caltrans Standard Specs, except that sub-grade excavation below the grading plane as specified in Section 19-5.03 will not be required. When the original ground below the grading plane and within 2 ½ feet of finished grade has a relative compaction of less than 95 percent, the 0.5 foot of base material below said grading plane shall be compacted until not less than 95 percent relative compaction is obtained.

Embankment construction shall conform to Section 19-6 of Caltrans Standard Specs, except that sub-grade excavation or original ground below the grading plane as specified in Section 19-5.03 will not be required. Original ground within  $2\frac{1}{2}$  feet of finished grade shall be compacted as specified above for excavation areas.

The laying of the aggregate base shall not commence until:

- All of the utility lines, including the following, are installed in the streets;
  - o Mains and service connections for water
  - Recycled water
  - o Gas
  - Electrical, cable television or telephone conduit
  - o Sanitary sewer
  - o Storm drains
- All service connections are made beyond the graded section;
- Backfilling completed in accordance with the hereinafter specified requirements;
   and
- The County Engineer has approved the subbase in writing.

Aggregate base material and the placing thereof shall conform to Section 26 of Caltrans Standard Specs. Aggregate base material shall be "Class 2 Aggregate Base," 1 1/2 inch maximum

size, or ¾ inch maximum as specified in Caltrans Standard Specs. Subbase material shall be Class 2 in accordance with Section 25 of Caltrans Standard Specs.

A prime coat treatment shall be applied to the finished surfaces of the aggregate base prior to placement of the HMA in accordance with the provisions of Section 39 of said Caltrans Standard Specs. The Liquid Asphalt used for penetration treatment shall conform to the requirements of Section 93 of Caltrans Standard Specs, as modified, and the total amount to be applied will be determined by the County Engineer or authorized representative.

HMA shall be Type B conforming to Section 39-2 of Caltrans Standard Specs. Asphalt binder to be mixed with aggregate shall be a steam-refined paving asphalt conforming to performance grading PG 64-10 in accordance with Section 92 of Caltrans Standard Specs.

Napa County standard barricade(s) shall be constructed at the end of all stub streets, and at any other locations as shown on the plans.

#### **UTILITIES**

All mains and service connections for all utility facilities to be installed in the street area shall be laid to the line and grade shown on the plans or to the line and grade as established by the County Engineer. In no case shall any utility facility be installed in the street area less than 30 inches below finish grade, except storm drain facilities, where approved.

Excavation and backfill for all pipe lines within the roadway section, including mains and service connections for water; gas; electrical, cable or telephone conduit; sanitary sewer and storm drains shall conform to Section 19-3 of Caltrans Standard Specs except as modified herein. The trench shall be filled to 1 foot above the top of the facility with imported fine material, readily compactable around and under the facility; conforming to Section 19-3.06 of Caltrans Standard Specs or equivalent approved by the County Engineer. The remainder of the trench shall be backfilled by one of the following methods:

- (a) If a granular backfill material is used for backfilling the remainder of the trench (minimum sand equivalent 30), compaction may be accomplished by adding sufficient water to the material as it is placed in the trench to achieve consolidation and a relative compaction of not less than 90 percent up to 2 ½ feet below finish grade, and 95 percent within 2 ½ feet of finish. If the trench is in solid rock, the backfill shall be compacted to 95 percent relative compaction the entire depth of the trench. The backfill material shall be placed and compacted in layers not exceeding 4 feet in thickness and vibratory or other compaction equipment shall be used whenever necessary to obtain the required compaction. Ponding or use of excessive amounts of water will not be permitted however, and permission from the County Engineer or authorized representative must be obtained before these methods of compaction will be allowed.
- (b) The use of material from the excavation for structure backfill will be allowed providing that the relative compaction is 90 percent up to  $2\frac{1}{2}$  feet below finish grade and 95 percent within  $2\frac{1}{2}$  feet of finish grade. If the trench is in rock, the backfill shall be compacted to 95 percent relative compaction the entire depth of the trench. The backfill material shall be placed in

horizontal, uniform layers not exceeding 8 inches in thickness before compaction, and shall be brought up uniformly on all sides of the facility and the trench. Compaction must be accomplished by mechanical methods only. No ponding, jetting or use of excessive amounts of water will be allowed.

#### **DRAINAGE**

Drainage provisions and structures shall be installed in accordance with the approved Plans and Profiles, the Napa County typical sections and applicable provisions of Caltrans Standard Specs.

In lieu of reinforced concrete pipe, storm drains may be installed outside of the street areas as shown on the approved Plans and Profiles. All such storm drains shall conform to Caltrans Standard Specs.

Sacked Portland cement concrete or Light Stone Rip-Rap conforming to Section 72 of Caltrans Standard Specs shall be placed at the locations indicated on the approved Plans and Profiles or at the locations specified by the County Engineer or authorized representative. Sufficient rip-rap shall be placed at each location to insure adequate protection for the facilities involved.

#### **STREET SIGNS**

Public Streets: Napa County street signs shall be located and installed per Detail D-6. Street signs shall be designed per Detail D-6A and the latest version of the California Manual on Uniform Traffic Control Devices.

Private Streets, Lanes and Driveways: Signs shall be located, installed and designed in accordance with the latest version of the CBOF State Responsibility Area Fire Safe Regulations.

#### **MONUMENTS**

Napa County Standard Street Monuments consisting of cast-in-place "Class A" Portland cement concrete, six inches in diameter, eighteen to thirty-six inches in depth, and covered with a standard cast iron monument cover, shall be installed in the streets as shown on the approved Plans and Profiles.

The monuments shall have the exact point marked by cross on a brass disk bearing the license number of the Engineer or Surveyor making the survey, fastened by a rod or dowel into the concrete. See Standard Detail D-7.

In lieu of the above type monument, on the exterior boundary angle and curve points not in the street area, the following type monuments will be allowed: A three quarter inch minimum interior diameter galvanized pipe at least three feet long projecting one inch above ground, filled with mortar, and with the exact point marked on a tag to be permanently set in the mortar by means of a dowel extending not less than two inches into the mortar, or a three-quarter by three-quarter inch steel T-bar at least three feet long projecting one inch above ground, treated with a

corrosion resisting coating and fitted with a one inch minimum diameter brass cap attached to the stake by means of a drive screw.

Following the setting of all monuments and the completion of all other improvements required hereunder, the street monuments and exterior boundary monuments may be field checked and the measurements obtained will be compared with the dimensions shown on the Parcel Map or Final Map. Any discovered errors in excess of the allowable error as specified in the Napa County Standards shall be corrected prior to the acceptance of the subdivision improvements by Napa County. After discovered errors have been corrected, the County will make one re-check at no cost. Any additional checks required by the County will be at the expense of the developer, and a cash deposit for the monument checking will be posted with the County prior to field work by County crews.

#### **GENERAL**

The developer shall notify the County Engineer in writing, at least three working days in advance of the commencement of any part of the work. In addition, the developer's contractor and subcontractor shall contact the County Engineer's office to arrange a pre-project conference for the purpose of reviewing job requirements and County procedures. It is the developer's responsibility to supply the contractor with a copy of this document prior to construction. Upon completion of all work, including the setting of all monuments, the developer shall request a final inspection in writing. The Fire Marshal will ensure that disposal, including chipping, burying, burning or removal to a landfill site approved by the local jurisdiction, of flammable vegetation and fuels caused by site development and construction, road and driveway construction, and fuel modification shall be completed prior to completion of road construction or final inspection of a building permit.

No variation in the corrected and approved plans, conditions, specifications and provisions will be allowed without first obtaining approval for each variation from the County Engineer. Any request for variation shall be submitted in writing to the County Engineer. No work shall be done on the portion of the work on which the variation is requested until written approval is obtained from the County Engineer.

#### HYDRANT/FIRE VALVE

The hydrant or fire valve shall be eighteen (18) inches above finish surface. Its location in relation to the road or driveway and to the building(s) or structure(s) it serves shall comply with California Fire Code, California Code of Regulations title 24, part 9, Chapter 5, and Appendix C.

The hydrant head shall be a two and half (2-1/2) inch National Hose male thread with cap for pressure and gravity flow systems and four and a half (4-1/2) inch for draft systems. Hydrants shall be wet or dry barrel and have suitable freeze or crash protection as required by the local jurisdiction.

The Fire Marshal will ensure compliance with this rule.

#### **SIGNING OF WATER SOURCES**

Each hydrant, fire valve, or access to water shall be identified as follows:

- (a) If located along a driveway, a reflectorized blue marker, with a minimum dimension of three (3) inches shall be located on the driveway address sign and mounted on a fire retardant post, or
  - (b) If located along a road,
    - (i) a reflectorized blue marker, with a minimum dimension of three (3) inches, shall be mounted on a fire retardant post. The sign post shall be within three (3) feet of said hydrant or fire valve, with the sign no less than three (3) feet nor greater than five (5) feet above ground, in a horizontal position and visible from the driveway, or (ii) as specified in the State Fire Marshal's Guidelines for Fire Hydrant Markings Along

The Fire Marshal will ensure compliance with this rule.

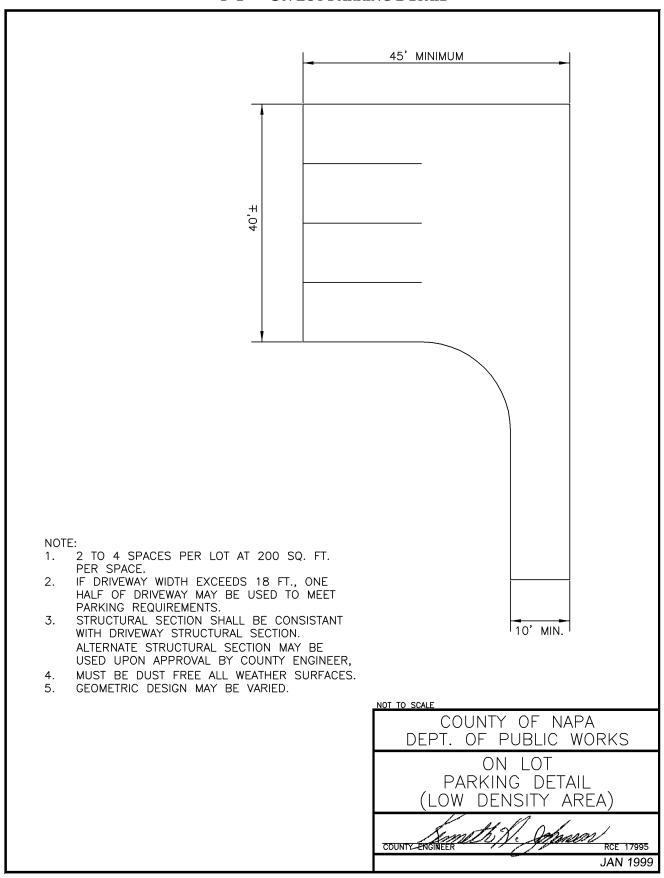
State Highways and Freeways, May 1988.

#### **PERMITS**

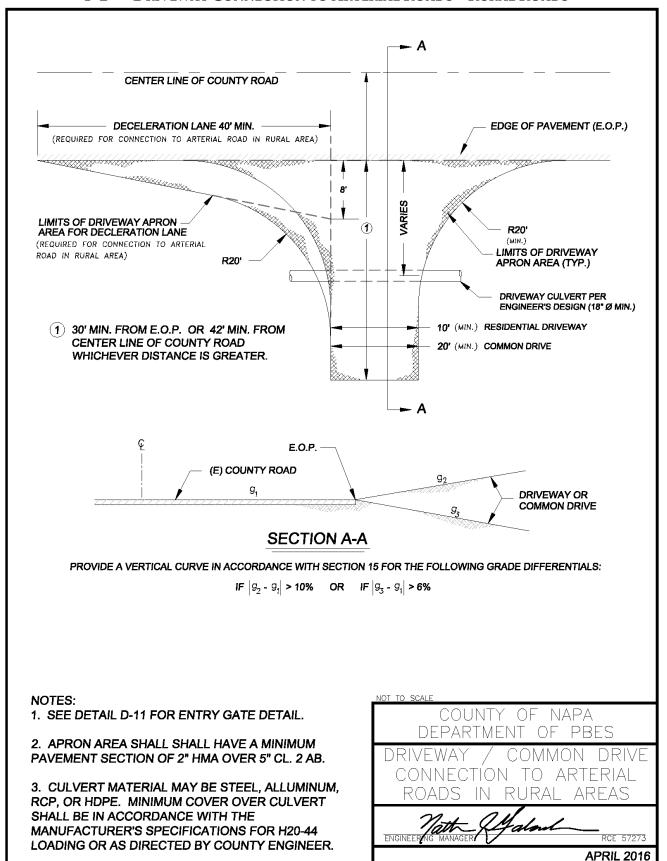
The Department of Public Works and Planning, Building, and Environmental Services shall, upon request of the County agencies and departments, make comments and recommendations in response to various applications and permit requests. The department(s) shall review such applications and at the discretion of the County Engineer make recommendations consistent with these Standards.

# STANDARD DETAILS

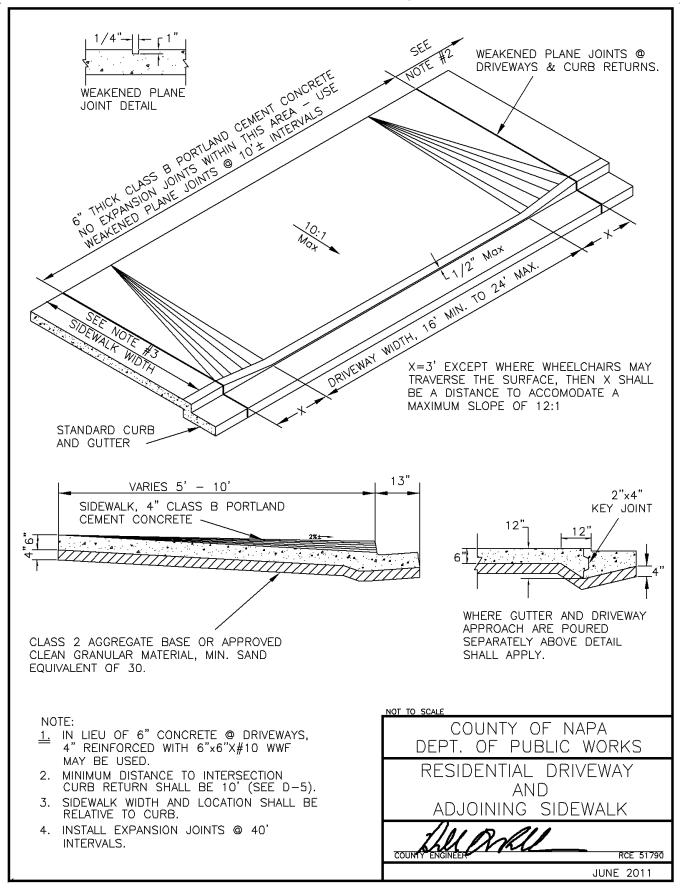
#### P-1 ON LOT PARKING DETAIL



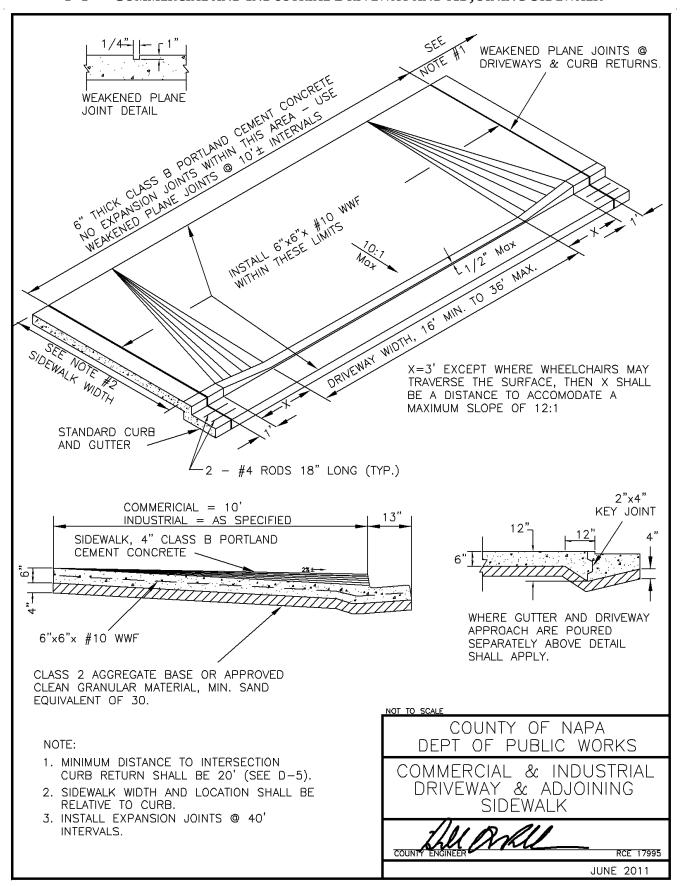
#### P-2 Driveway Connection to Arterial Roads – Rural Roads



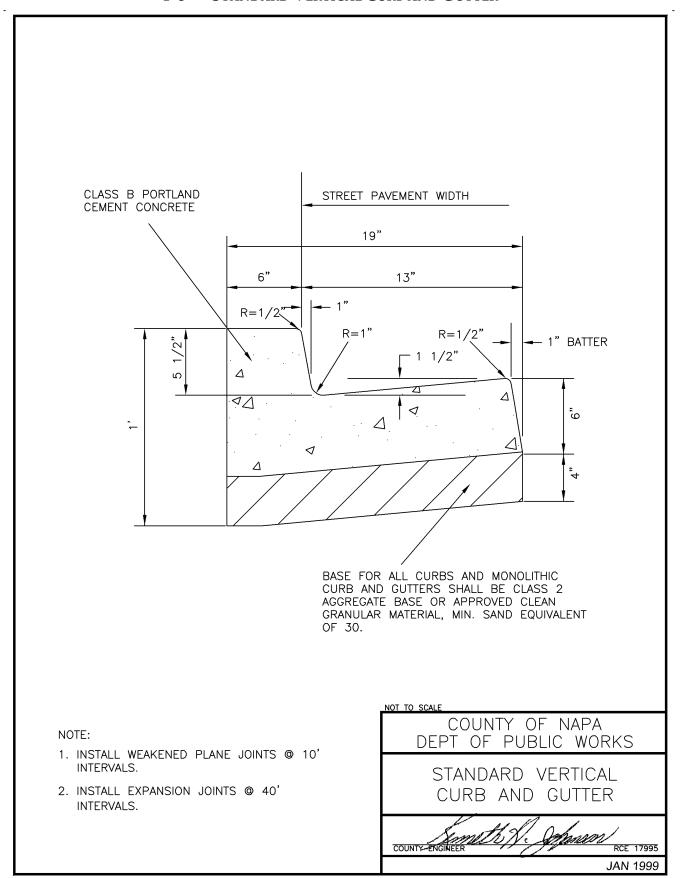
#### P-3 RESIDENTIAL DRIVEWAY AND ADJOINING SIDEWALK



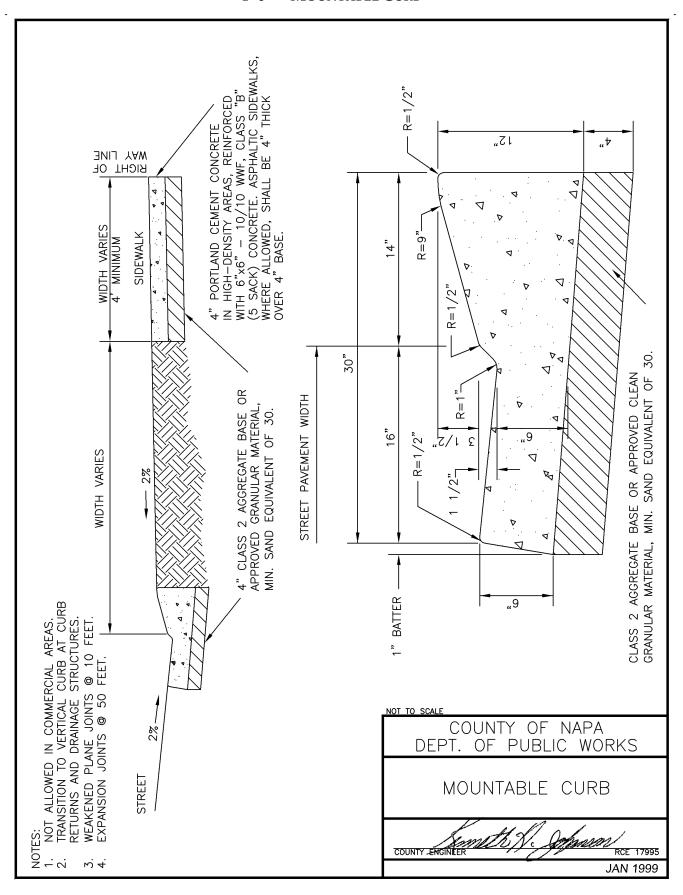
#### P-4 COMMERCIAL AND INDUSTRIAL DRIVEWAY AND ADJOINING SIDEWALK



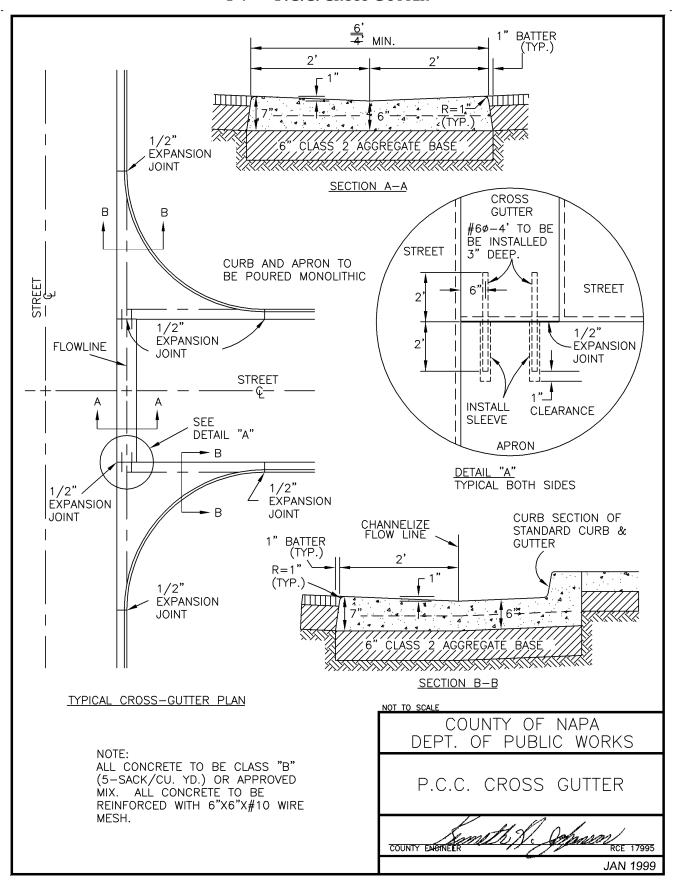
#### P-5 STANDARD VERTICAL CURB AND GUTTER



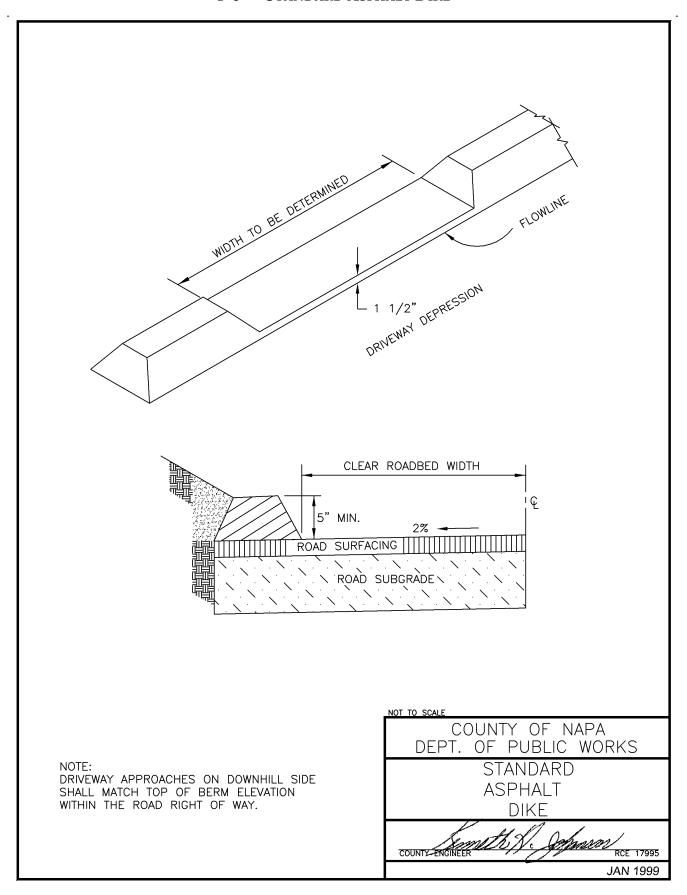
#### P-6 MOUNTABLE CURB



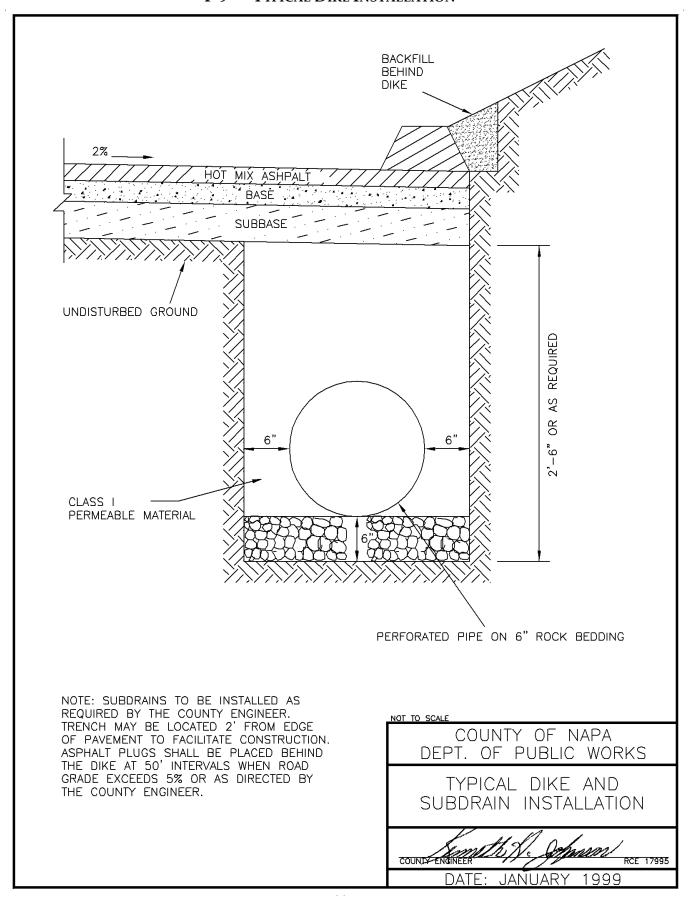
#### P-7 P.C.C. CROSS GUTTER

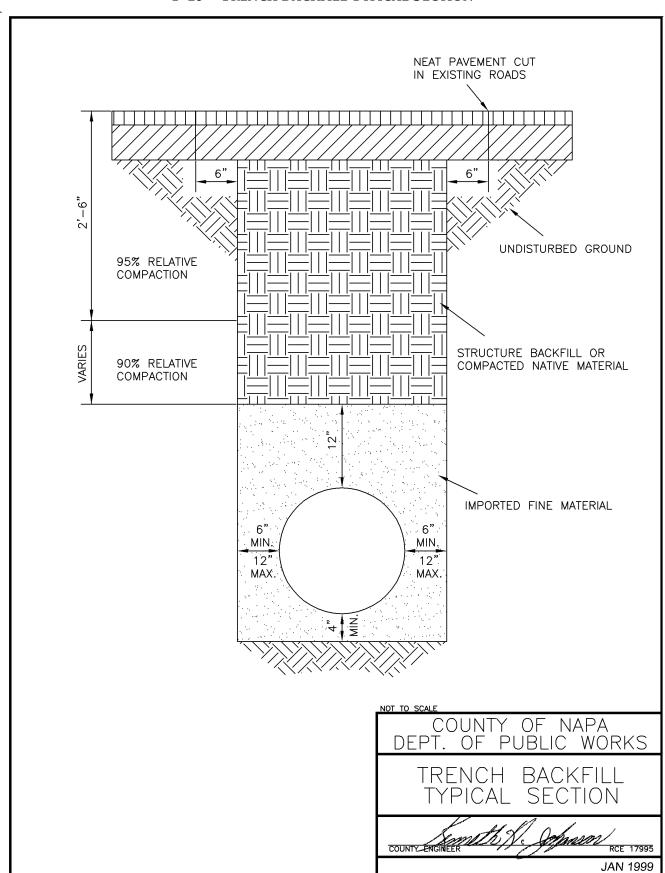


#### P-8 STANDARD ASPHALT DIKE



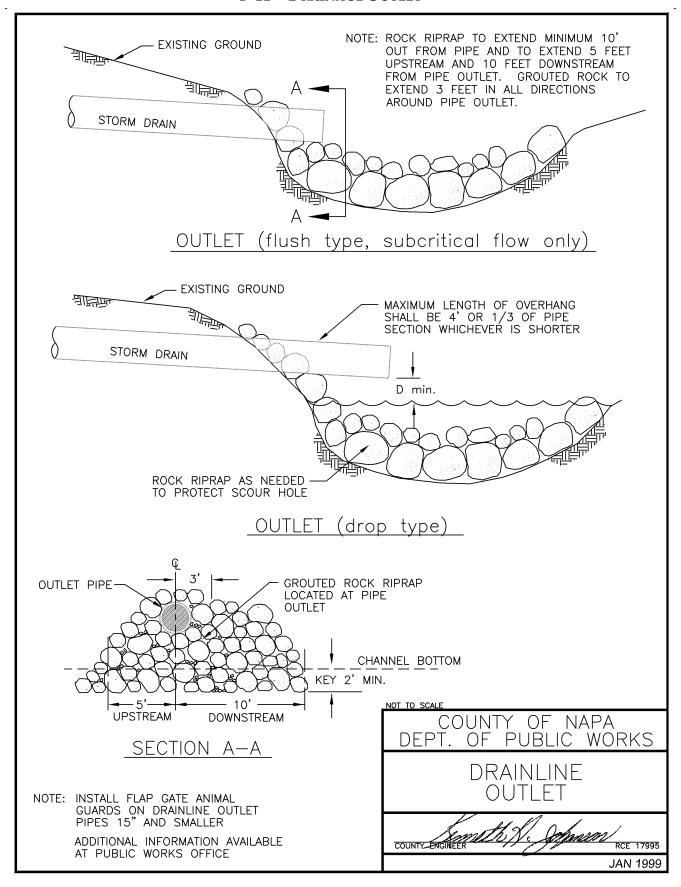
## P-9 TYPICAL DIKE INSTALLATION



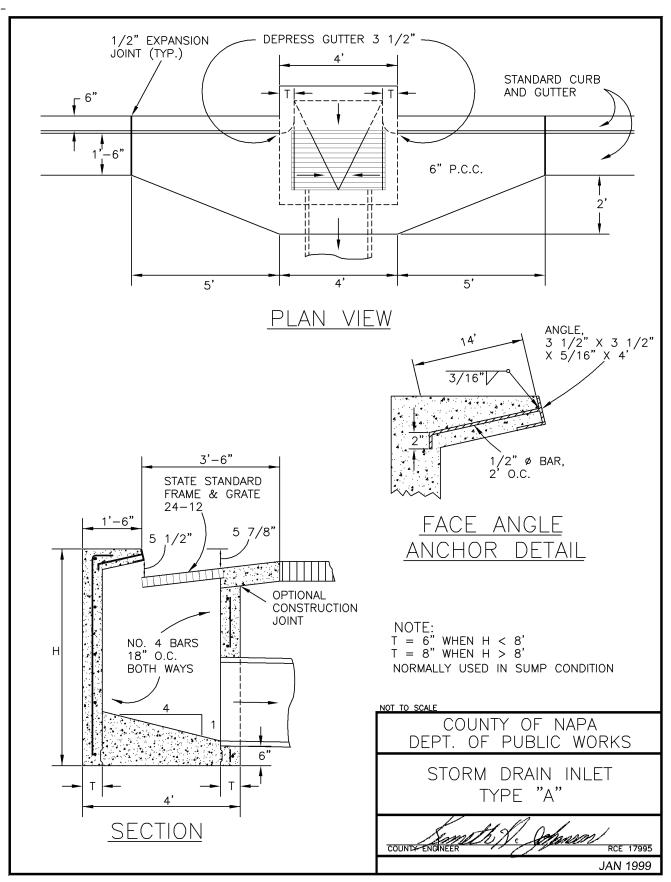


P-10 TRENCH BACKFILL TYPICAL SECTION

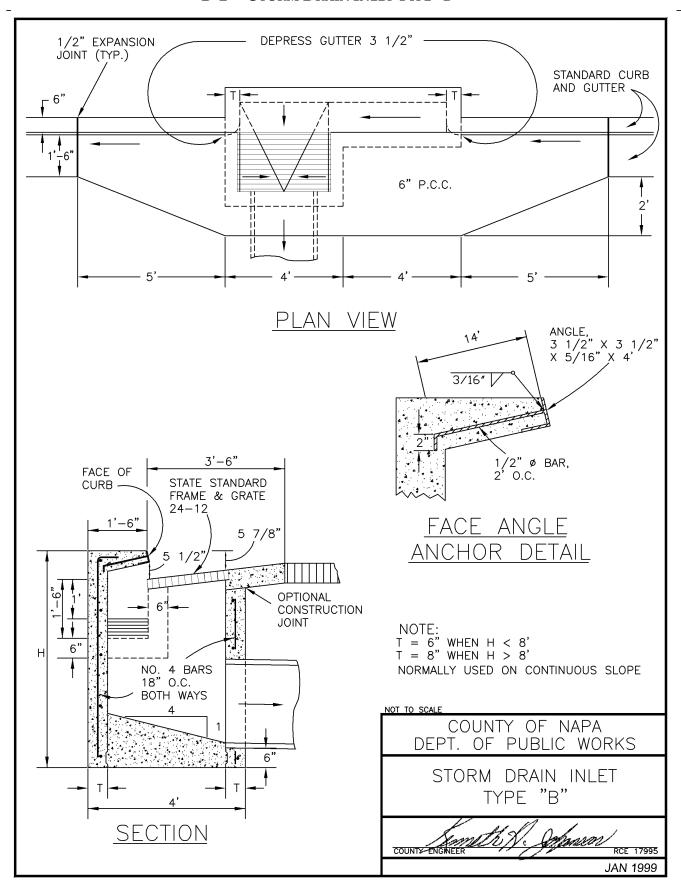
#### P-11 DRAINAGE OUTLET



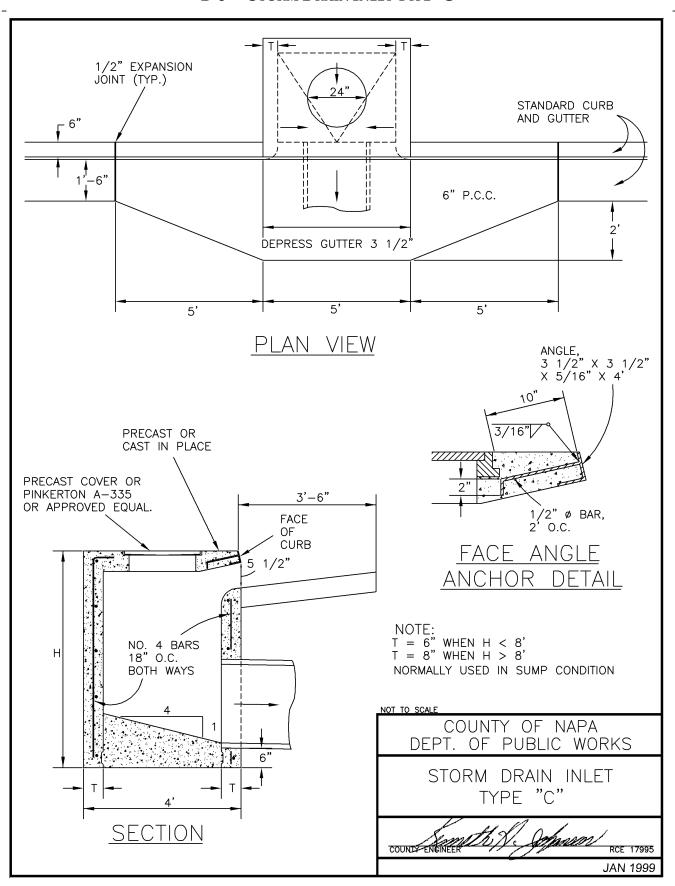
## D-1 STORM DRAIN INLET TYPE "A"



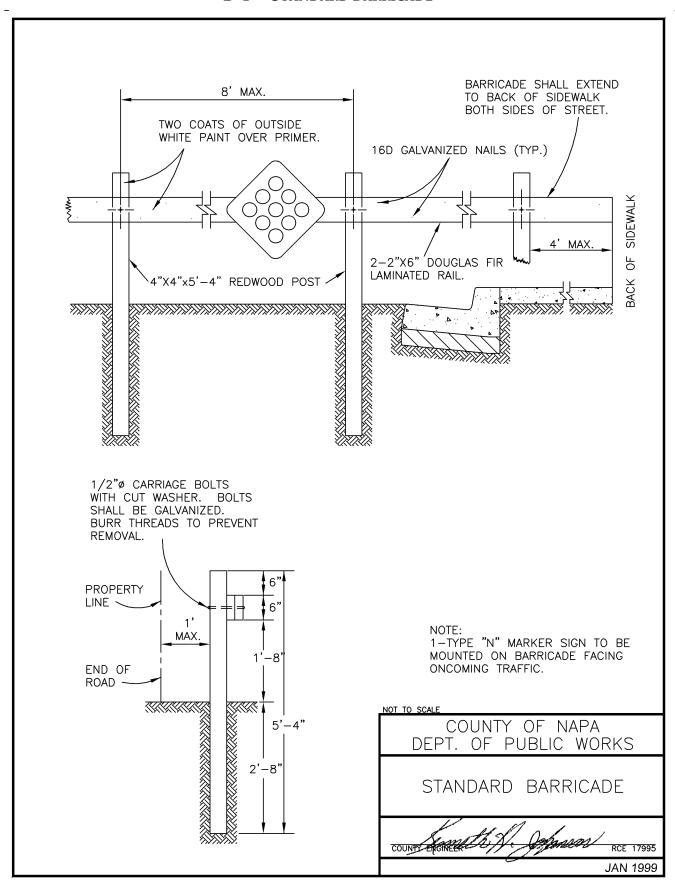
## D-2 STORM DRAIN INLET TYPE "B"



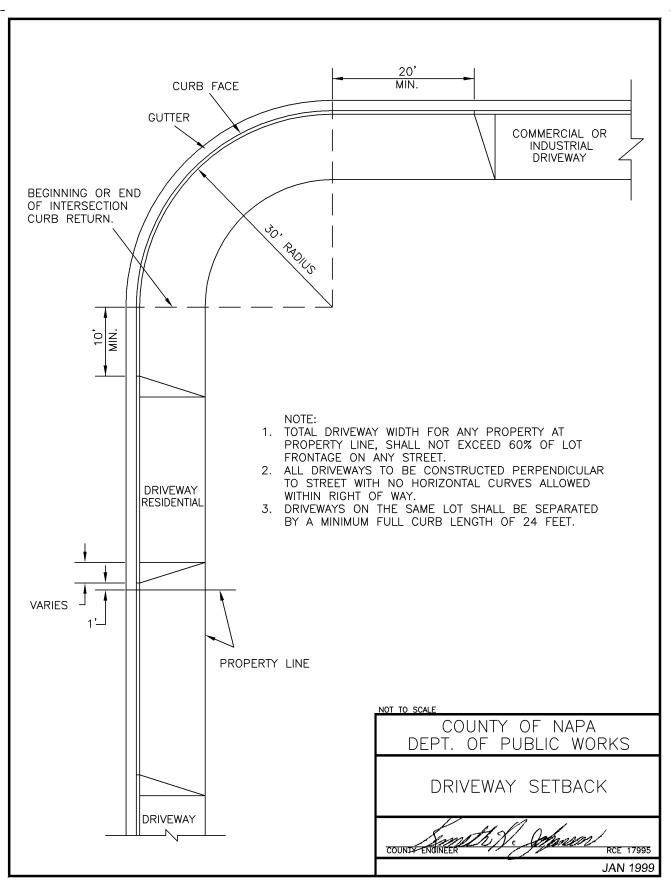
#### D-3 STORM DRAIN INLET TYPE "C"

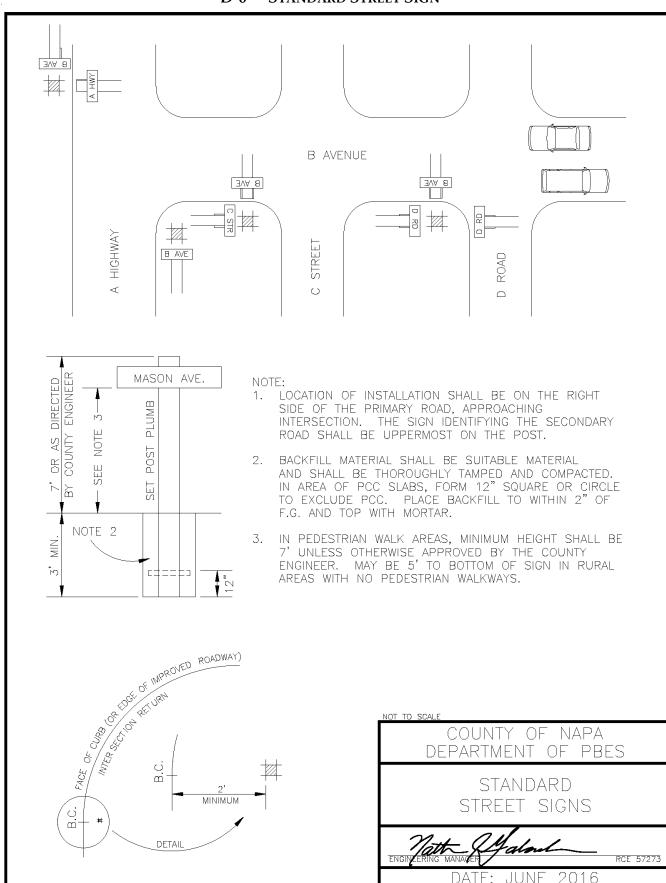


#### D-4 STANDARD BARRICADE



#### D-5 DRIVEWAY SETBACK





D-6 STANDARD STREET SIGN

#### D-6A STANDARD STREET SIGNS, TYPE 'A' AND TYPE 'B'

#### STANDARD STREET SIGNS

Street Sign Type A

Size: 30"x9" (36"x9" may be used where additional length is required due to length of copy. If 36" is

not sufficient, copy shall be on two lines and size shall be 30" x 18" and 36"x18" may be used if necessary.) If directional arrow is necessary, size shall be as specified for State of California

Department of Transportation Type G-7 "Street Name" sign.

Material: .125 gage thickness sheet aluminum 6061-T6 alloy or 5052-H38, State of California "Interstate

Green" high intensity wide angle retroreflective sheeting.

Copy: All copy to be in 6" Series C upper case letters, and 4 ½" Series C lower case letters,

nomenclature for street, road, avenue, etc.

Borders: All borders to be ½" wide with radiused comers die cut white high intensity wide angle

retroflective sheeting.

Layout: Letter spacing and copy layout to be similar to State of California Department of

Transportation Type C 1-7 "Street Name Sign."

Fabrication: Blanks to be cut to size with approximately ½" rounding of the comers; two (2) holes drilled

for 3/s" bolt mountings, ½" inset on center of blanks: face to be of State of California specification "Interstate Green" high intensity wide angle retroflective sheeting prior to the application of the copy and borders. All copy, borders and sheeting to be applied by the

thermo-vacuum process. Copy shall be edge sealed when applied.

Installation: Signs to be mounted on 4" x 4" S4S Redwood or 4" x 4" S4S pressure treated Douglas Fir posts

of length necessitated by physical conditions, per Caltrans Standard Specs.  $^3/8$ " dia. Carriage bolts with nuts and 1" dia. Washers (all galvanized) for fasteners. Alternate post material and

installation will be considered but approval must be obtained prior to installation.

#### Street Sign Type B

(For installation on State Highways, County Major Arterial Highways and County Major Roads).

Size: 30"x24" (36" x 24"" may be used where additional length is required due to length of copy. If

36" is not sufficient, copy shall be on two lines and size shall be 42"x30" or 42"x36" with full

back framing.)

Copy: All copy to be in 8" Series C upper case letters and 6" lower case letters. An arrow 17.25" total

length denoting left or right or both ways as may be required, to appear below the road name. Copy and arrow to be die cut from white high intensity wide angle retroreflective

sheeting.

Layout: Letter spacing and copy layout to be similar to State of California Department of

Transportation Type G-8-22 Street Name Sign.

Material, Fabrication and Installation: Same as Type A.

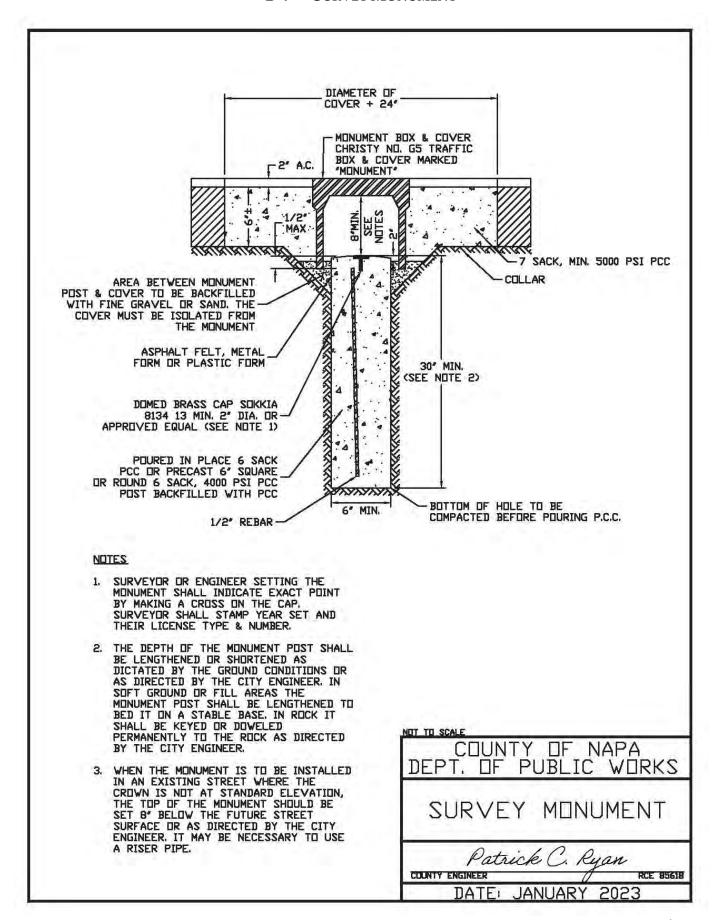
## SUBDIVISION STREET MONUMENTS ACCURACY

## SUBDIVISION STREET MONUMENTS

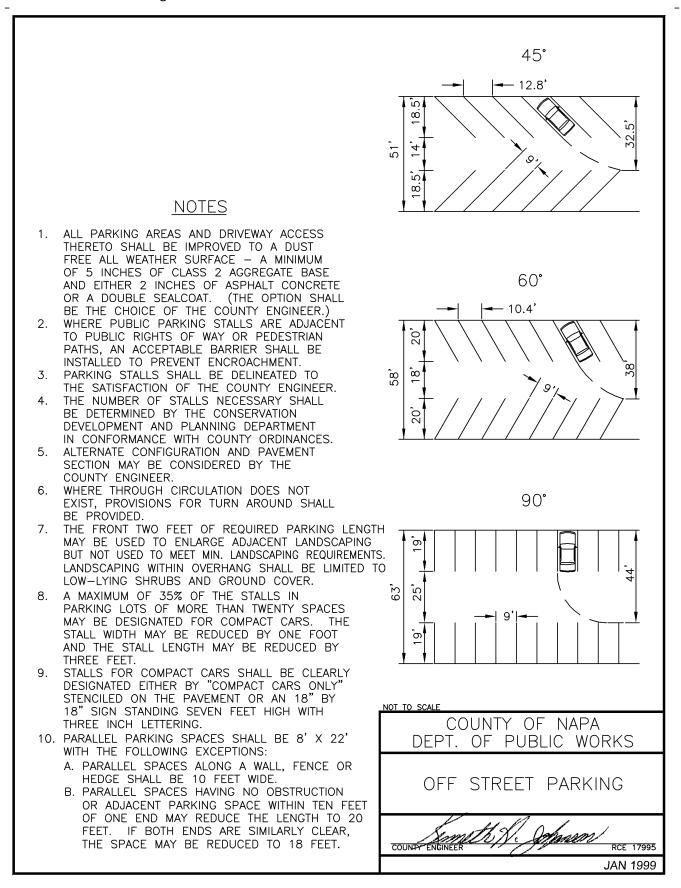
Following is the current established policy of this department for allowable error for subdivision street monuments:

Slope of 75%	Distance Between	Angle Between			
Of Land	Monuments	Tangents and/or Chord			
0 < 8%	1 / 50,000	4 seconds			
8 < 15%	1 / 25,000	8 seconds			
15% <	1 / 15,000	14 seconds			

#### D-7 SURVEY MONUMENT



#### D-8 Off Street Parking



#### D-9 HANDICAP SYMBOL

#### Notes:

Location goal: On shortest accessible route to accessible entrance(s).

Placement goal: Persons with disabilities must not be compelled to wheel or walk behind parked cars other then their own.

Dimensions:

Van: Min 9 feet wide with min 8 feet side loading & unloading passenger side aisle, min 18 feet length.

Auto: Min 9 feet wide with min 5 feet wide loading and unloading passenger side aisle, min 18 feet long. Two spaces may share the same 5 feet aisle.

Slope: Max 1 vertical to 50 horizontal in any direction.

Signage:

"Van Accessible" for van spaces. Reflectorized International Symbol of Accessibility at each space, min 70 inches sq., min 80 inches high if in path of travel, and unobscured by a parked vehicle. (see symbol below). Tow away sign with telephone number at each entrance to parking area or adjacent to accessible spaces, min size: 17 inches by 22 inches, 1 inch high letters.

Surface Marking: Painted or outlined space in blue and outlined profile view depicting wheelchair with occupant, or 36 inch by 36 inch outlined profile view of wheelchair with occupant in white on blue background visible to traffic enforcement officer when vehicle occupies space.

Curb Ramps: Ramps shall be provided wherever an accessible route crosses a curb. Maximum slope shall be 1:12. Minimum width, exclusive of flares shall be 36 inches. See current California Title 24, Sections 3105A(n) & 3107A of the California Code of Regulations for further information.

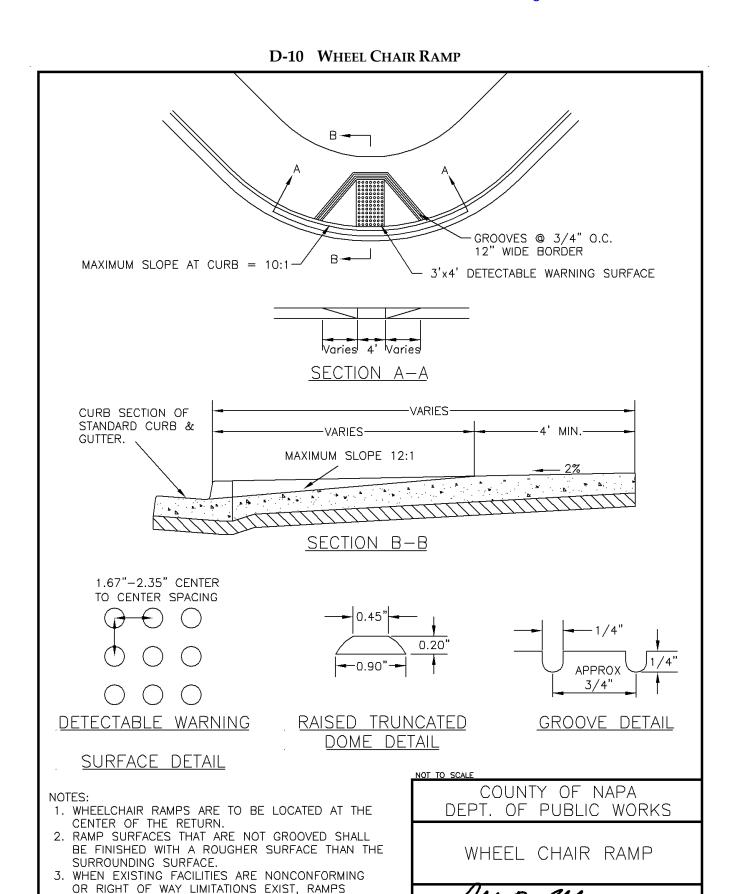
Total Number of Parking Spaces	Handicaped Accessible Spaces					
1 - 25	1 van accessible space					
26 - 50	2 including 1 van accessible space					
51 - 75	3 including 1 van accessible space					
76 - 100	4 including 1 van accessible space					
101 - 150	5 including 1 van accessible space					
151 - 200	6 including 1 van accessible space					
201 - 300	7 including 1 van accessible space					
301 - 400	8 including 1 van accessible space					
401 - 500	9 including 2 van accessible spaces					
500 - 1000	2% including 3 van accessible spaces					
1001 +	20 + 1 per 100 or fraction, including min 1 van accessible space per 8 accessible spaces or fraction thereof.					

NOT TO SCALE



International Symbol of Accessibility

COUNTY OF NAPA DEPT. OF PUBLIC WORKS
HANDICAP PARKING
DU DVLL COUNTY ENGINEER RCE 51790
JUNE 2011



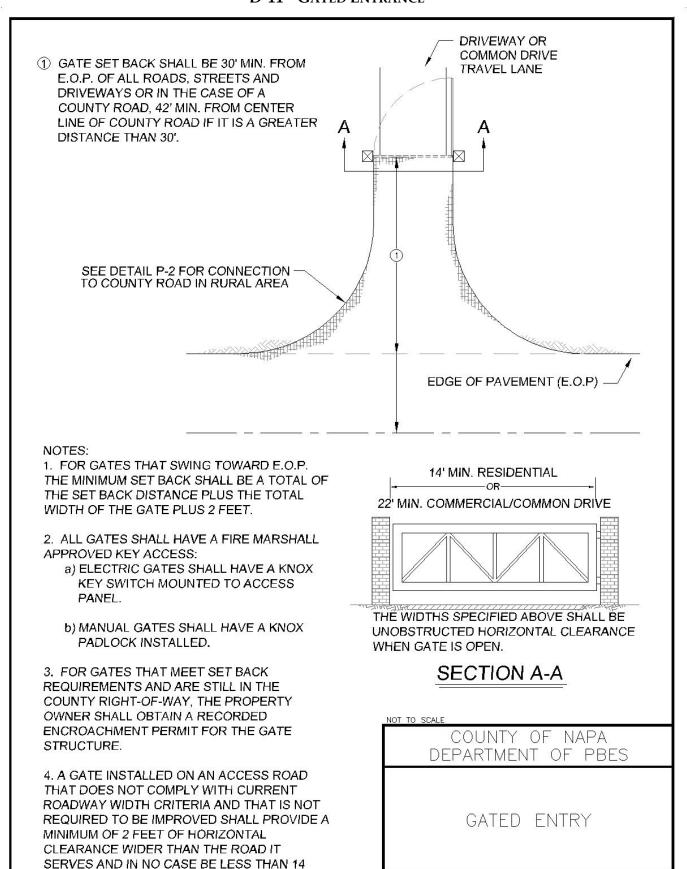
MAY BE MODIFIED AS APPROVED BY THE COUNTY ENGINEER. SEE CALTRANS STANDARD PLANS SHEET

A88A FOR OPTIONS AND OTHER DETAILS.

RCE 51790

JUNE 2011

#### **D-11** GATED ENTRANCE

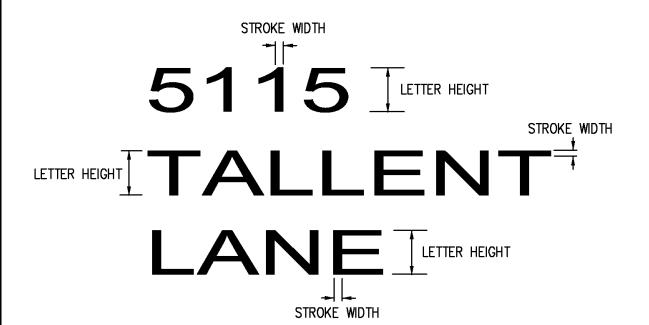


FEET IN WIDTH.

JANUARY 2020

#### **D-12 ADDRESS SIGNAGE**

#### SIGNAGE SIZE AND LOCATION OF ADDRESSES



	MINIMUM LETTER HEIGHT	MINIMUM STROKE WIDTH	
RESIDENTIAL	4"	1/2"	LETTERING SHALL BE REFLECTORIZED
COMMERCIAL	6"	3/4"	OR ILLUMINATED AND CONTRASTING WITH THE BACKGROUND COLOR OF
INDUSTRIAL	12"	1-1/2"	THE SIGN.

#### ADDRESS SIGNAGE NOTES

- 1. ALL BUILDINGS SHALL HAVE A PERMANENTLY POSTED ADDRESS, WHICH SHALL BE PLACED AT EACH DRIVEWAY ENTRANCE AND VISIBLE FROM BOTH DIRECTIONS OF TRAVEL ALONG THE ROAD. IN ALL CASES, THE ADDRESS SHALL BE POSTED AT THE BEGINNING OF CONSTRUCTION AND SHALL BE MAINTAINED THEREAFTER, AND THE ADDRESS SHALL BE VISIBLE AND LEGIBLE FROM THE ROAD ON WHICH THE ADDRESS IS LOCATED.
- 2. ADDRESS SIGNS ALONG ONE-WAY ROADS SHALL BE VISIBLE FROM BOTH THE INTENDED DIRECTION OF TRAVEL AND THE OPPOSITE DIRECTION.

3. WHERE MULTIPLE ADDRESSES ARE REQUIRED AT A SINGLE DRIVEWAY, THEY SHALL BE MOUNTED ON A SINGLE POST.

4. WHERE A ROADWAY PROVIDES ACCESS SOLELY TO A SINGLE COMMERCIAL OR INDUSTRIAL BUSINESS, THE ADDRESS SIGN SHALL BE PLACED AT THE NEAREST ROAD INTERSECTION PROVIDING ACCESS TO THAT SITE.

NAPA COUNTY FIRE DEPARTMENT
ADDRESS SIGNAGE
FIRE SAFE STANDARDS
SEPTEMBER 2016

NOT TO SCALE

#### **RESOLUTION NO. 2023-59**

A RESOLUTION OF THE NAPA COUNTY BOARD OF SUPERVISORS, STATE OF CALIFORNIA, AMENDING THE NAPA COUNTY ROAD AND STREET STANDARDS TO COMPLY WITH THE ADOPTED 2021 STATE MINIMUM FIRE SAFE REGULATIONS REGARDING INGRESS AND EGRESS IN THE STATE RSPONSIBILITY AREA AND THE LOCAL RESPONSIBILITY AREA VERY HIGH FIRE HAZARD SEVERITY ZONE

# **EXHIBIT "A"**

#### **RESOLUTION NO. 2023-59**

RESOLUTION OF THE NAPA COUNTY BOARD OF SUPERVISORS, STATE OF CALIFORNIA, AMENDING THE NAPA COUNTY ROAD AND STREET STANDARDS TO COMPLY WITH THE ADOPTED 2021 STATE MINIMUM FIRE SAFE REGULATIONS REGARDING INGRESS AND EGRESS IN THE STATE RESPONSIBILITY AREA AND THE LOCAL RESPONSIBILITY AREA VERY HIGH FIRE HAZARD SEVERITY ZONE

WHEREAS, since 1991, the State Board of Forestry and Fire Protection (the Board of Forestry or BOF) has been the state agency charged with establishing minimum wildfire protection standards in conjunction with building, construction, access and development on lands in the State Responsibility Area (SRA); and

WHEREAS, in 2018, SB 901 (Dodd), expanded the applicability of the regulations promulgated under Public Resources Code §4290 to land in the Local Responsibility Area (LRA) Very High Fire Hazard Severity Zone (VHFHSZ). It also revised Public Resources Code §4290 to require that the BOF more frequently update regulations relating to fuel breaks and greenbelts near communities, and to preserve undeveloped ridgelines to reduce fire risk and improve fire protection. The regulations set certain minimum standards for structures, subdivisions and developments in the SRA and LRA VHFHSZ and provide for basic emergency access and perimeter wildfire protection, as well as standards for fuel breaks, greenbelts, and measures to protect undeveloped ridgelines; and

WHEREAS, on August 17, 2022, the BOF adopted the revised 2021State Minimum Fire Safe Regulations (2021 Minimum Fire Safe Regulations). The intent of this action by BOF is to establish standards for fuel breaks and greenbelts near communities, establish measures for preservation of undeveloped ridgelines, improve clarity regarding the inspection and enforcement agencies, promote local jurisdictional compliance with the 2021 Minimum Fire Safe Regulations, and clarify the process by which that occurs; and

WHEREAS, the Minimum Fire Safe Regulations apply to lands designated as in the SRA and, since July 1, 2021, in the LRA Very High Fire Hazard Severity Zone. Together, the SRA and LRA VHFHSZ cover approximately 73% of Napa County. All California counties and cities must comply with the new 2021 Minimum Fire Safe Regulations. An effective date for the 2021 Minimum Fire Safe Regulations has not yet been established but they are likely to be effective for applications for building permits for new construction not related to an existing structure, applications for a use permit, road construction, and the creation of new parcels approved after January 1, 2023; and

WHEREAS, the 2021 Minimum Fire Safe Regulations are divided into five (5) Articles; of which only Article 5 was substantially amended, altering the meaning of the regulatory provisions. Provisions in Articles 1 through 4 (Administration, Ingress and Egress, Signing and Building Numbering, and Emergency Water Supply respectively) remain unchanged or the change was non-substantive and did not alter the regulatory effect of the provision(s); and

WHEREAS, the criteria for the design of road and street improvements in Napa County are set forth in the booklet on file with the Clerk of the Board of Supervisors, entitled "Adopted Road and Street Standards, Napa County (dated April 27, 1971 and as amended through November 10, 2020," hereinafter referred to as the "Road and Street Standards"; and

WHEREAS, in July 2019, the BOF certified Napa County's Road and Street Standards (adopted by the Board of Supervisors in Resolution No. 2019-53) as meeting or exceeding the State's Minimum Fire Safe Regulations including the County's standards related to access. Because the County's 2019 Road and Street Standards were previously certified by the BOF as meeting or exceeding the Minimum Fire Safe Regulations and because the 2021 Minimum Fire Safe Regulations do not define "access" or change the County's standards regarding "access", the County's provisions regarding "access" are and remain consistent with the BOF's objectives and the BOF's prior endorsement remains in effect. As of 2020, the BOF stopped the certification process of local regulations but did not rescind prior certifications; and

WHEREAS, the BOF's 2019 certification of the County's Road and Street Standards (adopted by the Board of Supervisors in Resolution No. 2019-35) as meeting or exceeding the State's Minimum Fire Safe Regulations included the County's standards related to disaster reconstruction for residences consistent with the BOF's Emergency Regulatory Action regarding exempting the reconstruction or repair of legally constructed homes damaged by wildfire under certain conditions. The 2021 Minimum Fire Safe Regulations do not explicitly exempt disaster reconstruction, however they do explicitly exempt new construction relating to an existing structure. The County's proposed amendments to the Road and Street Standards exempting disaster reconstruction related to legal structures that existed prior to the disaster that do not propose an increase in intensity, density or square footage or a changes in the use of a structure is consistent with the BOF's objectives and meets or exceeds the 2021 Minimum Fire Safe Regulations; and

WHEREAS, pursuant to Napa County Code Sections 17.02.470 and 17.36.010(B) the Road and Street Standards may be amended from time to time by resolution of the Board of Supervisors; and

WHEREAS, the Road and Street Standards have been revised fifteen times since their adoption on April 27, 1971 and were last revised on November 10, 2020, by Resolution No. 2020-133; and

WHEREAS, the Engineering Division of the Planning, Building and Environmental Services Department and County Fire Department have reviewed the Road and Street Standards and recommend that they be amended to ensure that the Napa County's scope, applicability and standards for ingress and egress are equal to or exceed the minimum requirements of the 2021 Minimum Fire Safe Regulations, as reflected in the proposed amended Road and Street Standards attached as Exhibit "A" and incorporated here by reference; and

WHEREAS, the proposed amendments would result in the Road and Street Standards being applied to any application for a Use Permit or any modification thereto proposing an increase in average daily trips (ADT); a change of use and/or occupancy classification of an existing structure resulting in a higher hazard, based on life and fire risk as defined in the California Fire Code; and Administrative Permits proposing new construction not relating to an existing structure, a change of use and/or occupancy classification of an existing structure resulting in a higher hazard, and road construction; and

WHEREAS, the proposed amendments would also result in the Road and Street Standards being applied to those previously existing legal residential, commercial or industrial structures destroyed by disaster that propose an increase in square footage, intensity or density or a changes in the use of a structure that previously existed; and

WHEREAS, the proposed amendments would also result in the Agricultural Road classification being applicable to access serving agricultural related single use facilities which cumulatively generate less than or equal to 40 average daily trips along its access, and shall not be applicable to winery uses; and

WHEREAS, the proposed amendments are intended to provide reasonable application of the 2021 Minimum Fire Safe Regulations and are intended to meet or exceed the 2021 Minimum Fire Safe Regulations.

## NOW, THEREFORE, BE IT RESOLVED that the Board hereby resolves as follows:

- 1. The Board hereby finds that the proposed amendment to the Road and Street Standards attached as Exhibit "A" are exempt from the California Environmental Quality Act ("CEQA") under the General Rule because it can be seen with certainty that there is no possibility the proposed action may have a significant effect on the environment and therefore the CEQA is not applicable. [See Guidelines For the Implementation of the California Environmental Quality Act, 14 CCR 15061(b)(3).] The Board further finds that the proposed amendment is exempt from the CEQA pursuant to Categorical Exemption Class 8 because it been determined that this type of project does not have a significant effect on the environment. [See Class 8 ("Actions by Regulatory Agencies for Protection of the Environment") which may be found in the guidelines for the implementation of the California Environmental Quality Act at 14 CCR §15308.]
- The Board hereby adopts the amendments to the Road and Street Standards attached as Exhibit "A" and incorporated here by reference.
- 3. The Board hereby directs the Clerk of the Board to place a copy of the amendment to the Road and Street Standards attached as Exhibit "A" in the booklet entitled "Adopted Road and Street Standards, Napa County (dated April 27, 1971 and as amended through December 6, 2022), on file with the Clerk of the Board.
  - This Resolution shall take effect immediately.

THE FOREGOING RESOLUTION WAS DULY AND REGULARLY ADOPTED by the

[THIS SPACE INTENTIONALLY LEFT BLANK] Napa County Board of Supervisors, State of California, at a regular meeting of the Board held on the 18<sup>th</sup> day of April 2023, by the following vote:

AYES:

SUPERVISORS

COTTRELL, GALLAGHER, GREGORY,

PEDROZA and RAMOS

NOES:

**SUPERVISORS** 

NONE

ABSTAIN:

**SUPERVISORS** 

NONE

ABSENT:

**SUPERVISORS** 

NONE

NAPA COUNTY, a political subdivision of

the State of California

By:

BELIA RAMOS, Chair of the

Board of Supervisors

APPROVED AS TO FORM Office of County Counsel

Office of County Counsel Deputy County Counsel

By: Laura J. Anderson (e-signature)

Date: April 6, 2023

APPROVED BY THE NAPA COUNTY BOARD OF SUPERVISORS

Date: April 18, 2023

Processed By:

Deputy Clerk of the Board

ATTEST: NEHA HOSKINS Clerk of the Board of Supervisors

# Exhibit 28

### Case 3:24-cv-06256 Document 1-28 Filed 09/05/24 Page 2 of 2

From: Ryan, Patrick C. <Patrick.Ryan@countyofnapa.org>

Sent: Wednesday, June 08, 2022 11:51 AM PDT

**To:** Morrison, David <David.Morrison@countyofnapa.org>; Bordona, Brian <Brian.Bordona@countyofnapa.org> **CC:** Martin, Jason@CALFIRE <Jason.Martin@fire.ca.gov>; Downs, Jason <jason.downs@countyofnapa.org>

Subject: Micro-Winery and application of the NCRSS and FSR

I just wanted to let you all know I had a meeting with Josh Devoure (DP&F) regarding micro-wineries and application of the Road and Street Standards.

One aspect that they may pursue, and you all may get calls on is how Agricultural projects are defined and applicable in the State Standards. Agriculture is defined in the Regs as:

Land used for agricultural purposes as defined in a LJ's zoning Ordinance

Per Napa County Zone Ordinance (18.08.040.H) one of Agricultural definitions is as follows:

Agriculture shall include the following, but only upon grant of a use permit pursuant to Section 18.124.010, or unless previously issued a small winery certificate of exemption pursuant to subsection (H) of Section 18.16.020 and subsection (I) of Section 18.20.020, or legal existence as a winery prior to July 31, 1974 as provided in subsection (G) of Section 18.16.020 and subsection (H) of Section 18.20.020:

- 1. Production and processing of agricultural products, including agricultural processing facilities; and
- 2. Marketing, sales, and other accessory uses that are related, incidental and subordinate to the main agricultural processing use.

Based on our local definition, all wineries would be exempt from the State Minimum Fire Safe Regulations. This is a loophole I have been aware of and have conveyed to many you. Napa County's historic practice has been to treat wineries as commercial facilities due to the inherit risk to first responders, civilians evacuating and potential delays in fire fighter response.

I anticipate Small Family Farms and potential the winery industry as a whole and their representation may push this matter above me and we should be prepared how to respond.

I am happy to set up a meeting to discuss further and get on the same page.

Thanks, Patrick

Patrick C. Ryan; P.E. Deputy Director – PBES Engineer-in-Charge



A Tradition of Stewardship A Commitment to Service

County of Napa | Engineering & Conservation Division Planning, Building & Environmental Services Department 1195 Third Street, 2<sup>nd</sup> Floor | Napa | CA | 94559 | ph: (707) 253.4892 | 6fax: (707) 299.4049



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## Case 3:24-cv-06256 Document 1-29 Filed 09/05/24 Page 1 of 3

JS-CAND 44 (Rev. 10/2020)

## **CIVIL COVER SHEET**

The JS-CAND 44 civil cover sheet and the information contained herein neither replace nor supplement the filing and service of pleadings or other papers as required by law, except as provided by local rules of court. This form, approved in its original form by the Judicial Conference of the United States in September 1974, is required for the Clerk of Court to initiate the civil docket sheet. (SEE INSTRUCTIONS ON NEXT PAGE OF THIS FORM.)

I. (a) PLAINTIFFS				DEFENDANTS					
HOOPES VINEYARD LLC, SUMMIT LAKE VINEYARDS &				COUNTY OF NAPA					
WINERY LLC and COOK'S FLAT ASSOCIATES A CALIFORNIA LIMITED PARTNERSHIP									
		C		a	271		o a de Maria C		
	of First Listed Plaintiff Napa	County					Defendant Napa Co	ounty	
(EXCEPT IN U.S. PLAIN	TIFF CASES)			(IN U.S. PLAINTIFF NOTE: IN LAND			CASES, USE THE LO	CATION OF	
					ACT OF LA			CATION OF	
(c) Attorneys (Firm Name	, Address, and Telephone Number)			Attorneys (If Know					
Q. SCOTT KAYE	, Adaress, and Telephone Number)			Trecome you (1) Timo ii	,				
	D DA DDOCK AND STO	NIE DI C							
MILLER CANFIELI	D PADDOCK AND STO								
		0) 683-6500							
99 Moroe Avenue N									
Grand Rapids, Michi	gan 49503								
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VI. CAUSE OF Ci	te the U.S. Civil Statute under	which you are fili	ng (Do not ci	te iurisdictional statutos	unless div	versitv).			
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ACTION	ACTION 42 U.S.C. 1983 Brief description of cause:								
First Amendment, Due Process, Equal Protection, Takings, and dormant Commerce Clause violations.									
VII. REQUESTED			. 1	AND \$ > 10,000,0		TITLE	CK YES only if dem Y DEMAND:	nanded in complai	
<b>COMPLAINT:</b>	UNDER RULE 23, Fe	d. R. Civ. P.	ar	nd Permanent Injun	ctive Rel	liet JUK	i Demiand:		.10
VIII. RELATED CASE(S),  JUDGE  DOCKET NUMBER									
IF ANY (See instructions):									

Case 3:24-cv-06256 Document 1-29 Filed 09/05/24 Page 2 of 3

IX. DIVISIONAL ASSIGNMENT (Civil Local Rule 3-2)

(Place an "X" in One Box Only) SAN FRANCISCO/OAKLAND SAN JOSE EUREKA-MCKINLEYVILLE

**DATE** September 5, 2024

SIGNATURE OF ATTORNEY OF RECORD /s/ Q. Scott Kaye

#### INSTRUCTIONS FOR ATTORNEYS COMPLETING CIVIL COVER SHEET FORM JS-CAND 44

**Authority For Civil Cover Sheet.** The JS-CAND 44 civil cover sheet and the information contained herein neither replaces nor supplements the filings and service of pleading or other papers as required by law, except as provided by local rules of court. This form, approved in its original form by the Judicial Conference of the United States in September 1974, is required for the Clerk of Court to initiate the civil docket sheet. Consequently, a civil cover sheet is submitted to the Clerk of Court for each civil complaint filed. The attorney filing a case should complete the form as follows:

- **I. a) Plaintiffs-Defendants.** Enter names (last, first, middle initial) of plaintiff and defendant. If the plaintiff or defendant is a government agency, use only the full name or standard abbreviations. If the plaintiff or defendant is an official within a government agency, identify first the agency and then the official, giving both name and title.
- b) County of Residence. For each civil case filed, except U.S. plaintiff cases, enter the name of the county where the first listed plaintiff resides at the time of filing. In U.S. plaintiff cases, enter the name of the county in which the first listed defendant resides at the time of filing. (NOTE: In land condemnation cases, the county of residence of the "defendant" is the location of the tract of land involved.)
- c) Attorneys. Enter the firm name, address, telephone number, and attorney of record. If there are several attorneys, list them on an attachment, noting in this section "(see attachment)."
- II. **Jurisdiction.** The basis of jurisdiction is set forth under Federal Rule of Civil Procedure 8(a), which requires that jurisdictions be shown in pleadings. Place an "X" in one of the boxes. If there is more than one basis of jurisdiction, precedence is given in the order shown below.
  - (1) United States plaintiff. Jurisdiction based on 28 USC §§ 1345 and 1348. Suits by agencies and officers of the United States are included here.
  - (2) United States defendant. When the plaintiff is suing the United States, its officers or agencies, place an "X" in this box.
  - (3) Federal question. This refers to suits under 28 USC § 1331, where jurisdiction arises under the Constitution of the United States, an amendment to the Constitution, an act of Congress or a treaty of the United States. In cases where the U.S. is a party, the U.S. plaintiff or defendant code takes precedence, and box 1 or 2 should be marked.
  - (4) <u>Diversity of citizenship</u>. This refers to suits under 28 USC § 1332, where parties are citizens of different states. When Box 4 is checked, the citizenship of the different parties must be checked. (See Section III below; **NOTE: federal question actions take precedence over diversity cases.**)
- III. Residence (citizenship) of Principal Parties. This section of the JS-CAND 44 is to be completed if diversity of citizenship was indicated above. Mark this section for each principal party.
- IV. Nature of Suit. Place an "X" in the appropriate box. If the nature of suit cannot be determined, be sure the cause of action, in Section VI below, is sufficient to enable the deputy clerk or the statistical clerk(s) in the Administrative Office to determine the nature of suit. If the cause fits more than one nature of suit, select the most definitive.
- V. Origin. Place an "X" in one of the six boxes.
  - (1) Original Proceedings. Cases originating in the United States district courts.
  - (2) Removed from State Court. Proceedings initiated in state courts may be removed to the district courts under Title 28 USC § 1441. When the petition for removal is granted, check this box.
  - (3) Remanded from Appellate Court. Check this box for cases remanded to the district court for further action. Use the date of remand as the filing date
  - (4) Reinstated or Reopened. Check this box for cases reinstated or reopened in the district court. Use the reopening date as the filing date.
  - (5) <u>Transferred from Another District</u>. For cases transferred under Title 28 USC § 1404(a). Do not use this for within district transfers or multidistrict litigation transfers.
  - (6) <u>Multidistrict Litigation Transfer</u>. Check this box when a multidistrict case is transferred into the district under authority of Title 28 USC § 1407. When this box is checked, do not check (5) above.
  - (8) <u>Multidistrict Litigation Direct File</u>. Check this box when a multidistrict litigation case is filed in the same district as the Master MDL docket.
  - Please note that there is no Origin Code 7. Origin Code 7 was used for historical records and is no longer relevant due to changes in statute.
- VI. Cause of Action. Report the civil statute directly related to the cause of action and give a brief description of the cause. Do not cite jurisdictional statutes unless diversity. Example: U.S. Civil Statute: 47 USC § 553. Brief Description: Unauthorized reception of cable service.
- VII. Requested in Complaint. Class Action. Place an "X" in this box if you are filing a class action under Federal Rule of Civil Procedure 23.
  - Demand. In this space enter the actual dollar amount being demanded or indicate other demand, such as a preliminary injunction.
  - Jury Demand. Check the appropriate box to indicate whether or not a jury is being demanded.
- VIII. Related Cases. This section of the JS-CAND 44 is used to identify related pending cases, if any. If there are related pending cases, insert the docket numbers and the corresponding judge names for such cases.
- **IX. Divisional Assignment.** If the Nature of Suit is under Property Rights or Prisoner Petitions or the matter is a Securities Class Action, leave this section blank. For all other cases, identify the divisional venue according to Civil Local Rule 3-2: "the county in which a substantial part of the events or omissions which give rise to the claim occurred or in which a substantial part of the property that is the subject of the action is situated."

Date and Attorney Signature. Date and sign the civil cover sheet.